



**ORDINARY COUNCIL (TOWN PLANNING) MEETING OF
THE HUME CITY COUNCIL**

MONDAY, 27 FEBRUARY 2017

7.00 PM

**COUNCIL CHAMBER, HUME GLOBAL LEARNING CENTRE,
BROADMEADOWS**

OUR VISION:

Hume City Council will be recognised as a leader in achieving social, environmental and economic outcomes with a common goal of connecting our proud community and celebrating the diversity of Hume.

HUME CITY COUNCIL

**Notice of an
ORDINARY COUNCIL (TOWN PLANNING) MEETING OF THE HUME CITY COUNCIL**
to be held on Monday, 27 February 2017
at 7.00 PM
at the Council Chamber, Hume Global Learning Centre, Broadmeadows

To: a: Council	Cr Drew Jessop Cr Ann Potter Cr Joseph Haweil Cr Jodi Jackson Cr Carly Moore Cr Leigh Johnson Cr Jack Medcraft Cr Naim Kurt Cr Geoff Porter Cr Karen Sherry Cr Jana Taylor	Mayor Deputy Mayor
b: Officers	Mr Domenic Isola Mr Peter Waite Mr Daryl Whitfort Ms Margarita Caddick Mr Kelvin Walsh Ms Kylie Ezzy	Chief Executive Officer Director Sustainable Infrastructure and Services Director Corporate Services Director Community Services Director Planning and Development Director Communications, Engagement and Advocacy

ORDER OF BUSINESS

1. PRAYER

Almighty God, we humbly beseech Thee to vouchsafe Thy blessing upon this Council. Direct and prosper its deliberations to the advancement of Thy glory and the true welfare of the people of the Hume City.

Amen

2. APOLOGIES

3. DISCLOSURE OF INTEREST

Councillors' attention is drawn to the provisions of the Local Government Act 1989 in relation to the disclosure of conflicts of interests. Councillors are required to disclose any conflict of interest immediately before consideration or discussion of the relevant item. Councillors are then required to leave the Chamber during discussion and not vote on the relevant item.

4. OFFICER'S REPORTS

The Mayor will ask the Councillors and gallery at the commencement of this section, which reports they wish to speak to. These reports will then be discussed in the order they appear on the notice paper. Reports not called will be dealt with in a block resolution at the end.

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5. CONFIDENTIAL MATTERS

The Meeting may be closed to members of the public to consider confidential matters.

RECOMMENDATION:

THAT the Council close the meeting to the public pursuant to Section 89(2) (sub sections as listed), of the Local Government Act 1989 to consider the following items, which are confidential for the reasons indicated:

Report No.	Title	Reason for Confidential
COSU65	Contract Matter	(d) contractual matters
COGE114	Organisational Matter	(h) any other matter which the Council or special committee considers would prejudice the Council or any person
COGE115	Organisational Matter	(h) any other matter which the Council or special committee considers would prejudice the Council or any person
COGE116	Organisational Matter	(h) any other matter which the Council or special committee considers would prejudice the Council or any person
COGE117	Contract Matter	(d) contractual matters

6. CLOSURE OF MEETING

**DOMENIC ISOLA
CHIEF EXECUTIVE OFFICER**

23/02/2017

REPORT NO:	HE050
REPORT TITLE:	Health and Wellbeing Plan 2013-2017: Year 3 Annual Report
SOURCE:	Hector Gaston, Manager Health and Community Wellbeing
DIVISION:	Community Services
FILE NO:	HCC12/853
POLICY:	-
STRATEGIC OBJECTIVE:	2.1 Foster a community which is active and healthy.
ATTACHMENTS:	<ol style="list-style-type: none">1. <i>Health and Wellbeing Plan 2013-2017 - Snapshot Year 3 Annual Report</i>2. <i>Health and Wellbeing Plan 2013-2017 - Year Three Annual Report</i>

1. SUMMARY OF REPORT:

This report details key achievements arising from the delivery of Year 3 of the *Hume Health and Wellbeing Plan (HHWP) 2013-2017*. Additionally, this report provides an overview of future steps to develop the Year 4 (2017) Action Plan and 2017-2021 HHWP.

2. RECOMMENDATION:

That Council

- 2.1 notes the outcomes of the Year 3 Action Plan of the *Health and Wellbeing Plan 2013-2017*.**
- 2.2 notes future steps for Year 4 Action Plan and Hume Health and Wellbeing Plan 2017-2021 development.**

3. LEGISLATIVE POWERS:

- 3.1 Local Councils are required to prepare municipal public health and wellbeing plans under the *Public Health and Wellbeing Act 2008 (PH&WB Act)*. Under the PH&WB Act, the function of Council is to seek to protect, improve and promote public health and wellbeing within the municipality by:
 - 3.1.1 Creating an environment which supports the health of members of the local community and strengthens the capacity of the community and individuals to achieve better health,
 - 3.1.2 Initiating, supporting and managing public health planning processes,
 - 3.1.3 Developing and implementing public health policies and programs,
 - 3.1.4 Developing and enforcing up-to-date public health standards and intervening if required,
 - 3.1.5 Facilitating and supporting local agencies whose work has an impact on public health to improve public health and wellbeing in the local community,
 - 3.1.6 Coordinating and providing immunisation services to children, and
 - 3.1.7 Ensuring that the municipal district is maintained in a clean and sanitary condition.
- 3.2 Under the PH&WB Act, Council must review its municipal public health and wellbeing plan annually and amend the plan if necessary.

REPORT NO: HE050 (cont.)

- 3.3 Under the PH&WB Act, local government is also required to develop a new, four year municipal public health and wellbeing plan within 12 months of each general election of Council.

4. FINANCIAL IMPLICATIONS:

- 4.1 There are no direct financial implications associated with this report.

5. ENVIRONMENTAL SUSTAINABILITY CONSIDERATIONS:

- 5.1 In recognising the influence of the natural environment on health, actions that support environmental sustainability are embedded across all four themes of the plan (Built, Social, Natural and Economic Environments).

6. CLIMATE CHANGE ADAPTATION CONSIDERATIONS:

- 6.1 Under section 26 of the PH&WB Act, Council is required to have regard to the *Climate Change Act* when preparing a municipal public health and wellbeing plan and to include actions that mitigate against climate change or that respond directly to climate change related health impacts.
- 6.2 Key actions that seek to mitigate against and/or respond to the health impacts arising from climate change are included under Objective 1.4 in the Year 3 Action Plan which seeks to '*Encourage initiatives that enhance the environmental sustainability and climate resilience of public places and spaces, infrastructure and private housing stock*'.

7. CHARTER OF HUMAN RIGHTS APPLICATION:

- 7.1 The *Health and Wellbeing Plan 2013-2017* is closely aligned with Hume City's *Social Justice Charter 2007*, which includes the *Hume Citizens' Bill of Rights* and incorporates *The Charter of Human Rights and Responsibilities Act 2006 (Vic)*. The plan outlines that a fundamental right of every human being is the 'highest attainable standard of health'. Four of the six principles which underpin the plan relate to human rights. These include 'Improve health and wellbeing for all', 'Reduce health inequities', 'Promote social justice' and 'Acknowledge people's diversity'.
- 7.2 The *Social Justice Charter 2014* was used to inform the development of the Year 3 Action Plan. Actions were chosen based on their ability to address the underlying social determinants of health that cause health inequities in Hume City and support everyone in Hume, regardless of their gender, age, culture, ability, faith and economic and social position, to enjoy a healthy and fulfilling life.

8. COMMUNITY CONSULTATION:

- 8.1 The *Hume Health and Wellbeing Plan 2013-2017* was informed by significant consultation with community members. This included analysing existing community consultation data, conducting 11 community consultation workshops and integrating health and wellbeing questions into other Council consultations such as *Hume Horizons 2040*. Two stakeholder workshops with key health and community service providers were conducted and public exhibition of the plan occurred.

9. DISCUSSION:

- 9.1 The *Health and Wellbeing Plan 2013-2017* continues to support the delivery of significant health and wellbeing outcomes across Hume City.
- 9.2 A comparison between the 2011 Victorian Population Health Survey and 2015 Hume Community Indicators Survey indicates significant improvements in physical activity levels and fruit and vegetable consumption at the population level.

REPORT NO: HE050 (cont.)

- 9.2.1 In 2015, 66.4% of residents engaged in sufficient physical activity in the last week, compared with 55.2% in 2011.
- 9.2.2 In 2015, 3.9% of residents reported sedentary behaviour, compared with 8.2% in 2011.
- 9.2.3 6.4% of residents met the recommended serves of fruit and vegetables per day, compared with 3.9% in 2011.
- 9.3 Comparisons between available Australian Bureau of Statistics and Community Indicators Survey data demonstrate that there have also been improvements across the wider determinants that shape and influence individual health and wellbeing, for example:
 - 9.3.1 Increased participation in sporting and community groups: In 2015, 50.6% of Hume residents indicated they had been actively involved in at least one type of group in the last 12 months, compared to 43.3% in 2011.
 - 9.3.2 Increased acceptance of diversity: In 2015, 88.3% of residents agreed or strongly agreed that it was good thing for society to be made up of people from different cultures, compared to 86.9% in 2007.
- 9.4 In 2016, Hume City Council's health and wellbeing efforts, particularly in the area of preventing second-hand smoke exposure, have been highly commended by the Victorian State government and leading public health agencies. Hume City Council was successful in advocating for key changes to the Tobacco Act 1987 ensuring the same bans and controls that apply to cigarette smoking extend to waterpipe smoking.
- 9.5 A series of wayfinding projects delivered by Council to promote and support active travel have also been recognised by the Heart Foundation as a leading case study of how built environment design features can support the health and wellbeing of community members. In the coming months, Hume City Council's wayfinding projects will feature on the Heart Foundations' Healthy Active By Design resource webpage.
- 9.6 Year 3 Action Plan (December 2015 to December 2016) Annual Report
 - 9.6.1 The Year 3 Action Plan contained 45 actions. Of these, 39 actions were successfully delivered and 6 actions experienced changes in timing.
 - 9.6.2 The 6 actions that experienced changes in timing resulted from changes in operations following the 2016 organisational restructure. It is expected that these actions will be included, amended or expanded for inclusion in the Year 4 Action Plan.
- 9.7 Key achievements of the Year 3 Action Plan
 - 9.7.1 To provide an insight into the broad range of initiatives that contribute to strengthening population health, two highlights from each of the plan's four themes are summarised below.
 - 9.7.2 A Healthy Built Environment: We will create a built environment that encourages healthy and active living and is sustainable and safe:
 - (a) In April 2016, a smoke-free outdoor dining trial was established on O'Shannasy Street, Sunbury. This initiative was introduced in advance of State-wide bans on smoking in outdoor dining areas, due to commence on 1 August 2017.
 - (b) Two significant initiatives were also introduced in 2016 that sought to encourage active travel to school. This included Bicycle Network Victoria's ACTIVEpaths program, implemented at Campbellfield Heights and Killara Primary School and the Walk to School program launched across 21 schools across Hume City.

REPORT NO: HE050 (cont.)

- 9.7.3 Healthy Social Environment: We will create a vibrant and inclusive social environment that values people in all their diversity:
- (a) A research trial 'Every Toddler Talking' was established between Council, Sunbury Community Health and the Department of Education and Training. This research trial is investigating ways to improve language and communication outcomes in early learning settings and improve the early detection of developmental delays.
 - (b) A Hume Aboriginal Profile was delivered, equipping Council and local organisations with an in-depth understanding of the health and wellbeing priorities for aboriginal community members and guiding the future delivery of targeted health promotion and prevention efforts
- 9.7.4 Healthy Natural Environment: We will protect and enhance our natural environment for the use, wellbeing and enjoyment of current and future generations:
- (a) Over 150 community members have participated in various environmental monitoring and citizen's science activities delivered by Councils Sustainable Environments department. These programs have placed a specific focus on building community awareness of local biodiversity and natural environments as well as the health promoting and sustaining benefits of nature.
 - (b) New facilities including a portable building, graded path of access and disability parking have been delivered at the Westmeadows Indigenous Garden to improve the overall accessibility and amenity of the garden. This improved amenity has resulted in the recruitment of new community groups and garden members.
- 9.7.5 Healthy Economic Environment: We will create an economic and learning environment that supports people to realise their full potential:
- (a) The 1000 Books Before School initiative was implemented, supporting and encouraging book reading and storytelling between parents and children. A total 458 children registered for the program in the 2016/2017 financial year. 15 of the children participating in the program have now achieved the 1000 book milestone. Given the success of the initiative, the program is now being rolled out across all Victorian Libraries in partnership with the State Library of Victoria.
 - (b) A number of low and no cost physical activity opportunities have been established, encouraging key population groups to participate in sport and physical activities. This has included a 'Rock Up Netball' program providing a pay-as-you-play sporting option for women, and a series of Live Life Get Active 'camps' providing free physical exercise opportunities for all community members.
- 9.8 Developing the draft Year 4 Action Plan
- 9.8.1 Actions included in the Year 4 Action Plan will be required to align with the *Health and Wellbeing Plan 2013-2017* and be delivered between December 2016 and December 2017.
- 9.8.2 It is expected that the 6 actions that were not progressed within the Year 3 Action Plan will be considered for inclusion in the Year 4 Action Plan.
- 9.9 Development of the next Municipal Public Health and Wellbeing Plan
- 9.9.1 The PH&WB Act requires councils to prepare a new four year MPHWP within 12 months of each general election of the council.

REPORT NO: HE050 (cont.)

9.9.2 This means a Health and Wellbeing Plan for 2017-2021 will need to be prepared by October 2017. Initial community consultation and data collection to identify priorities for the next Health and Wellbeing Plan commenced in November 2016, alongside Council's consultation process for the 2017-2021 Council Plan and Hume Horizons 2040.

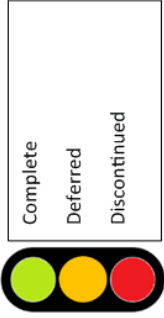
9.10 A detailed planning schedule for delivery of the 2017-2021 Hume Health and Wellbeing Plan is currently being finalised. Further opportunities for community, stakeholder and Council consultation will be included in the formulation of the next Health and Wellbeing Plan.









10. CONCLUSION:

In its third year of implementation, the *Health and Wellbeing Plan 2013-2017* has continued to support the delivery of significant health and wellbeing outcomes across Hume City. The Year 3 Action Plan has played an important role in strengthening a cross-Council approach to health protection, promotion and prevention. The Year 4 Action Plan will continue to improve health and wellbeing in Hume City by addressing the underlying causes of poor health where people live, learn, work and play.

Hume Health and Wellbeing Plan 2013-2017

Year Three Action Plan – Annual Report



Theme	Strategic Direction	Total actions	Status	Key Outcomes
Healthy Built Environment 	We will create a built environment that encourages healthy and active living and is sustainable and safe	13		<ul style="list-style-type: none"> The O'Shannessy Street smoke-free outdoor dining trial has been implemented and smoke-free zones have been established across 12 Council buildings, protecting the community from second-hand smoke exposure. Bicycle Network Victoria's ACTIVEpaths program has been implemented at Campbellfield Heights and Killara Primary Schools, encouraging more children to use active transport to school.
Healthy Social Environment 	We will create a vibrant and inclusive social environment that values people in all their diversity	14		<ul style="list-style-type: none"> Council is participating in the 'Every Toddler Talking' research trial; investigating ways to improve language and communication outcomes in early learning settings and to support early detection of developmental delays. The Hume Aboriginal Profile has been delivered supporting the identification of health and wellbeing priorities and guiding the future delivery of evidenced-based health and wellbeing initiatives
Healthy Natural Environment 	We will protect and enhance our natural environment for the use, wellbeing and enjoyment of current and future generations	6		<ul style="list-style-type: none"> 19 schools are participating in the Seedlings to Schools program, building student awareness of biodiversity and the natural environment. 151 residents participated in environmental monitoring and citizen's science activities including wildlife surveys and water quality monitoring.
Healthy Economic Environment 	We will create an economic and learning environment that supports people to realise their full potential	12		<ul style="list-style-type: none"> The '1000 Books Before School' initiative was delivered and has attracted a total 458 new registrations to date in the 2016/2017 financial year. Given the success of the initiative, the program is being rolled out across all Victorian libraries in partnership with the State Library of Victoria. A 'Rock Up Netball' sports program has been established at the Craigieburn Tennis and Community Centre providing an affordable, pay-as-you-play sporting option for women.

HEALTH AND WELLBEING PLAN 2013-2017			
YEAR THREE ACTION PLAN (December 2015 - December 2016)			
A Healthy Built Environment			
We will create a built environment that encourages healthy and active living and is sustainable and safe			
Support the provision of infrastructure that encourages physical activity			
Action	Output	Lead	Status
1.1.1 Encourage more children to use active travel to school (walking, cycling and scooting).	1. Bicycle Network Victoria's ACTIVEpaths program is implemented at a school with identified barriers to active transport.	H&CW	Complete
1.1.2 Develop a new Open Space Strategy.	1. Council's Health and Wellbeing Advisory Group provide feedback on the development of the strategy. 2. The new Open Space Strategy is endorsed by Council.	CACP	Deferred
1.1.3 Identify new walking and cycling opportunities.	1. The Walking and Cycling Strategy 2010-2015 is reviewed. 2. Recommendations from the review are implemented.	CAGP	Deferred
1.1.4 Support active travel between Moonee Ponds Creek and Merlynston Creek.	1. Options are identified to utilise \$150,000 allocated to the Meadowlink project.	CACP	Complete
Objective 1.2 Enhance the real and perceived safety and amenity of public places and spaces			
Action	Output	Lead	Status
1.2.1 Build the capacity of Council departments to improve community safety through planning and design.	1. A Crime Prevention Through Environmental Design Workshops series is delivered to a range of Council departments.	CD&L	Complete
1.2.2 Protect the community against exposure to second-hand smoke and de-normalise smoking.	1. Pending community consultation, a trial of smoke-free outdoor dining in O Shanassy Street East is implemented. 2. Smoke-free entrances to key Council buildings are established.	H&CW	Complete

Progress notes
The ACTIVEpaths program was implemented at Campbellfield Heights Primary School with wayfinding signage installed along three major routes of travel.

Progress notes
A briefing note seeking endorsement to develop the 2015-2020 Open Space Strategy was prepared. Development of the Strategy is expected to be considered within the context of the service planning process commencing early 2017.

Progress notes
Work is expected to be undertaken in early 2017 to determine where the Walking and Cycling Strategy best sits within Council's strategic planning framework and in aligned with the development of the open space strategy.

Progress notes
1. Options to utilise the \$150,000 allocated to the Meadowlink project have been identified. A project brief is currently being developed to procure a principle consultant to finalise the Meadowlink design documentation package. Further work is also being undertaken to deliver the tender brief specification and to finalise the request for tender (RFT) advertisement. A project initiative meeting was held in November 2016 with representatives from Assets and Engineering, Parks and Open Space, Marketing and Comms. Agenda items included; project commitments, scope of services, resourcing and relevant delegations.

Progress notes
1. Three Crime Prevention Through Environmental Design (CPTED) workshops were delivered to Council staff during February - March 2016. The workshops had strong uptake with representation from Parks and Open Space, Leisure and Youth Services, Urban Planning, Population Health Unit, Statutory and Strategic Planning. An evaluation report on the workshop is currently being finalised. It is expected that this report will include recommendations that ongoing CPTED workshops are included in Council's corporate training calendar.

Progress notes
A 12 month 'Smoke-free' outdoor dining trial was implemented April 2015. Since the trial's commencement, ongoing monitoring and evaluation of the trial and its effect on local traders, community members and the environment continues. There has been a mid-way monitoring report written by Councils Research Department. This report indicated that further support for traders was needed to help enforce the ban. In response, there has since been an increase in patrol by City Laws staff including evening and weekend patrols to capture peak dining times. Patrols continue regularly through the warmer months as an increased number of patrons choose to dine outdoors.
Smoking-free Council building entrances were enforced from April 2016, where all Council building are smoke-free within 4 meters of the entrance. Singage and smoking poles were installed to assist the public to comply with the ban.

1.2.3 Support physical activity in key public open spaces and parks outside daylight hours.	1. A prioritised Lighting Public Open Space program is developed.	CACP	Deferred	This action is being further explored by Council's Community and Activity Centre Planning department to determine how it will be progressed. It is likely that this action will be refocused to deliver lighting in areas where organised activities takes place and to improve safety along the City's footpath network.
1.2.4 Implement, review and evaluate the Hume City Council Community Safety Action Plan.	1. A Hume Community Safety Advisory Committee is established to oversee delivery of the action plan.	CD&L	Complete	A Hume Community Safety Committee has been established to oversee the delivery of actions included in Council's Community Safety Action Plan. Actions delivered to date include: - Delivery of a 'Safety Access and Public Transport Forum for Young People with Disabilities' delivered on 16 March to 30 young people living with a disability. - Delivery of two workshops to older residents focussing on fire safety and emergency ready planning (delivered in March and April 2016). - Review of the Municipal Emergency Management Plan - Review of the Vulnerable Persons Register - Delivery of a 'Prevention of Violence against Women with Disability' workshop.
Objective 1.3	Support the provision of physical infrastructure that builds strong, inclusive and connected communities			
Action	Output	Lead	Status	Progress notes
1.3.1 Identify and deliver improvements to the appearance and amenity of activity centres and neighbourhoods.	1. Works have commenced to improve walking and cycling links, wayfinding and canopy cover as part of the South Broadmeadows Place Framework. 2. A Place Framework has been developed for the Dallas neighbourhood and implementation of the streetscape improvement plan for the neighbourhood activity centre has commenced.	CACP	Complete	1. The South Broadmeadows Place Framework has been endorsed by Council and works detailed within the framework have been progressed. This has included tree planting along Widdford and Blaire Streets, connecting the Coolaroo and Broadmeadows activity centres. 2. A Place Framework for the Dallas neighbourhood has been prepared. The streetscape improvement plan for the neighbourhood activity centre is complete including delivery of key public space improvements. Additional activities focussed on activating these areas are expected to commence in early 2017.
1.3.2 Ensure consideration of health and wellbeing in land use planning.	1. A review of the Hume City Council Municipal Strategic Statement into the Planning Scheme is implemented, with new clauses on healthy communities and Healthy by Design Principles.	SP	Complete	Council has agreed to refer the Municipal Strategic Statement and proposed amendments to the Planning Scheme to an Independent Planning Panel. Following receipt of the Panel's recommendations, Council will then decide to: a) Adopt the amendment; b) Adopt the amendment with changes; or c) Abandon the Amendment The Heart Foundation's <i>Healthy by Design: A Planners' Guide to Environments for Active Living</i> has been utilised as a key reference documents for the development of the revised MSS including the incorporation of specific objectives and strategies to deliver more liveable communities and improved health, recreation, education facilities and infrastructure.
Objectives 1.4	Encourage initiatives that enhance the environmental sustainability and climate resilience of public places and spaces, infrastructure and private housing stock			
Action	Output	Lead	Status	Progress notes
1.4.1 Integrate Environmentally Sustainable Design and Development targets, checklists, considerations and outcomes in processes for design, construction and commissioning of new Council buildings.	1. New Council buildings incorporate energy and water efficiency design and measures on completion.	SE	Complete	The Environmentally Sustainable Design and Development (ESD) Checklist for small buildings continues to be used for sporting pavilions. For larger new buildings, ESD objectives have been incorporated into specifications for the Design Team. Extensive ESD input has been provided for Craigieburn Aquatic and Leisure Centre and Broadmeadows Town Hall redevelopment process.
1.4.2 Increase levels of shade in public spaces and spaces.	1. Findings on the current tree canopy cover are presented to Council for consideration.	POS	Complete	The tree canopy coverage study has been completed and a report of study finding prepared. This report has not yet progressed to EMT. Targeted tree planting works have however commenced with a specific focus on improving shade levels in key picnic and playground areas. Further tree planting works are expected to be delivered throughout 2017.

<p>1.4.3 Work with householders to reduce energy costs, increase comfort and increase their resilience to extreme weather conditions.</p>	<p>1. A minimum of 50 residents over at least 3 groups are engaged in the Energy Smart Neighbourhoods program. 2. 10 support, education and training workshops are delivered.</p>	<p>SE</p>	<p>Complete</p>	<p>1. The Energy Smart Neighbourhood program was delivered to three community groups including the Sunbury Knitters group, Tullarmine Neighbourhood House and the Broadmeadows Community Hub. Collectively, 57 residents participated in the program. Ongoing delivery of the program has been ceased following funding changes. 2. 8 of 10 support, education and training workshops focussing on energy saving and resilience in extreme weather have been completed. Ongoing delivery of these workshops has also been ceased as a result of funding changes.</p>
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Theme 2 A Healthy Social Environment			
Strategic Direction 2 We will create a vibrant and inclusive social environment that values people in all their diversity			
Increase opportunities for social inclusion and community participation, volunteering and engagement			
Action	Output	Lead	Status
2.1.1 Promote, co-ordinate and support community events and activities which create safe and inclusive neighbourhoods.	1. A Get to Know your Neighbours Guide is developed.	CD&L	Complete
2.1.2 Support and increase the self-governance and usage of Council's community gardens beyond food growing.	1. Each garden has an active leadership and management group. 2. At least one grant application is supported. 3. Garden membership is increased, including Friends of the Garden. 4. The number of community events held at the gardens increases from 2015 levels. 5. Options to incorporate the gardens are explored.	H&CW	Complete
2.1.3 Encourage people who live, learn, work and play in Hume City to become more actively involved in promoting health and wellbeing.	1. One round of Growing Ideas Awards is delivered, encouraging community to develop healthy ideas that focus on smoking, alcohol and other drugs, physical activity, healthy eating or mental health.	H&CW	Deferred
2.1.4 Build on Council's youth outreach model to further support young people's connectedness to self, community and future pathways.	1. Research is undertaken to develop models of outreach that increase access to local services and activities for young people in place based areas.	F&CS	Complete
Objective 2.2 Create supportive settings that encourage healthy lifestyles and behaviours			
Action	Output	Lead	Status
2.2.1 Advocate to state government and gaming venues for improved distribution of community benefits derived from Electronic Gaming Machines (EGMs).	1. More community benefits derived from EGMs go directly to community organisations who service areas experiencing gaming losses.	CAGP	Complete
Progress notes			
Council's social planning department continue to deliver advocacy and research on key gaming matters. Recent activities have included: a submission into the Department of Justice and Regulation; Review of Gaming Machines (February 2016), new lease agreements for the Craigieburn Sporting Club including clauses to prevent an increase in the number of gaming machines and Highlands Hotel committing to a Community Benefits Program providing \$75,000 pa over five years to the Craigieburn community.			

2.2.2 Increase the rates and duration of breastfeeding.	1. The Breastfeeding Action Plan continues to be implemented. 2. Breastfeeding Friendly Workplace practices are embedded across Council, through communication, promotion and training.	H&CW	Deferred	1. It is anticipated that the Breastfeeding Action Plan will be reviewed and revised by the Maternal and Child Health Department and the Population Health Unit in 2017. 2. Council facilities for the breastfeeding friendly workplace accreditation have been assessed by the Australian Breastfeeding Association. Pending minor upgrades to selected rooms and development of staff guidelines, Hume City Council will be accredited as a breast-feeding friendly workplace. A briefing note is currently being considered by the management team before proceeding to EMT for endorsement and subsequent accreditation. A draft report into minimising and preventing alcohol related harm in young people has been progressed. The report includes a series of recommendations that will be presented to EMT/Council for consideration following further amendments. Initial discussions with Council's Leisure Centres and FCS have occurred with a focus on identifying effective channels for cross-promotion of services and supports.
2.2.3 Minimise and prevent alcohol related harm, particularly among young people.	1. A review is completed and recommendations prepared on Council's roles, responsibilities and future opportunities.	H&CW	Complete	
2.2.4 Increase awareness of and participation in physical activity opportunities among families.	1. Physical activity opportunities at Council leisure centres are explored and promoted to families.	LC&S	Deferred	
Objective 2.3				
Ensure services support the needs of our changing community				
Action	Output	Lead	Status	Progress notes
2.3.1 Implement the Hume North Growth Corridor Health Infrastructure Plan to plan for future provision of health services in growth areas.	1. The health service needs of Hume City have been communicated to state and federal governments, health service providers, the private health sector and developers. 2. Council participates in collaborative planning initiatives for health services in the municipality.	H&CW	Complete	1. Council has secured funding for a service/land-use planning initiative investigating the health and community services needs for Craigieburn and surrounding communities. This is taking place in partnership with the State Government and key local service providers. 2. Council is contributing to a State-led regional health planning initiative through participation in project governance structures.
2.3.2 Decrease the number of children commencing school with undiagnosed or unsupported developmental delays.	1. Council participates in the Shared Vision for the North - Towards healthier children and families project working group. 2. Strategies are identified. 3. A pilot program is developed.	FY&CS	Complete	1. Council officers have actively participated in the 'Shared Vision for the North - Towards Health Children and Families' project with the Manager F&C chairing the 'Improved Learning, Health and Development Outcomes for Children' project working group. 2. Council has also been involved in establishing the 'Talking Matter Hume' pilot program led by DET and Dianella Community Health. This pilot provides a speech and early language drop in program for parents with concerns about their child's development. This program is currently being delivered in Coolaroo and Meadow Heights. 3. In addition, Council's Sunningdale Children's Centre has partnered with Sunbury Community Health and DET in a research trial - 'Every Toddler Talking'. The research trial focusses on oral language and literacy within early learning settings. The program is supported by State Government funding.
2.3.3 Continue to support and improve the health and wellbeing of the Aboriginal and Torres Strait Islander community.	1. The Aboriginal Community Profile is promoted to internal stakeholders. 2. The profile is used to identify and deliver evidence-based health and wellbeing initiatives.	H&CW	Complete	1. The Aboriginal Community Profile has been delivered. 2. The profile is expected to guide the delivery of key health and wellbeing initiatives to be included in the Hume Health and Wellbeing Plan Year 4 Action Plan.

<p>2.3.4 Progress age-friendly social and physical environments that provide older people with the opportunities, choices and supports to live life to the fullest.</p>	<p>1. The Positive Ageing Strategy is implemented, monitored and reviewed.</p>	<p>ASPH</p>	<p>Complete</p> <p>The Positive Ageing Strategy continues to be implemented and monitored. Key actions progressed under the strategy in 2016 have included:</p> <ul style="list-style-type: none"> - A series of new social activities for older residents across newly established community centres and hubs including Newbury (Older Persons Planned Activity Group delivered in Partnership with Brotherhood of St Laurence), Broadmeadows (Community Meals Program) and Roxburgh Park (Older Persons Computer Literacy Program). - Delivery of a Planned Activity Group that places a central focus on improving participant health outcomes through chair-based exercise and health literacy building. - The establishment of a collocated occupational therapy service in partnership with Dianella Community Health. This service has significantly improved client wait-times and service integration. Given the success of the model, it has recently been expanded to include collocated dietetics and health coaching services. - Delivery of outdoor exercise stations in Driver Reserve Greenvale which have included specific design elements to cater for older residents. - The development of a new (proposed) Municipal Strategic Statement which seeks specific amendments to the Hume City Planning Scheme in order to enhance housing diversity to accommodate older community members and their preference to age in place in the community
<p>2.3.5 Promote immunisation services to newly-arrived groups.</p>	<p>1. Partner with migrant services and schools to deliver presentations and promotions that encourage immunisation. 2. The 95% immunisation coverage rate is achieved for the 1-5 year old cohort as per the National Immunisation Strategy 2013-2018.</p>	<p>H&CW</p>	<p>Complete</p> <p>1. The Victorian State Government has provided an additional investment of \$10.6 million over four years to enhance health and human services for people from refugee backgrounds. \$2.3 million of this funding has been allocated to establish a new immunisation program for people from refugee backgrounds. The intended aim of this program is to target individuals' immunisation requirement and to create comprehensive catch-up immunisation services. As part of the program, pilot delivery models of adult immunisation services and outreach services will be established and trialled in the north-west metropolitan areas of Melbourne - including Hume City. Support, coordination, training and evaluation of pilot delivery models will be undertaken by the Immunisation Working Group - convened by the Victorian Refugee Health Network. Hume City Council is represented on this group by their Team Leader of Immunisation Services.</p> <p>2. The most recent data available through the Australian Immunisation Register (AIR) reveal a current immunisation coverage rate of 93% for Hume City children aged 1-5 years. This is only slightly below that state-wide average coverage at 93.4%. Efforts to improve child immunisation coverage are currently being explored. Options being considered include outreach options and improved immunisation reminder systems.</p>
<p>Objectives 2.4</p>			
<p>Promote and develop safe and gender equitable communities, cultures and organisations where all relationships are equal, respectful and non-discriminatory</p>			
<p>Action</p> <p>2.4.1 Improve Council's practices and process that actively contribute to gender equity.</p>	<p>Output</p> <p>1. The Gender Equity Program is implemented.</p>	<p>Lead</p> <p>CD&L</p>	<p>Status</p> <p>Complete</p> <p>Progress notes</p> <p>1. A number of actions have been progressed across Council to improve gender equity as part of its Gender Equity Program. This has included a submission to the Dept. of Premier and Cabinet Draft Victorian Gender Equality Strategy and community events at the Broadmeadows Community Hub, Newbury Community Centre and Hume Children's Hubs to celebrate International Women's Day.</p> <p>2. Council's community capacity building unit have also participated within a series of community forums in partnership with Dianella Community Health focussing on prevention of violence against women and creating a culture of respect and equality across the municipality.</p>

THEME 3 A HEALTHY NATURAL ENVIRONMENT			
We will protect and enhance our natural environment for the use, wellbeing and enjoyment of current and future generations			
Create opportunities for people to connect with the natural environment			
Action	Output	Lead	Status
3.1.1 Increase the use of the Westimeadows Indigenous Community Garden as a place for gardening, gathering, healing and learning.	1. Partnership opportunities at the Westimeadows Indigenous Community Garden are explored, expanded and formalised. 2. New facilities at the Westimeadows Indigenous Community Garden are promoted and activated.	H&CW	Complete
			<p>Progress notes</p> <p>1. Council received a proposal to establish a formalised partnership with an external aboriginal employment and social services provider. This proposal is currently being considered by Management and will be presented for EMT consideration following further discussion with the proposed partner organisation.</p> <p>2. A series of promotional activities for the Westimeadows Indigenous Community Garden have been undertaken. This has generated recruitment of a number of new community groups to the garden including Enviro Champs and an Early Childhood Centre. Ongoing work is being undertaken by the Public Health Unit to engage and attract primary schools to the garden to deliver intergenerational and intercultural exchange and learning opportunities. Garden spaces and plots at the Westimeadows Indigenous Community Garden are almost at capacity. The Population Health Unit is engaging with current garden members and Wandarra to determine how additional plots can be developed, promoted and utilised through the establishment of partnerships.</p>
3.1.2 Explore opportunities to activate parks in partnership with preschools.	1. A feasibility study is conducted. 2. A pilot is conducted with at least one preschool.	H&CW	Complete
			<p>Progress notes</p> <p>A series of onsite meetings have been conducted with the Bluebird Way Early Learning Centre and Manager Family, Youth and Children's Services. A series of possible sites have been identified in consultation with Parks and Open Space. Family and Children's services are currently exploring the delivery of family days to activate the sites.</p>
Objective 3.2 Enhance people's understanding and appreciation of the City's natural heritage and their role in protecting it			
Action	Output	Lead	Status
3.2.1 Engage the Hume community around biodiversity through experiences in natural environments.	1. 5 environmental monitoring activities have been conducted, including citizen science activities such as wildlife and flora surveys and water quality monitoring.	SE	Complete
			<p>Progress notes</p> <p>Two wildlife monitoring activities have been delivered, attracting 37 participants. A water quality activity, focussing on monitoring of ponding/stormwater has also been delivered attracting 114 participants.</p>
3.2.2 Deliver biodiversity education and engagement activities in Hume schools.	1. The Seedlings to Schools program is conducted with a minimum of 10 schools.	SE	Complete
			<p>Progress notes</p> <p>The Seedlings to Schools Program has generated a high-level of interest with participation from 19 schools. Participating schools will collect their seedlings for planting in Autumn 2016.</p>
Objective 3.3 Conserve, protect and enhance the City's public land and natural assets			
Action	Output	Lead	Status
3.3.1 Continue to deliver the parks improvement program to upgrade and improve passive open space.	1. Input from the data collection of parks and open space assets informs the Open Space Strategy review.	POS/CAC P	Complete
			<p>Progress notes</p> <p>Council's Parks and Open Space and Assets Management have completed extensive data collection on the condition and location of Council assets and park user satisfaction. This data will be considered within the Open Space Strategy review when commenced (refer action 1.1.2)</p>
3.3.2 Engage rural landowners in capacity building activities focused on sustainable land management.	1. Relevant actions from the Rural Community Engagement Plan are implemented.	SE	Complete
			<p>Progress notes</p> <p>Sustainable Environments continue to progress and implement actions detailed within the Rural Community Engagement Plan. This has included: - the delivery of a community-led 'Conserving our Rural Environments' bus tour with participation from 24 local landowners - a briefing note on weed compliance has been progressed and was presented for Council review in February 2016.</p>

THEME 4 A HEALTHY ECONOMIC ENVIRONMENT					
We will create an economic and learning environment that supports people to realise their full potential					
Support initiatives that build a strong and sustainable local economy and healthy workforce					
Objective	Action	Lead	Status	Progress notes	
Objective 4.1	Support small to medium businesses to develop and implement workplace health and wellbeing initiatives.	H&CW	Complete	<p>The Healthy People Healthy Business initiative has been developed to engage Small to Medium (SMEs) business in health and wellbeing in the workplace. A series of activities were delivered in 2016 under this initiative including:</p> <ul style="list-style-type: none"> - support offered to workplaces to develop Actions Plans to create healthy changes within their workplaces. Four SMEs are currently registered and developing action plans to help create a healthier workplace - a step challenge delivered in November-December 2016. There was a 200% increase in participation from the first step challenge that was delivered in June-July 2016. The feedback from participants in the challenge was very positive and reflected an increase in awareness, in addition to positive behaviour change, of increasing daily physical activity levels - a monthly healthy e-news continues to be delivered to help maintain continued engagement with SMEs. Open rate remains at 35% whilst recipient number increased from 300 to 380 in the last quarter of 2016. Results from the 'Health and Wellbeing Workplace Survey' delivered in 2016 demonstrated that 74% of respondents are interested in receiving health advice via the newsletter to assist them to achieve improved health and wellbeing outcomes. 	
4.1.2	Encourage workplaces to utilise Council's leisure centres.	H&CW	Complete	<p>Leisure services are currently finalising corporate package options that would be attractive to large workplaces. Following the finalisation of these options, these are expected to be promoted through the Healthy People Healthy Business Initiative.</p>	
4.1.3	Increase the number of new and existing businesses seeking to implement workplace health and wellbeing initiatives.	ED	Complete	<p>1. The Healthy Together workplace program is promoted in Economic Development publications. 2. Opportunities are explored to utilise the Healthy Together workplace program in the Business Attraction Framework. 3. Promotional material and a referral system are developed to promote the Healthy Together workplace program.</p>	<p>1. The new Healthy People Healthy Business program has been promoted through the Economic Development newsletter. 2. Options continue to be explored to embed the Healthy People Healthy Business Program with the Economic Development's Business Attraction Framework. 3. The Healthy Together Achievement program continues to be promoted by Council's Economic Development department during onsite visits to workplaces. This has generated a number of on-referrals to the Population Health Unit.</p>
4.1.4	Support increased access to healthy eating options in local business parks.	H&CW	Complete	<p>1. Opportunities are explored to encourage healthy eating options to business park workplaces.</p>	<p>Healthy eating has been promoted as a key priority area under the Healthy People Healthy Business Initiative. This has included working with businesses to support the development of healthy eating action plans as well as the promotion of healthy food recipes through the Healthy People, Healthy Business newsletter.</p>
Objective 4.2	Support the development of affordable social, leisure and recreation services and programs				
Action	Output	Lead	Status	Progress notes	
4.2.1	Deliver low cost, social physical activity opportunities that encourage particular population groups to participate in sport.	LC&S	Complete	<p>1. Continue the multicultural soccer program for newly arrived men. 2. Expand low cost female sports programs to additional primary school locations. 3. Deliver cultural awareness training to sporting clubs. 4. Explore the provision of a water safety / swimming program for the Bhutanese community at Council's leisure centres.</p>	<p>1. The multicultural soccer program for newly arrived men is continuing at Progress Reserve at Coolaroo. 2. A 'Rock Up Netball' sports program has been established at the Hume Tennis and Community Centre Craigieburn providing an affordable, pay-as-you-play sporting option for women. 3. A Cultural Awareness Training Session was delivered in Craigieburn with participation from 5 sporting groups. A number of sporting groups have also participated in cultural awareness training and development delivered by their respective governing bodies. 4. The water safety/swimming program is continuing at Broadmeadows Leisure Centre. Expansion to Craigieburn Leisure Centre is currently being explored.</p>

Support initiatives that reduce people's barriers to meaningful employment, education and training opportunities			
Action	Output	Lead	Status
4.3.1 Support families to develop children and provide intergenerational and intercultural learning opportunities.	1. The 1000 Books Before School initiative continues to be delivered. 2. Coding and programming opportunities for young people are developed and delivered.	CD&L	Complete
4.3.2 Assist unemployed residents in finding employment.	1. Targeted workshops such as resume writing and interview preparation are delivered monthly. 2. The Broadmeadows Employment and Training program is delivered weekly.	ED	Complete
Progress notes			
<p>1. The Hume City Council developed '1000 Books Before School' program is now being rolled out across at Victorian Libraries in Partnership with the State Library of Victoria. A total 458 children registered for participation in the program in the 2016/2017 financial year. 15 children participating in the program reached the 1000 milestone in this quarter out of a total of 55 since the program commenced in July 2015, meaning those families alone have shared a combined 55,000 stories. As at 31 December 2016, 66 children had reached 100 stories, 276 children had reached 250 stories, 157 children had reached 500 stories and 86 children had reached 750 stories.</p> <p>2. A 'Coding for Beginners' program has been rolled out at Craigieburn library targeted to young people 10+ years. Other IT programs were also rolled out across the municipality focusing on Emerging Technologies, Social Media, Microsoft Office, Special Interests and NetHelp. Between June 2016 and December 2016, 2669 people participated in IT programs resulting in a total 28,788 training hours.</p> <p>1. Five targeted workshops have been delivered. These workshops were tailored to the specific needs and priorities identified by job-seekers participating in the workshops.</p> <p>2. Two Employment Information Sessions have been delivered in partnership with TNT couriers and Star Track Express.</p>			
Support initiatives that address housing affordability			
Action	Output	Lead	Status
4.4.1 Work with the Department of Health and Human Services and the Metropolitan Planning Authority to explore the replacement of poor quality public housing stock and the provision of greater housing options.	1. A new Framework Plan for Broadmeadows and a Precinct Plan for housing are developed that consider affordable and diverse housing options.	CACP	Complete
4.4.2 Explore options to facilitate and encourage the provision of greater housing diversity in residential areas.	1. A Housing Strategy is developed.	SP	Complete
4.4.3 Continue to implement the Hume Heatwave Help project to support vulnerable Home and Community Care clients to reduce their cooling costs through the provision of fans and blinds and other retrofits.	1. The project identifies 100 clients over the age of 65.	H&CW	Complete
Progress notes			
<p>Adjunct to the South Broadmeadow Place Framework, ongoing research is being undertaken to understand housing type preferences amongst community members and the quality of existing housing stock. This body of work will compliment and be used to inform the Housing Strategy currently under development.</p> <p>A housing diversity discussion paper has been prepared for consideration and discussion by Council in April and May 2016. Feedback arising from this discussion paper will be used to inform the development and delivery of a housing strategy.</p> <p>100 letters of offer to participate in the Hume Heatwave Help program were distributed to HACC clients over 65 in early January 2016. Of these clients, 30% have sought access to retrofits under the program with completion of retrofits pending.</p> <p>The program is currently undergoing further expansion to all HACC eligible clients - commencing with the 60-65 year age cohort. In addition to heatwave supports and retrofits, the program has been extended to reduce energy costs in the home more broadly including measures to reduce heating and lighting costs. The program is currently being rebranded to encompass it's broader focus.</p>			

REPORT NO:	HE051
REPORT TITLE:	John McMahon Recreation Reserve Master Plan
SOURCE:	Bruce Fordham, Manager Leisure Centres and Sports
DIVISION:	Corporate Services
FILE NO:	605240
POLICY:	-
STRATEGIC OBJECTIVE:	2.1 Foster a community which is active and healthy.
ATTACHMENT:	1. <i>John McMahon Recreation Reserve Master Plan</i>

1. SUMMARY OF REPORT:

- 1.1 The Draft John McMahon Reserve Master Plan (Plan), Attachment 1 has been prepared to guide Council's development of the reserve.
- 1.2 This Plan focuses on the provision of the sport, recreation and leisure activities at this reserve that has experienced growth since the reserves initial development in 2004.

2. RECOMMENDATION:

- 2.1 That Council adopt the Master Plan for John McMahon Reserve.
- 2.2 That the proposed works contained within the Master Plan be referred to the Capital Works program.

3. LEGISLATIVE POWERS:

The provision of leisure services is a function specified in accordance with the Local Government Act 1989.

4. FINANCIAL IMPLICATIONS:

The adoption of the Draft John McMahon Reserve Master Plan will direct Council's prioritisation and required funding for the development and delivery of improvements at this district level reserve. The following proposed projects and the costings are as at June 2016 estimates.

	Items	High Priority	Medium Priority	Low Priority
1	Construction of 150m ² extension to existing building for provision of social space. x \$3k per sq metre	\$525,000		
2	Construction of playground. Servicing District Level requirements as per Council's Open Space Strategy.		\$800,000	
3	Construction of second oval. Based on 155 x 135 m. including irrigation and fencing.	\$1,000,000		
4	Construction of car park adjacent to second oval.		\$50,000	
5	Construction of second oval change facilities. x 320 sq metres, includes services access.		\$1,120,000	
6	Construction of netball court/s or multipurpose court. x 85k per court including sub surface drainage.		\$85,000	

REPORT NO: HE051 (cont.)

	Items	High Priority	Medium Priority	Low Priority
7	Addition of trees to car park around oval.			\$5,000
8	Construction of circuit walking path and associated items. x approx. 900 metres of path.			\$270,000
9	Slow point at front of club rooms.	\$15,000		
10	Additional tree planting around existing sealed car park.		\$5,000	
11	Additional tree planting around reserve.			\$20,000
12	Seal entry road to oval car park.		\$15,000	
13	Garden bed to mark main entry and add to amenity.			\$25,000
14	Investigate the potential for a third softball diamond (any construction costs not included in this plan)			\$5,000
15	Lighting of second softball diamond		\$80,000	
16	Spectator shelters for softball diamonds including pathway from club facilities	\$25,000		
17	Fitness stations around walking path at reserve			\$75,000
	Total:	\$1,565,000	\$2,155,000	\$400,000

5. ENVIRONMENTAL SUSTAINABILITY CONSIDERATIONS:

- 5.1 Developing new upgraded facilities at John McMahon Reserve will address best practice in environmental sustainability design principles.
- 5.2 Further reporting and investigation may be required as a result of Environmental and Heritage Legislation (State and Federal) that may impact on this site.

6. CLIMATE CHANGE ADAPTATION CONSIDERATIONS:

- 6.1 Recommendations in the Draft Plan take into consideration Council's environmental sustainability responsibilities and seek outcomes to reduce or minimise Council's carbon emissions and subsequent impact on climate change.
- 6.2 The Plan places significant emphasis on improvements to the amenity of the reserve, including extensive tree planting, the installation of a path network and other initiatives to accommodate passive users of the reserve.

7. CHARTER OF HUMAN RIGHTS APPLICATION:

- 7.1 The Hume City Council Leisure Strategy 2013-2018 principles and recommendations make a strong commitment towards achieving social justice outcomes.
- 7.2 Participation in leisure to achieve outcomes, such as health and wellbeing, social connection and community capacity building are behind many of the directions and actions proposed in the Plan.

8. COMMUNITY CONSULTATION:

- 8.1 The current draft plan has been developed following feedback from residents and the tenant sporting clubs based at John McMahon Recreation Reserve.

REPORT NO: HE051 (cont.)

8.2 The stakeholder groups that have been consulted include:

- Reserve User Groups:
 - East Sunbury Football Club – 10 teams - Essendon District Football League – 250 members.
 - East Sunbury Netball Club – 5 teams – Netball Vic – 50 members
 - East Sunbury Cricket Club – 8 teams – Gisborne District Cricket Association – 85 members.
 - Sunbury Softball Club – 21 teams – Softball Victoria – 179 members.

8.3 Further consultation was conducted from 24 October – 21 November 2016 (written information sent to all users groups and residents within 500 walkable metres of the site) with the following responses:

8.3.1 Responses

- (a) Residents – 15 responses
- (b) East Sunbury Football and Cricket Club – combined response
- (c) Sunbury Softball Association – 1 response
- (d) Other – Essendon District Football League

9. DISCUSSION:

9.1 A concept plan was developed to inform the consultation process. It is now proposed that this plan be adopted as the Master Plan for John McMahon Recreation Reserve.

9.2 The Plan has been developed to help guide Council's future development of the amenity of the reserve, especially the areas dedicated to sporting infrastructure and recreational opportunities at John McMahon Recreation Reserve.

9.3 The Plan has identified and will address key challenges facing the tenant clubs (current and future growth) as well as the addressing the concerns of surrounding residents.

9.4 Proposed recommendations:

Proposed works	Changes to original concept plan
<p>Building facilities:</p> <p>Additional indoor social space is required at the club rooms. Currently there is no specific space for either the Softball Club or Football/Cricket club to access. The clubs have proposed that any social rooms be developed with any new change rooms that are to be located between the existing oval and the new oval. The softball club has also supported this initiative. This is not supported as there is currently infrastructure in place to support the proposed social rooms adjacent to the existing pavilion. This will also provide amenities for both football/cricket and softball in the future.</p> <p>New change rooms are required to service the proposed new oval activities and will only comprise change rooms and associated amenities.</p>	<p>No change</p>
<p>Playground</p> <p>Reserves of this size incorporate a playground (Open Space Strategy), and Council has identified the reserve as the location for a new District playground. Proximity to the club rooms would enable shared use of services and infrastructure. The playground is to cater for a variety of age groups and include equipment for younger children such as spring rockers. Trees and/or shade structures should be provided.</p>	<p>No change</p>

REPORT NO: HE051 (cont.)

<p>Informal recreation</p> <p>The reserve currently does not expand on opportunities for informal recreation. The creation of a sealed circuit path shaded by trees would provide an opportunity for walkers and runners to comfortably circumnavigate the park. Additional items such as rest stops (seating), distance markers and fitness stations would cater for a range of users. The path would also provide a connection via Xavier Court to the Jacksons Creek Trail.</p> <p>Items such as a hit-up wall and basketball half-court would add to the appeal of the reserve, particularly for teenage and young adult users.</p>	<p>Fitness stations included around pathway</p>
<p>Sports fields</p> <p>Council has identified a need for an additional oval at the reserve (Leisure Strategy). A suitable space is available to the west of the reserve. The netball court currently shares the paved area of the car park. There is adequate space for up to two netball courts immediately north of the club rooms, it is proposed that in the first instance one court be developed.</p>	<p>No change</p>
<p>Pedestrian circulation</p> <p>The existing path network is limited and much of it is unsealed. There are no path links between the north and south ends of the reserve. There is the opportunity to provide a path for recreation (refer to 'Informal recreation' above) and use it to help link the different areas and features. The provision of sealed paths will help the reserve to cater to a wider range of users, including those with mobility issues.</p> <p>There are currently no sealed paths between the car park and the club rooms. The road around the existing oval is very wide and encourages high speeds which is detrimental to access between the oval and the club rooms. Garden beds to narrow the road and a sealed pedestrianised strip at this location will assist in calming traffic and providing safe access.</p>	<p>More seating nodes included in the plan</p>
<p>Vehicular access</p> <p>No additional entry point is proposed from the residential streets around the reserve, to avoid additional traffic. If an additional entry is required in the future the preferred entry point is from Lancefield Road. Adequate vehicular circulation is possible within the reserve for maintenance vehicle access to be from Lancefield Road or Highgrove Drive only.</p>	<p>No change</p>
<p>Parking</p> <p>Currently parking is available in a sealed, formalised car park adjacent to the club rooms, on the unsealed track around the existing oval, and in an unsealed area to the west of the Community Garden. Following the construction of the second oval additional parking facilities will be required at peak times.</p>	<p>No change</p>
<p>Lighting</p> <p>Presently the existing oval and the north softball field have lighting. There is also street lighting in the streets surrounding the reserve. It is proposed that the second softball field be considered for lighting in the future.</p>	<p>Lighting to second softball field.</p>

REPORT NO: HE051 (cont.)

<p>Additional softball field</p> <p>The Softball Association has noted with the increase in participation in softball that a third diamond be investigation. This will be subject of further investigation at a site to the north of the existing diamonds. It is also recommended that spectator shelters be provided at the existing two diamonds.</p>	<p>Provision of spectator shelters for softball diamonds and Investigation of possible third softball diamond.</p>
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9.5 Other items that have been raised that are not related to the reserve will be addressed as a part of an internal referral processes.

10. CONCLUSION:

It is proposed that the John McMahon Recreation Reserve Master Plan be adopted by Council and that the associated works be referred to the Capital Works program.



JOHN MCMAHON RECREATION RESERVE
(FORMERLY GOONAWARRA RECREATION RESERVE)
MASTER PLAN



February 2017



Site Context

Location and Land Use

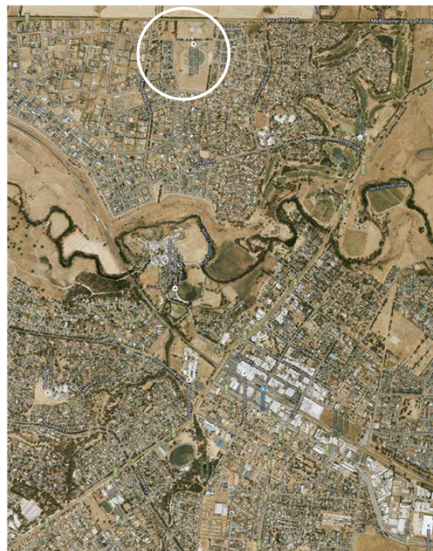
The reserve has frontage to the Melbourne/Lancelfield Road on the eastern side, with residential development on the other three boundaries.

- one large sealed, fenced carpark serviced by unsealed internal roadways,
- a large water storage tank for recycled water, which currently helps irrigate the three sporting fields,
- a well equipped and maintained Community Garden, small pavilion/meeting space, BBQ, small shelter, picnic seating, shade and seating,
- a full AFL sized oval, with a synthetic grass cricket pitch, a high quality irrigated turf surface, players' shelters, perimeter seating and an electronic scoreboard,
- a large undercover viewing area, separate from the changerooms,
- substantial grass cricket training nets,
- an attached undercover viewing area,
- two turf Softball fields, one lit by 6 light towers, with back nets, player/batters' cages and spectator seating,
- a number of overland drainage channels cross the site.

Existing vegetation characteristics

Overall the reserve has a native species feel. It has a mostly grassed surface, with long single-species rows of mature Eucalypts running north-south and east-west. With the exception of the community garden in the north there is little understory planting. There are some sparsely planted garden beds around the existing sports pavilion.

The Department of Sustainability and Environment maps the 1750 pre-european vegetation type for John McMahon Recreation Reserve as Plains Grassy Woodland (EVC 55).



Hume City Council

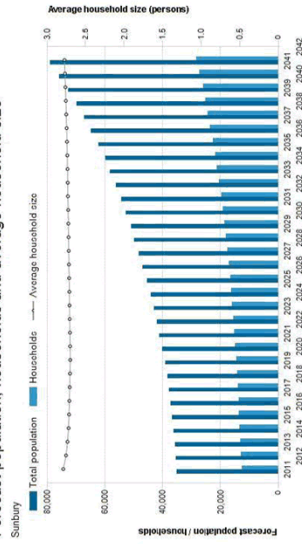
Hume City Council is located north-west of Melbourne city centre. Forecasts estimate that the population of the City will grow by nearly 80% over the next twenty years (ID Consulting, 2011). Hume City residents are relatively young in age and there is a higher proportion of family households in comparison to Metropolitan Melbourne (ABS 2011). It is expected that between 2011 and 2026, the number of children (0-14 years) will grow by 73.7%. Hume City's population is also ageing, with the aged population (65+ years) expected to grow by 146% between 2011 and 2026 (ID Consulting, 2011). The population of Hume City is expected to grow by 146% between 2011 and 2026 (ID Consulting, 2011). Population Health Survey 2011-12).

Sunbury

In 2011, the total population of Sunbury was estimated to be 35,119 people. It is expected to increase by over 11,600 people to 46,723 by 2026.

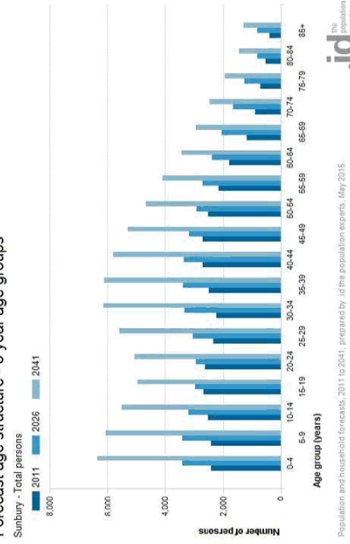
In 2011, the dominant age structure for persons in Sunbury was ages 40 to 44. The largest increase in persons between 2011 and 2026 is forecast to be in ages 30 to 34. The largest 5 year age group in 2026 is predicted to be 0 to 4 years, with a total of 3,414 persons (ID Consulting, 2011).

Forecast population, households and average household size



Population and household forecasts, 2011 to 2026, prepared by id the population experts, May 2015.

Forecast age structure - 5 year age groups



Population and household forecasts, 2011 to 2026, prepared by id the population experts, May 2015.

Strategic context

The following is a summary of key strategic documents that relate to the study area.

Hume City Council Open Space Strategy 2010-2015
The strategy provides a strategic framework for the planning and implementation of open spaces within Hume City Council. It includes recommendations on the location and types of open space facilities. Within the strategy, the 20.42 ha Coonawarra Recreation Reserve (John McMahon Reserve) is identified as a sporting facility. The strategy encourages the Council to create a community garden within the Sunbury region with a garden subsequently created within John McMahon Reserve.

Hume Health and Wellbeing Plan 2013-2017

It is noted that during consultations, many people spoke about their enjoyment of Hume City's walking and cycling paths, leisure services and parks and open spaces not just for physical activity but also for socialising and experiencing nature. Improving amenity, accessibility and safety of public open spaces will encourage people of a wide range of ages and interest groups to enjoy the health and wellbeing benefits of their use.

- Listed in the Plan are four objectives relating to achieving a healthy built environment:
 - Support the use of infrastructure that encourages walking and cycling.
 - Enhance the real and perceived safety and amenity of public places and spaces.
 - Support the provision of physical infrastructure that builds strong, inclusive and connected communities.
 - Encourage initiatives that enhance the environmental sustainability and climate resilience of public places and spaces.

Hume Street and Reserve Tree Policy, 2004 (reviewed 2008)
The Policy promotes identification of opportunities for tree planting in relatively treeless areas, such as in under-developed parks. It is recommended that road and footpath reconstruction be integrated with tree replacement and planting programs where possible and appropriate.

Healthy Spaces and Places, Planning Institute of Australia, August 2009

- The strategy outlines the following key design principles to plan for healthy communities that are of relevance to this project:
 - Active transport: travel modes that involve physical activity, such as walking and cycling, and include the use of public transport that is accessed via walking or cycling
 - Aesthetics: the attractiveness of a place or area affects the overall experience and use of a place (e.g. walking, cycling, viewing and talking). An attractive neighbourhood invites people to use and enjoy its public spaces and to feel safe
 - Connectivity: the directness of links and the number of connections in a path, street or road network, and for Healthy Spaces and Places, the ease with which people can walk and cycle around a neighbourhood and between places
 - Equity: the provision of public places and amenities that are easily accessible for everyone, regardless of age, ability, culture or income, with a suitable range of facilities and services that are available to all
 - Parks and open space: land reserved for passive recreation, sport and recreation, preservation of natural environments, green space and/or urban stormwater management
 - Safety and surveillance: perceptions of safety influence the nature and extent that people use spaces and places. Design that aims to reduce crime can enhance the physical, mental and social wellbeing of a community
 - Social inclusion: refers to a society where all people and communities are given the opportunity to participate fully in political, cultural, civic and economic life, and
 - Supporting infrastructure: facilities that encourage regular and safe physical activity, such as walking (footpaths, lighting, water fountains and signs), cycling (bike paths, bike lockers, signs and equipment), swimming (swimming pools, lifeguards, signage), and recreation (seating, shade, shelter and toilets) and recreation (seating, play equipment and facilities).



Site Photos



Crickets nets



Entry road from Lancelfield Road



Car park with ball court markings



Car parking around oval with trees planted around perimeter



Club rooms



Sheltered spectator area



Car park viewed from south-west



Community garden



Overland drainage channel adjoining Parklea Court

John McMahon Recreation Reserve
Analysis and existing conditions

The following items have been identified in the brief and during site analysis.

Building facilities
Indoor social space is required at the club rooms. Currently no specific social area provided. Change rooms are required to service the cricket nets and the proposed new oval.

Playground
Reserves of this type incorporate playgrounds, and Council has identified the reserve as the location for a new playground. Proximity of the club rooms would enable shared play equipment for younger children such as spring rockers. Trees and other shade structures should be provided.

Informal recreation
The reserve currently does not expand on opportunities for informal recreation. The creation of a sealed circuit path shaded by trees would provide an opportunity for walkers and runners to comfortably circumnavigate the park. Additional items such as rest stops (seating), distance markers and fitness stations would cater for a range of users. The path would also provide a connection via Xavier Court to the Jacksons Creek Trail.

Items such as a hipup wall and basketball half-court would add to the appeal of the reserve, particularly for teenage and young adult users.

Sports fields
The and the sporting clubs have identified a need for an additional oval at the reserve. A suitable space is available to the west of the existing oval and was included in the initial planning for this reserve.

The netball court currently shares the paved area of the car park. There is adequate space for up to two netball courts immediately north of the club rooms.

Shade
Although some rows of mature Eucalypts cross the site (particularly in the east) the reserve as a whole lacks shade. Steps have been taken to address this, with trees having been planted around the existing oval, softball fields, and along the residential street adjacency to the north and west, however additional tree planting is required to provide shade and amenity across the site. Additional provision of shade trees away from formal sporting areas and pathways would allow for further informal use of the reserve.

Pedestrian circulation
The reserve is limited and much of it is unsealed. There are no path links between the north and south ends of the reserve. There is the opportunity to provide a path for recreation (refer to informal recreation above) and use it to help link the different areas and features. This provision of sealed paths will help the reserve to cater to a wider range of users, including those with mobility issues.

There are currently no sealed paths between the car park and the club rooms.

The road around the existing oval is very wide and encourages high speeds which is detrimental to access between the oval and the club rooms. Garden beds to narrow the road and a sealed pedestrianised strip at this location would assist in calming traffic and providing safe access.

Vehicular access
No additional entry point is proposed from the residential streets around the reserve, to avoid additional traffic. If an additional entry is required in the future the preferred entry point is from Lancefield Road. Adequate vehicular circulation is possible within the reserve for maintenance vehicle access to be from Lancefield Road or Highgrove Drive only.

Drainage
Drainage across the reserve is dealt with via overhead flow paths. These appear to function well and there is no proposal to install additional infrastructure due to prohibitive cost.

Parking
Currently parking is available in a sealed, formalised car park adjacent to the club rooms, on the unsealed track around the existing oval, and in an unsealed area to the west of the Community Garden. Following the construction of the second oval additional parking facilities will be required at peak times.



Master Plan



LEGEND

- 1 150m² extension to the existing club rooms for provision of social spaces.
- 2 Construction of a playground. The playground is to cater for a variety of age groups and include equipment for younger children such as spring rockers. Trees and/or shade structures should be provided = District playspace
- 3 Construction of a second oval/cricket oval (155m x 135m).
- 4 Construction of a gravel car park adjacent to second oval. Space for overflow parking or car park expansion to the north.
- 5 Construction of second oval change facilities (maximum 320 sq m).
- 6 Construction of netball court or multipurpose court. If a netball court is constructed it should be located to allow for construction of a second court in the future.
- 7 Additional ring of trees around existing oval to provide shade, define parking areas and reduce speeding particularly at the northern end.
- 8 Construction of 2.5m wide concrete circuit walking path and north-south link path. Includes crossing at entry road, path links over existing overland drainage lines, path link to Community Garden, and path links between club room and car park. Also includes row tree planting along path. Opportunity to provide fitness stations at intervals along the path.
- 9 Narrow section of roadway at club rooms to improve player access to oval and slow traffic. Works to comprise planted areas to narrow road and sealed pedestrian strip.
- 10 Additional tree planting around existing car park to provide shade and shelter from wind.
- 11 Additional tree planting in informal groups.
- 12 Seal entry road to oval car park (including speed humps) to reduce speeding and accommodate increased traffic.
- 13 Garden bed to mark main entry to the reserve.
- 14 Potential future softball field.
- 15 New lighting on the second softball field.
- 16 New spectator shelters for both softball courts.
- 17 Fitness stations around circuit walking path (5 stations).

**John McMahon Reserve
Master Plan**



Implementation plan and costings

Items	High Priority	Medium Priority	Low Priority
1 Construction of 150m ² extension to existing building for provision of social space. x \$3k per sq metre	\$525,000		
2 Construction of playground. Servicing District Level requirements as per Council's Open Space Strategy.		\$800,000	
3 Construction of second oval. Based on 155 x 135 m. including irrigation and fencing.	\$1,000,000		
4 Construction of car park adjacent to second oval.		\$50,000	
5 Construction of second oval change facilities. x 320 sq metres, includes services access.	\$1,120,000		
6 Construction of netball court/s or multipurpose court. x \$8k per court including sub surface drainage.		\$85,000	
7 Addition of trees to cark park around oval.			\$5,000
8 Construction of circuit walking path and associated items. x approx. 900 metres of path.			\$270,000
9 Slow point at front of club rooms.	\$15,000		
10 Additional tree planting around existing sealed car park.		\$5,000	
11 Additional tree planting around reserve.			\$20,000
12 Seal entry road to oval car park.		\$15,000	
13 Garden bed to mark main entry and add to amenity.			\$25,000
14 Investigate the potential for a third softball diamond – (funds not included for this project)			\$5,000
15 Lighting of second softball diamond		\$80,000	
16 Spector shelters for softball diamonds including pathway from club facilities	\$25,000		
17 Fitness stations around walking path at reserve			\$75,000
Total:	\$1,565,000	\$2,155,000	\$400,000

REPORT NO:	HE052
REPORT TITLE:	Willowbrook Reserve Master Plan
SOURCE:	Bruce Fordham, Manager Leisure Centres and Sports
DIVISION:	Corporate Services
FILE NO:	502638
POLICY:	-
STRATEGIC OBJECTIVE:	2.1 Foster a community which is active and healthy.
ATTACHMENT:	1. <i>Willowbrook Reserve Master Plan</i>

1. SUMMARY OF REPORT:

- 1.1 The Draft Willowbrook Master Plan (Plan), Attachment 1 has been prepared to guide Council's development of the Willowbrook Reserve on Mickleham Road.
- 1.2 This Draft Plan focuses on the provision of the sport, recreation and leisure activities at the reserve. The Plan has been developed to help guide Council's, development of a range of facilities, both active and passive at the reserve.

2. RECOMMENDATION:

- 2.1 That Council adopt the Master Plan for Willowbrook Reserve.
- 2.2 That the funding of project works for the Willowbrook Master Plan be referred to the Capital Works Program.

3. LEGISLATIVE POWERS:

The provision of leisure services is a function specified in accordance with the Local Government Act 1989.

4. FINANCIAL IMPLICATIONS:

- 4.1 The adoption of the Draft Willowbrook Reserve Master Plan will direct Council's prioritisation and required funding for the development and delivery of improvements at this sub district level reserve. The following proposed projects and the costings are as at June 2016 estimates.

Items		High Priority	Medium Priority	Low Priority
1.	Reduce length of single traffic lane, introduce shared zone and traffic calming measures. Additional parking. Realign Moonee Ponds Creek Trail. Provide 20 car spaces x 130 metres of pathway.	\$142,000		
2.	Investigation and implementation of water treatment method/s along Moonee Ponds Creek	\$ 50,000		
3.	Upgrade coaches shelter. x 15m x 1.5m.		\$ 25,000	

REPORT NO: HE052 (cont.)

Items		High Priority	Medium Priority	Low Priority
4.	Covered storage area at social rooms. x 40sqm.		\$ 25,000	
5.	Extension to social rooms. x 40 sqm x \$3k per sq mtr. – Football and Cricket social rooms	\$120,000		
6.	Improvements to existing social room amenities – 3 projects		\$25,000	
7.	Remove mound at cricket net run-up area.			\$ 5,000
8.	Lighting upgrade.x 100 lux lighting to enable night matches	\$188,250		
9.	Path links to Mickleham Road.			\$20,000
10.	Upgrade path network across reserve.		\$90,000	
11.	Tennis club upgrade. x 174.5 sq mtrs (enclosed and open) to cater for larger social space, kitchen and office area.		\$755,200	
12.	Additional trees and garden beds across the site.			\$30,000
13.	Install outdoor furniture and grassed area at east change rooms.	\$30,000		
14.	Revegetation works along southern boundary.		\$50,000	
15.	Upgrade and renovation of existing eastern side change rooms to meet requirements for both male and female participants.	\$320,000		
16.	Investigate the provision of a footbridge across the creek from Cambridge Gardens. (funding for any proposed works are not included as a part of this plan)			\$5,000
Total:		\$850,250	\$970,200	\$60,000

4.2 Details of the proposed works are included in Attachment 1 of this report.

5. ENVIRONMENTAL SUSTAINABILITY CONSIDERATIONS:

5.1 Developing new upgraded facilities at Willowbrook Reserve will address best practice in environmental sustainability design principles.

REPORT NO: HE052 (cont.)

5.2 Further reporting and investigation may be required as a result of Environmental and Heritage Legislation (State and Federal) that may impact on this site.

6. CLIMATE CHANGE ADAPTATION CONSIDERATIONS:

Recommendations in the Draft Plan take into consideration Council's environmental sustainability responsibilities and seek outcomes to reduce or minimise Council's carbon emissions and subsequent impact on climate change.

7. CHARTER OF HUMAN RIGHTS APPLICATION:

7.1 The Hume City Council Leisure Strategy 2013-2018 principles and recommendations make a strong commitment towards achieving social justice outcomes.

7.2 Participation in leisure to achieve outcomes, such as health and wellbeing, social connection and community capacity building are behind many of the directions and actions proposed in the Plan.

8. COMMUNITY CONSULTATION:

8.1 The following stakeholder groups have been consulted as a part of this project:

- Reserve User Groups:
 - Westmeadows Football Club – Essendon District Football League – 11 teams and 275 members.
 - Westmeadows Cricket Club – Victorian Turf Cricket Association, North West Cricket Association – 15 teams and 151 members.
 - Westmeadows Tennis Club – 130 members, does not include cardio tennis users and hotshots participants.

8.2 Further consultation was conducted from 24 October – 21 November 2016 (written information sent to all users groups and residents within 500 walkable metres of the site) with the following responses:

8.2.1 Responses

- (a) Residents – 9 responses
- (b) Westmeadows Football and Cricket Club – combined response
- (c) Westmeadows Tennis Club – 1 response
- (d) Other – Essendon District Football League

9. DISCUSSION:

9.1 A concept plan was developed as a part of the consultation process for this project. This plan will now form the basis of a Master Plan for Willowbrook Recreation Reserve.

9.2 The Plan has been developed to help guide Council's future development of the amenity of the reserve, especially the areas dedicated to sporting infrastructure at Willowbrook Reserve.

9.3 The Plan has sought to identify and address key challenges facing the tenant clubs as well as the addressing the concerns of surrounding residents.

9.4 The Plan makes recommendations in relation to a number of initiatives at the reserve. The main issues and the resultant recommendations are detailed below:

REPORT NO: HE052 (cont.)

Proposed works	Changes to original concept plan
<p>Vehicular circulation</p> <p>Sections of the road that provides access to the north car park are too narrow for two lanes of traffic. Sections of the road are also the main pedestrian path, especially when the oval is in use. There is opportunity to more clearly define vehicle and pedestrian circulation to improve safety.</p>	<p>No change</p>
<p>Building and storage facilities</p> <p>Consultation by Council has revealed the following issues:</p> <ul style="list-style-type: none"> - Existing coaches shelter at the oval is inadequate – proposal to upgrade this with expanded shelter, - Existing covered storage, consisting of 2 x shipping containers, is inadequate. Proposal to replace with covered storage area. - The social rooms at the football/cricket club require some functional improvements. These include upgrading the power supply fuse box, installation of a tap at front of social rooms and remodelling of existing bar area to accommodate commercial fridges. - A separate additional change room space is required for women and a first aid room. This is supported and included in future projects. - Need to upgrade existing change facilities to meet requirements for both male and female participants. This is considered a high priority due to the participation of female teams at the site. 	<p>Additional change facility required.</p>
<p>Shade</p> <p>Shade around the reserve is generally well provided by trees and shade structures. However shade is limited at the north end of the oval and in the north car park. Further shade options will be provided as a part of the enhancement of the path network.</p>	<p>No change</p>
<p>Pedestrian circulation</p> <p>Opportunity to strengthen pedestrian links between the Moonee Ponds Creek Trail and Mickleham Road. Sealing the existing path network and constructing the missing links will also improve pedestrian circulation within the reserve, particularly for people with limited mobility, and may reduce pedestrian use of the narrow east access road.</p>	<p>No change</p>
<p>Lighting</p> <p>The existing lighting has been tested and is below that required for player safety at night games. An upgrade to lighting would allow for the scheduling of games and activities after dark. This would require upgrading to 100 lux as per the AFL community facility schedule.</p>	<p>No change</p>
<p>Drainage</p> <p>Revegetation works between the north car park/ access road and the Moonee Ponds Creek Trail will assist in catching runoff. A thorough hydrological assessment, beyond the scope of this concept plan, would be able to determine the necessity/ feasibility of water treatment and harvesting methods in this area.</p>	<p>No change</p>

REPORT NO: HE052 (cont.)

<p>Car parking</p> <p>Council has identified the need for additional car parking within the reserve as a result of the range of sporting activity and the limited options for on street parking at the site. This enhancement is supported in the plan.</p>	<p>No change</p>
<p>Resident issues:</p> <p>Concerns were raised by some residents that the park not be overdeveloped and they noted the importance of public open space being available for enjoyment and use. The proposed developments on this site will have minimal impact on the opportunities across the site.</p> <p>There is currently no connection between Cambridge Gardens estate (to the north) and Willowbrook Reserve. It has been proposed that a footbridge be considered to enable this connection to occur. It is proposed that this matter will require further investigation. Funds are not included in this plan for any works beyond an initial investigation.</p>	<p>Investigation of a linkage to Cambridge Gardens from the reserve be further explored.</p>

9.5 Other items that have been raised that are not directly related to the reserve will be addressed as a part of an internal referral processes.

10. CONCLUSION:

It is now proposed that following extensive consultation that the Draft Willowbrook Master plan be adopted by Council and those projects requiring capital funding be referred to the Capital Works program.



**WILLOWBROOK RECREATION RESERVE
MASTER PLAN**



February 2017



Site Context

Location and Land Use

The reserve has frontage to Mickelham Road on the Eastern side, with residential development to the West and South. The reserve also borders an expanse of open space on either side of the Moonee Ponds Creek to the North, including the Moonee Ponds Trail which passes through the reserve.

The reserve includes:

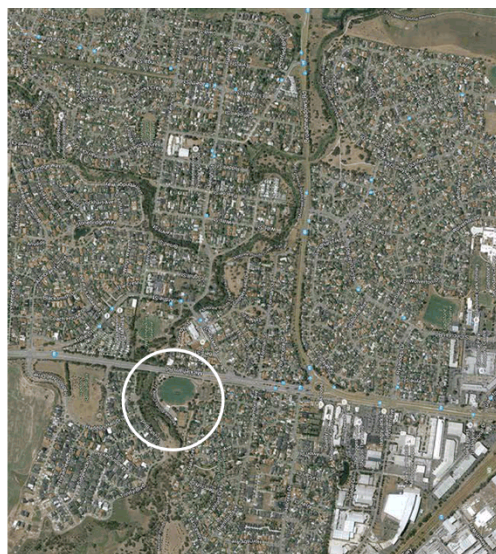
- two large sealed carparks joined by a sealed roadway,
- a well equipped and maintained playground, BBQ, small shelter, water fountain, shade and seating, netball and cricket shelters and a scoreboard;
- a synthetic football and cricket field, undercover viewing area,
- synthetic grass cricket training nets,
- a player and umpire changeroom/toilet building,
- a tennis clubroom, with access to a shaded viewing area,
- locked synthetic grass tennis courts.

Overall the reserve is extensively landscaped and well maintained. The site is tight given the surrounding restraints of the Moonee Ponds Creek and Mickelham Road. The reserve is linked to the surrounding residential areas via open space linear connections.

Existing vegetation characteristics

Overall the reserve has a native species feel which is enhanced by native plantings along the Moonee Ponds Creek. Some large River Red Gums and other Eucalypts are present in the southern part of the reserve, and there is a grouping of Sheoaks in the north-east. There is a strip of native screening shrubs along the eastern boundary adjacent to Mickelham Road.

The Department of Sustainability and Environment maps the 1750 pre-European vegetation type for Willowbrook Recreation Reserve as Plains Grass Woodland (EVC 55) and Riparian Woodland (641).



Willowbrook Recreation Reserve

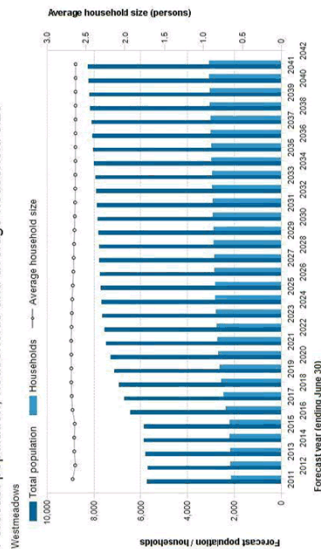
Hume City Council

Hume City Council is located north-west of Melbourne city centre. Forecasts estimate that the population of the City will grow by nearly 80% over the next twenty years (ID Consulting, 2011). Hume City residents are relatively young in age and there is a higher proportion of family households in comparison to Metropolitan Melbourne (ABS 2011). It is expected that between 2011 and 2036, the number of children (0-14 years) will grow by 79.7%. Hume City's population is also ageing, with the aged population (65+ years) expected to grow by 146% between 2011 and 2036 (ID Consulting, 2011). In 2011-12 only 35.2% of people in Hume participated in sufficient physical activity (Victorian Population Health Survey 2011-12).

Westmeadows

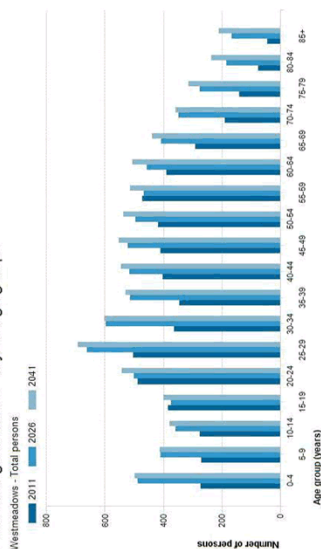
Westmeadows is an established residential area covering approximately 4.7km². In 2011, the total population of Westmeadows was estimated to be 5,732 people. It is expected to increase to 7,717 by 2026. The largest increase in persons between 2011 and 2026 is forecast to be in ages 30 to 34. The largest 5 year age group in 2026 is 25 to 29 years, with a total of 659 persons. (ID Consulting, 2011).

Forecast population, households and average household size



Population and household forecasts, 2011 to 2041, prepared by .id the population experts, May 2015.

Forecast age structure - 5 year age groups



Population and household forecasts, 2011 to 2041, prepared by .id the population experts, May 2015.

Strategic context

The following is a summary of key strategic documents that relate to the study area.

Hume City Council Open Space Strategy 2010-2015

The strategy provides a strategic framework for the planning and implementation of open spaces within Hume City Council. It includes recommendations on the location and type of open space facilities. Within the strategy the 20.42 ha Goonewarra Recreation Reserve (John McIlhann Reserve) is categorised as a 'district' reserve with a 'sporting' function. The strategy identified the need to create a community garden within the Sturbury region with a garden subsequently created within John McIlhann Reserve.

Hume Health and Wellbeing Plan 2013-2017

It is noted that during consultations, many people spoke about their enjoyment of Hume City's walking and cycling paths, leisure services and parks and open spaces not just for physical activity but also for socialising and experiencing nature. Improving amenity, accessibility and perceived safety of public open spaces will encourage people of a wide range of ages and interest groups to enjoy the health and wellbeing benefits of their use.

Listed in the Plan are four objectives relating to achieving a healthy built environment:

- Support the provision of infrastructure that encourages physical activity.
- Enhance the real and perceived safety and amenity of public places and spaces.
- Provision of physical infrastructure that builds strong, inclusive and connected communities.
- Encourage initiatives that enhance the environmental sustainability and climate resilience of public places and spaces.

Hume Street and Reserve Tree Policy, 2004 (revised 2009)

The Policy promotes identification of opportunities for tree planting in relatively treeless areas, such as in under-developed parks. It is recommended that road and footpath reconstruction be integrated with tree replacement and planting programs where possible and appropriate.

Healthy Spaces and Places, Planning Institute of Australia, August 2009

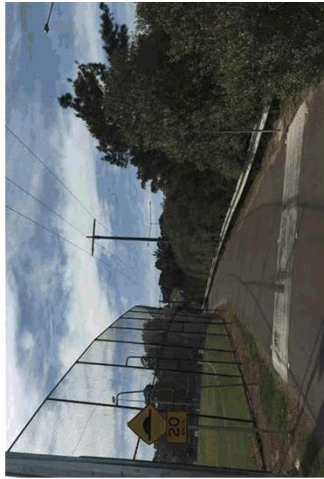
- The strategy outlines the following key design principles to plan for healthy communities that are of real benefit to people:
 - Active transport: travel modes that involve physical activity, such as walking and cycling, and include the use of public transport that is accessed via walking or cycling
 - Aesthetics: the attractiveness of a place or area affects the overall experience and use of a place (e.g. walking, cycling, viewing and talking). An attractive neighbourhood invites people to use and enjoy its public spaces and to feel safe
 - Connectivity: the directness of links and the number of connections in a path, street or road network, and for Healthy Spaces and Places, the ease with which people can walk and cycle around a neighbourhood and between places
 - Environments for all people: places that are safe and easily accessible for everyone, regardless of age, ability, culture or income, with a suitable range of facilities and services that are available
 - Parks and open space: land reserved for passive recreation, sport and recreation, preservation of natural environments, green space and/or urban stormwater management
 - Safety and surveillance: perceptions of safety influence the nature and extent that people use spaces and places. Design that aims to reduce crime can enhance the physical, mental and social wellbeing of a community
 - Social inclusion: refers to a society where all people and communities are given the opportunity to participate fully in political, cultural, civic and economic life, and
 - Supporting infrastructure: facilities that encourage regular and safe physical activity, such as walking (footpaths, lighting, water fountains and signs), cycling (bike paths, bike lockers, signs and showers), public transport (safe shelter, lighting and signs), social interaction (seating, shade, shelter and toilets) and recreation (seating, play equipment and facilities).



Site Photos



South car park incorporating water sensitive design



Access road between oval and Mickleham Road



Change rooms, looking south



Area between north-east change rooms and oval



Social rooms viewed from car park



Oval viewed from north car park



Change rooms viewed from north-west



Moonee Ponds Creek Trail behind social rooms



Path between tennis club and social rooms



Analysis and existing conditions



Willowbrook Recreation Reserve

The following items have been identified in the brief and during site analysis.

Vehicular circulation
 Sections of the road that provides access to the north car park are too narrow for two lanes of traffic. Sections of the road are also the main pedestrian path, especially when the oval is in use. There is opportunity to more clearly define vehicle and pedestrian circulation to improve safety.

Building and storage facilities
 Consultation by Council has revealed the following issues:

- Existing shelter at the oval is inadequate.
- Existing covered storage, consisting of 2x shipping containers, is inadequate. There is potential to convert part of the large fenced external storage area to covered storage.
- The social rooms require some functional improvements. These include upgrading the power supply/ use box, installation of a tip at front of social rooms and remodelling of existing bar area to accommodate commercial fittings.
- The social rooms are too small to fulfill current needs. A separate additional changeroom space is required for women and a first aid room. There is potential to convert part of the large fenced external storage area to these purposes. The additional area may not be sufficient to allow for a parents' room, a dedicated meeting room or to expand the size of the venue space. *Note: further investigation would be required to determine this.*

Shade
 Shade around the reserve is generally well provided by trees and shade structures. However shade is limited at the north end of the oval and in the north car park.

Pedestrian circulation
 Opportunity to strengthen pedestrian links between the Moore Ponds Creek Trail and Mickleham Road. Sealing the existing path network and constructing the missing links would also improve pedestrian circulation within the reserve, particularly for people with limited mobility, and may reduce pedestrian use of the narrow east access road.

Lighting
 The existing lighting has been tested and is below that required for player safety at night games. An upgrade to lighting would allow for the scheduling of games and activities after dark.

Vandalism
 It has been noted that there are issues with inappropriate motor vehicle entry to the reserve, including on match days, criminal damage to private and public property and the dumping of stolen and burnt out vehicles. Potential landscape responses to these issues centre on introduction of traffic calming measures such as speed humps to reduce lengths of smooth road surface, and improvement of the path network and the facilities and general appearance of the reserve to encourage additional visitors and pedestrian traffic thereby increasing passive surveillance within the reserve. An upgrade to lighting would allow for the scheduling of games and activities after dark and increase the number of hours of passive surveillance.

Drainage
 The proximity of the Reserve to the Moore Ponds Creek raises the possibility that untreated runoff is flowing into the Creek from the hard surfaces within the Reserve. Building and construction works undertaken at the social rooms and to the north car park and access road should incorporate measures to ensure suitable drainage. Revegetation works between the north car park/ access road and the Moore Ponds Creek Trail may assist in catching runoff. A thorough hydrological assessment, beyond the scope of this concept plan, would be able to determine the necessity/ feasibility of water treatment and harvesting methods in this area.

Car parking
 Council has identified the need for additional car parking within the reserve.



LEGEND

- 1 Reduce length of single lane (to be 'shared zone') thereby allowing motorists to make eye contact. Vehicle exclusion measures around east change rooms. Traffic calming to road network. Construct additional parking at north edge of reserve. Realign Moonee Ponds Creek Trail to accommodate changes (130m new path, 20 new constructed car spaces).
- 2 Investigate and implement appropriate methods, such as garden bed infiltration, to prevent untreated runoff from the north carpark/access road entering Moonee Ponds Creek.
- 3 Upgrade existing coaches shelter (15m x 1.5m)
- 4 Addition of covered storage area at social rooms (approx. 40m²). Remove existing storage containers.
- 5 Extension to social rooms incorporating additional change room and first aid room (approx. 40m²).
- 6 Improvements to social rooms:
 - Upgrade power supply fuse box.
 - Install tap at front of social rooms.
 - Remodel existing bar area to accommodate commercial fridges.
- 7 Remove mound at cricket net run-up area.
- 8 Upgrade lighting to recommended lux for player safety night games (100 lux recommended).
- 9/10 Provide concrete pedestrian path links between existing footpaths on Mickleham Road and shared zone inside the reserve to facilitate north-south pedestrian movement across Moonee Ponds Creek (35 metres).
- Upgrade path network across reserve:
 - Concrete existing gravel paths to link Mickleham Road and south car park with social rooms, tennis club, cricket nets and Moonee Ponds Creek Trail.
 - Provide concrete path north of oval between social rooms and east change rooms to provide pedestrian link off access road and reduce erosions (240 metres).
- 11 Tennis clubhouse upgrade (174.50 sq metres to enclose and open of building).
- 12 Additional tree planting to main entry, perimeter oval and north car park to provide shade and improve appearance of reserve. Ornamental garden beds to frontage of social rooms, around playground, along access road and at main entry to improve appearance of reserve.
- 13 Install furniture and grassed area at east change rooms to provide additional spaces for spectators.
- 14 Revegetation works in the reserve (low planting only to maintain viewlines) along southern boundary to expand the Moonee Ponds Creek ecology.
- 15 Upgrade and renovate existing change rooms to cater for both male and female participants.
- 16 Investigate the provision of a footbridge to connect to Cambridge Garden development to the reserve.

Willowbrook Reserve Master Plan



Implementation and costings

Items	High Priority	Medium Priority	Low Priority
1 Reduce length of single traffic lane, introduce shared zone and traffic calming measures. Additional parking. Realign Moonee Ponds Creek Trail. Provide 20 car spaces x 130 metres of pathway.	\$142,000		
2 Investigation and implementation of water treatment method/s along Moonee Ponds Creek boundary.	\$ 50,000		
3 Upgrade coaches shelter. x 15m x 1.5m.		\$ 25,000	
4 Covered storage area at social rooms. x 40sqm.		\$ 25,000	
5 Extension to social rooms. x 40 sqm x \$3k per sq mtr. – Football and Cricket social rooms	\$120,000		
6 Improvements to existing social room amenities – 3 projects		\$25,000	
7 Remove mound at cricket net run-up area.			\$ 5,000
8 Lighting upgrade.x 100 lux lighting to enable night matches	\$188,250		
9 Path links to Mickleham Road.			\$20,000
10 Upgrade path network across reserve.		\$90,000	
11 Tennis club upgrade. x 174.5 sq mtrs (enclosed and open) to cater for larger social space, kitchen and office area.		\$755,200	
12 Additional trees and garden beds across the site.			\$30,000
13 Install outdoor furniture and grassed area at east change rooms.	\$30,000		
14 Revegetation works along southern boundary.		\$50,000	
15 Upgrade and renovation of existing eastern side change rooms to meet requirements for both male and female participants.	\$320,000		
16 Investigate the provision of a footbridge across the creek from Cambridge Gardens (funding is not included in this plan for any proposed works).			\$5,000
Total:	\$850,250	\$970,200	\$60,000

REPORT NO:	CC048
REPORT TITLE:	2017 Broadmeadows Street Festival - Community Grants
SOURCE:	Louise McFarlane, Manager Communications and Events
DIVISION:	Communications, Engagement and Advocacy
FILE NO:	HCC16/556
POLICY:	-
STRATEGIC OBJECTIVE:	3.3 Strengthen community connections through local community events and the arts.
ATTACHMENTS:	Nil

1. SUMMARY OF REPORT:

- 1.1 Submissions from 21 community groups, organisations and individuals were received for the 2017 Broadmeadows Street Festival grants scheme. This report outlines the assessment process of the applications and provides a recommendation regarding the allocation of grants.
- 1.2 All of the groups recommended to receive grants funding have been considered against the criteria and will positively contribute to the outcomes and success of the Broadmeadows Street Festival, which will be held on Sunday 9 April 2017.

2. RECOMMENDATION:

That that Council:

- 2.1 Approves an allocation of \$21,010 to 16 community groups (as detailed below) as part of the 2017 Broadmeadows Street Festival community grants scheme.
- 2.2 Approves the remaining funds not expended under the grants scheme (\$3,990) to be reallocated to delivering other activities at the Broadmeadows Street Festival such as free children’s activities and hiring entertainers (not eligible for grants under the scheme).

	Group Name	Activity Details	Request	Allocation	Final Amount
1	All Saints	Multicultural food stall and performance	\$2,500	50%	\$1,250
2	Art Enrichment	Performance and workshops from Craigieburn Youth Theatre Group.	\$2,500	60%	\$1,500
3	Assyrian Assemble of God (AOG) Church	Traditional Assyrian cooking demonstrations	\$2,000	50%	\$1,000
4	Chaldean League of Victoria Inc.	Band and folk dancing group	\$2,200	50%	\$1,100
5	Clan Analogue	Jam sessions with local performers to create a new music experience and live video streaming	\$1,800	70%	\$1,260

REPORT NO: CC048 (cont.)

6	Elusive Arts	Art prints of contemporary and ancient art mixed with poetry of love given away to attendees	\$2,500	80%	\$2,000
7	Greek and Cypriot Social/Welfare Centre	Traditional Greek performance	\$1,500	50%	\$750
8	Hmong Australia Festival Inc.	A Hmong cultural exhibition display featuring a handicraft display; a cultural dance performance from members of the Hmong community; a food stall where visitors can learn about and taste authentic Hmong food.	\$2,500	60%	\$1,500
9	Kerala Hindu Society	Musical / dance performance with over 30 participants and based on Kerala (Indian style dance).	\$2,500	60%	\$1,500
10	Melbourne Solidarity Inc.	Coffee and cakes and a performance to educate on a range of traditional instruments	\$2,350	70%	\$1,645
11	Northern Turkish Family Ass	Music performance, multicultural cooking and exhibitions	\$2,500	50%	\$1,250
12	Okyanusya Theatre and Cultural Activities Group	The 7Seas group performance with Turkish and English music	\$2,370	60%	\$1,425
13	Pacmania	Performances including roving, stage and busking style. And music will range from traditional percussion rabab, and electronic loops.	\$2,500	80%	\$2,000
14	Foundling Archive	An oral historic exhibition with recorded interviews becoming part of the project	\$2,200	50%	\$1,100
15	The Gurukul Inc.	Indian dance and singing performance	\$2,500	50%	\$1,250
16	THE – HE Vietnamese Language Centre	Lantern making workshops for children including a parade	\$800	60%	\$480

REPORT NO: CC048 (cont.)

					TOTAL: \$21,010
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3. FINANCIAL IMPLICATIONS:

- 3.1 The funding available for distribution to community groups as part of the 2017 Broadmeadows Street Festival grants scheme is \$25,000. This funding was approved by Council as part of the 2016/17 budget.
- 3.2 The assessment of applications and current funding proposal falls within the approved budget.

4. COMMUNITY CONSULTATION:

- 4.1 The Broadmeadows Street Festival grants scheme is open to not-for-profit community groups / organisations. Grant applications were opened on 5 December 2016 and closed on 6 January 2017.
- 4.2 Council wrote to all groups/organisations listed in the Community Grants and Arts database to inform them of the opportunity to apply for a grant and be part of the festival.
- 4.3 The grants were also promoted to the broader community via Council's website, Hume News newsletter, the Hume Events Facebook page and via a media release sent to the local papers.

5. DISCUSSION:

5.1 Background:

- 5.1.1 The Broadmeadows Street Festival will be held on Sunday 9 April 2017 and is proposed to be a vibrant and colourful event in Tanderrum Way, Broadmeadows, that reflects the cultural diversity of Hume and provides an opportunity for the community to come together to share food, music and dance. The event will run from 1pm - 7pm with the night ending in a fireworks display.
- 5.1.2 To be eligible for a grant of up to \$2,500, community groups/organisations had to propose an activity to be delivered on the day of the Broadmeadows Street Festival (9 April 2017) that adds to the festival program, ensures participation of the Hume community, addresses issues of access and equity and is viable in terms of the event management skills and proposed expenditure of the activity.

5.2 Assessment:

- 5.2.1 The applications were reviewed by a panel that included Mayor Councillor Drew Jessop, Councillor Geoff Porter, Councillor Jana Taylor, Councillor Karen Sherry, Councillor Naim Kurt, Director Communications, Engagement and Advocacy (Kylie Ezzy), Manager Communications and Events (Louise McFarlane) and Acting Coordinator Events and Festivals (Sarah Jackson).
- 5.2.2 To be eligible to receive funding, groups / organisations and the applications were considered against the following criteria:
 - Not-for-profit group or organisation
 - Demonstrated minimal financial resources or limited ability to fundraise
 - Debt free with Hume City Council
 - Have no outstanding grant acquittals of prior grants allocated by Hume City Council

REPORT NO: CC048 (cont.)

- Are located and/or operating within Hume’s municipality
 - Covered for Public Liability Insurance or planned to have Public Liability Insurance.
- 5.2.3 It should be noted that all groups that applied for a grants were asked to be incorporated; this is in keeping with the process that is undertaken to allocate community grants.
- 5.2.4 Applications were then measured against their ability to demonstrate the following:
- The activity adds to the festival program in terms of quality, level of culture displayed, and how it adds to the range of cultural activities profiled
 - The activity ensures the participation of the Hume community in the festival as performers, organisers or audience
 - The activity addresses issues of access and equity
 - The activity is viable in terms of the event management skills of the organisers and the proposed expenditure for the activity.
- 5.2.5 Each applicant was awarded up to five points for each measurement using the following ratings:
- 0 - Does not meet the criterion
 - 2 - Partially meets the criterion
 - 3 - Meets all aspects of the criterion
 - 4 - Exceeds some of the criterion
 - 5 - Exceeds all of the criterion
- 5.2.6 The scores for each selection criteria were then added together to achieve a total score.
- 5.2.7 The total scores were then applied to a ‘Ranking Allocation Table’ to assist in determining the appropriate amount of funds to be allocated to each group (see below).

Score	% Funds sought
20	100%
19-18	90%
17-16	80%
15-14	70%
13-12	60%
11-10	50%
0-9	0%

5.3 Application Overview:

- 5.2.1 Applications for the 2017 Broadmeadows Street Festival grants scheme were received from a variety of groups including multicultural, sporting, social and community groups.

REPORT NO: CC048 (cont.)

- 5.2.2 All applicants will be notified of the outcome of their application. Those who are offered a grant will be sent a funding agreement.
- 5.2.3 The grant applicants determined not to be eligible for a grant are listed in the table below, with one applicant withdrawing their request before assessment commenced.
- 5.2.4 Unsuccessful applicants will be encouraged to re-apply next year and in the meantime, officers will work with these groups to identify opportunities to improve their applications.

	Group Name	Request	Allocation
1	Eritrean Families in Hume and the North (EFHN)	\$2,500	0%
2	Haripriya	\$750	0%
3	M.A.P.S Club Inc. (Mature Active Persons Social Club)	Request withdrawn	0%
4	Orhay Assyrian Language School	\$2,500	0%
5	SiBelleUs Chefittles Express	\$1,000	0%

6 CONCLUSION:

- 6.1 Council's 2017 Broadmeadows Street Festival grants scheme is a central part of Council's commitment to creating a culturally vibrant and connected community.
- 6.2 The successful grant recipients reflect Hume's cultural and artistic diversity and the activities proposed by the applicants as part of the 2017 Broadmeadows Street Festival will greatly enhance the appeal of the festival and provide a range of activities on the day.

REPORT NO:	SU191
REPORT TITLE:	5 Metelman Court, Broadmeadows - development of four double storey dwellings and one single storey dwelling
SOURCE:	Henry Dong, Town Planner
DIVISION:	Planning and Development
FILE NO:	P19637
POLICY:	Hume Planning Scheme
STRATEGIC OBJECTIVE:	4.1 Facilitate appropriate urban development while protecting and enhancing the City's environment, natural heritage and rural spaces.
ATTACHMENTS:	1. <i>Locality Plan</i> 2. <i>Proposed Plans</i>

Application No:	P19637
Proposal:	Development of four double storey dwellings and one single storey dwelling.
Location:	5 Metelman Court, Broadmeadows
Zoning:	General Residential Zone 1
Applicant:	U Property Australia Pty Ltd
Date Received:	31 May 2016

1. SUMMARY OF REPORT:

Planning approval is sought for the development of four double storey dwellings and one single storey dwelling at 5 Metelman Court, Broadmeadows. 16 objections have been received (including one joint letter with 16 signatures). The application has been assessed on its merits against the relevant policies and provisions of the *Hume Planning Scheme* (the Scheme) including consideration of the issues raised in objections. On balance, the proposal is considered acceptable and it is recommended that a Notice of Decision to Grant a Permit is issued subject to conditions.

2. RECOMMENDATION:

2.1 That Council, having considered the application on its merits and the objections received. Resolves to issue a Notice of Decision to Grant a Planning Permit for the development of four double storey dwellings and one single storey dwelling at 5 Metelman Court, Broadmeadows, subject to the following conditions:

1. **Before the development permitted by this permit commences, amended plans to the satisfaction of the responsible authority must be submitted to and approved by the responsible authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be generally in accordance with the plans submitted but modified to show:**
 - a) **Landscape strip adjacent to the Dwelling 1 and 2 on the south elevation to be reduced by a minimum of 500mm to improve the accessibility to the shared double carport.**
 - b) **A centrally located bin storage area that has a minimum capacity to store three 240 litre waste bins and three 360 litres recycle bins.**
2. **The development shown on the endorsed plans must not be altered without the prior written consent of the responsible authority.**

REPORT NO: SU191 (cont.)

3. Once the approved development has started, it must be continued and completed to the satisfaction of the responsible authority except with the prior consent of the responsible authority.
4. The external materials, finishes and paint colours of the approved buildings must be to the satisfaction of the responsible authority.
5. All services, including water, electricity, gas, sewerage and telephone, must be located and installed underground to the satisfaction of the responsible authority.
6. Except with the prior written consent of the responsible authority, no service equipment or architectural features other than those shown on the endorsed plans are permitted above the roof level of the buildings.
7. Before the development is occupied, the areas set aside for the parking of vehicles together with the aisles and access lanes as shown on the endorsed plans must be:
 - (a) constructed with a durable all-weather seal;
 - (b) drained to the nominated point of discharge;
 - (c) line-marked to indicate each car space and access lane;
 - (d) marked to show the direction of traffic along access lanes and driveways; and
 - (e) provided with concrete kerbs or other barriers to prevent direct vehicle access to an adjoining road other than by a vehicle crossing, all to the satisfaction of the responsible authority.

The areas must be maintained in a useable condition to the satisfaction of the responsible authority.

8. Car spaces, access lanes and driveways shown on the endorsed plan must be kept available for these purposes at all times to the satisfaction of the responsible authority.
9. Before the development is occupied, vehicle access to and from the land from any roadway or service lane must be by way of a vehicle crossing constructed in accordance with Council's Vehicle Crossing Specifications to suit the proposed driveway(s) and the vehicles that will use the crossing(s). After obtaining a road opening permit from Council, the location, design and construction of the vehicle crossing(s) must be approved by the responsible authority.
10. Any services within the road reserve requiring relocation must be approved by the relevant service authority and carried out and completed to the satisfaction of the responsible authority.
11. Before the development starts, a landscape plan to the satisfaction of the responsible authority must be submitted to and approved by the responsible authority. When approved, the landscape plan will be endorsed and will then form part of the permit. The plan must be prepared by a suitably qualified person drawn to scale with dimensions and three copies must be provided. The landscaping plan must show:
 - (a) a survey (including botanical names) of all existing vegetation to be retained and/or removed;
 - (b) buildings and trees (including botanical names) on neighbouring properties within three metres of the boundary;
 - (c) details of surface finishes of pathways and driveways;
 - (d) a planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, sizes at maturity and quantities of each plant;
 - (e) landscaping and planting within all open areas;

REPORT NO: SU191 (cont.)

- (f) One large canopy tree (minimum two metres tall when planted) and understorey landscaping in the site frontage and screen planting on side and rear boundaries;
 - (g) an in-ground irrigation system to all landscaped areas;
 - (h) a tree protection zone and structural root zone for each tree to be retained; and
 - (i) the location and details of root control barriers;
12. Before the use starts or the development is occupied or by such later date as is approved by the responsible authority in writing, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the responsible authority.
 13. The landscape area(s) shown on the endorsed plan(s) must be planted and maintained to the satisfaction of the responsible authority and once landscaped must not be used for any other purpose. Maintenance must include the removal of weeds and the replacement of any dead plants in accordance with the endorsed landscape planting schedule.
 14. The whole of the land, including any landscaped and paved areas, must be graded and drained to the satisfaction of the responsible authority so as to prevent the discharge of stormwater causing damage from the land across any road or footpath or onto adjoining land. All stormwater storage tanks must have the overflow pipe connected to the legal point of discharge to the satisfaction of the responsible authority.
 15. Prior to occupation of the development, provision of litter control at stormwater inlet points within car park and paved areas is required. All stormwater pits to be Channel Grated or Grated as per Council's Standard Dwg SD 210/215 or SD225 respectively.
 16. Stormwater from all paved area must be retained within the property and drained to the sites underground stormwater system, including pavement over the easement area.
 17. Any cut or fill must not interfere with the natural overland stormwater flow.
 18. No polluted and/or sediment laden runoff is to be discharged directly or indirectly into Council's drains or watercourses during construction.
 19. This permit will expire if one of the following circumstances applies:
 - the development is not started within three years of the date of this permit; or
 - the development is not completed within six years of the date of this permit.

The responsible authority may extend the periods referred to if a request is made in writing:

- before or within six months after the permit expiry date, where the development allowed by the permit has not yet started; or
- within 12 months after the permit expiry date, where the development allowed by the permit has lawfully started before the permit expires.

Permit Notes:

1. If a request for an extension of commencement/completion dates is made out of time allowed, the responsible authority cannot consider the request and the permit holder will not be able to apply to VCAT for a review of the matter.
2. All dwellings will need to share the bins; the development will be issued with a maximum of three 240 litre waste bins and three 360 litre recycle bins.

REPORT NO: SU191 (cont.)

3. Drainage investigation is required for this development (fees apply). Plans to be submitted to Council's Civil Design section for assessment. This will determine if on-site detention system, upgrading of Council's existing drainage pipes or new drainage pipes are required by the owners/developers.
4. Following the Drainage Investigation, internal drainage plans to be submitted to Council Civil Design section for approval.
5. An application for a 'Consent to Dig in the Road Reserve' permit for a vehicle crossing is to be submitted to Council for approval. A copy of the Council endorsed plan showing all vehicle crossing details is to be attached to the application. Any service relocations are to the approval of the Service Authority and at the owners cost.
6. Any modifications to existing vehicle crossings require an application for a 'Consent to Dig in the Road Reserve' permit for a vehicle crossing to be submitted to Council for approval. A copy of the Council endorsed plan showing all vehicle crossing details is to be attached to the application.
7. An application for Legal Point of Stormwater discharge is required to obtain approval for the connection to the legal point of discharge.
8. Any service relocations are to the approval of the service authority and at the owners cost.
9. Prior to any works being carried out within the road reserve (nature strip), an application for "Non-Utility Minor Works within the Municipal Road Reserve" must be lodged and approved by Council.
10. According to Council plans, there is a 1.83m wide easement running along the northern rear boundary. Approval is required from Council and other relevant authorities, for the garage and shed to build over the easement.

3. PROPOSAL:

3.1 It is proposed to develop the subject site with four double storey dwellings and one single storey dwelling. Detail of the proposal is as follows:

3.2 Dwellings 1-4

- Dwellings 1-4 are all double storey dwellings with dwelling 1 having direct frontage to Metelman Court.
- Dwellings 2, 3 and 4 have frontage to the internal accessway.
- The internal layout of the dwellings comprises a combined open plan meals / kitchen / living area, a powder room and laundry on the ground floor. The upper level comprises two bedrooms and a shared bathroom / toilet.
- Each of these dwellings will be provided with one car space accessed from the shared accessway.
- Each dwelling is provided with a secluded private open space with a minimum area of 40 square metres and is accessible from a living room.
- The dwellings have a maximum height of 7.5 metres.
- The architectural style is modern with the construction materials being brick at ground level and a rendered finish at the upper level. Titled roofing is also proposed and eaves are also incorporated into the 25° roof pitched roof.

3.3 Dwelling 5

- This dwelling is a single storey dwelling and faces the internal access way.
- The internal layout comprises combined meals / living / kitchen area, bathroom, laundry and two bedrooms.

REPORT NO: SU191 (cont.)

- The dwelling will be provided with one car parking space contained within a single car port accessed from the internal accessway.
- Maximum height is 4.5 metres
- The architectural style is modern with the construction materials of brick with tiled roof.

3.4 Crossovers & Visitor Parking

- The existing vehicle cross over will be utilized to access all five dwellings on site.
- One visitor car parking space is provided on site.
- The following table provides a summary of the proposed development.

Site area	895m ²
Dwelling Density	1 : 179m ²
Site Coverage	39.6% (60% max.)
Permeability	38.5% (20% min.)

4. **SITE AND SURROUNDS:**

- 4.1 The subject site is located within a typical residential enclave bounded by Trethowan Street to the north, Stevenson Street to the south, Smiley Road to the west and Ophir Street to the east.
- 4.2 The subject site, along with those immediately surrounding it, is irregular in shape. The site has a frontage of 12.63 metres to Metelman Court, a northern boundary of 37.15 metres, a north-west boundary of 16.42 metres, a western boundary of 22.86 metres and a southern boundary of 35.26 metres, resulting in a total site area of 895 square metres.
- 4.3 The site is relatively flat and does not contain significant vegetation.
- 4.4 A single storey, double fronted dwelling is currently occupying the site. The dwelling extends all the way to the rear of the site. There are a number of metal sheds, two of which are located at the rear of the site whilst a large shed is located along the southern boundary and is currently used as a double garage.
- 4.5 Access to the site is currently via an existing vehicle crossing located on the south-west corner of the site.
- 4.6 The surrounding area is an established residential neighbourhood characterised by a combination of single and two-storey dwellings interspersed with medium density unit developments. Dwellings typically have open landscaped front gardens, with low or no front fencing, creating a moderate density, open streetscape character.
- 4.7 The site is located within close proximity of infrastructure and road networks. Jack Roper Reserve is approximately 160 metres east of the site, Meadow Primary School is less than 400 metres northwest of the site and Camp Road is 400 metres north of the site. The subject site also has convenient access to Broadmeadows Civic Centre, Northcorp Employment Precinct and Olsen Place community shopping precinct.

Restrictions on Title

- 4.8 No registered restrictive covenants are recorded on the title.

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5. PLANNING CONTROLS:

- 5.1 The following policies and provisions of the *Hume Planning Scheme* (“the Scheme”) are relevant in the consideration of the application:

State Policies: Clause 15.01-1: Urban Design
Clause 15.01-2: Urban Design Principles
Clause 15.01-5: Cultural Identity and Neighbourhood Character
Clause 15.02-1: Energy and Resource Efficiency
Clause 16.01-1: Integrated Housing
Clause 16.01-2: Location of Residential Development
Clause 16.01-4: Housing Diversity
Clause 16.01-5: Housing Affordability

Municipal Strategies: Clause 21.02-1: Housing
Clause 21.02-2: Health and Safety
Clause 21.08: Particular Uses and Development
Clause 21.06-1: Broadmeadows and Meadow Heights

Local Policies: N/A

Zones: Clause 32.08: General Residential Zone (Schedule 1)

Overlays: Nil

Particular Provisions: Clause 52.06: Car Parking
Clause 55: Two or more dwellings on a lot

General Provisions: Clause 65.01: Approval of an Application or Plan

- 5.2 It is State Policy to create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity, and to achieve urban design outcomes that contribute positively to the local urban character.
- 5.3 It is also policy that new housing is designed to respond to community needs by providing affordable higher density housing developments which are strategically located close to transport corridors and activity centres.
- 5.4 In relation to Housing, Clause 21.02-1 seeks:
- *“To provide access to a range and quality of housing opportunities that meet the varied needs of existing and future residents”*; and
 - *“To deliver urban growth that is cost effective, orderly and achieves the greatest social benefits to the community, without diminishing the unique character and identity of the City”*.
- 5.5 Clause 21.06-1 relates to the Broadmeadows and Meadow Heights neighbourhoods.

‘The area includes the suburbs of Jacana, Dallas, and Broadmeadows The area is also serviced by the Craigieburn rail line and the Broadmeadows train station The neighbourhood is strategically located, having direct access to Somerton, Pascoe Vale and the Western Ring Road, and being at the terminus for electrified rail services on the Melbourne-Sydney railway line.

Broadmeadows contains the most extensively developed retail, leisure, entertainment, medical and civic facilities in the municipality. The precinct has been recognised in the State Government’s Melbourne Metropolitan Strategy, Melbourne 2030 as a Central Activity District and one of thirteen declared ‘Transit Cities’ in Victoria.

REPORT NO: SU191 (cont.)

The infrastructure in the neighbourhood, including private and public housing, is coming under increasing pressure and is ageing and in need of repair or upgrade as development to the north proceeds. There are opportunities for infill development in the southern half of the neighbourhood, and beyond the Broadmeadows Transit City.

5.6 The Local Areas policy has the following relevant objective:

- *To provide for a range of quality housing opportunities within the Broadmeadows and Meadow Heights neighbourhoods while ensuring that development is managed to ensure attractive and pleasant residential environments.*

Aboriginal Cultural Heritage

5.7 The land is not located within an area of cultural heritage sensitivity as described in the Aboriginal Heritage Regulations 2007 and therefore a Cultural Heritage Management Plan is not required.

Major Electricity Transmission Line

5.8 The land is not located within 60 metres of a major electricity transmission line.

Planning Permit Trigger/s

5.9 The permit trigger in this instance is Clause 32.08-4, which relates to the buildings and works associated with the construction of two or more dwellings on land located within a General Residential Zone.

6. REFERRALS:

6.1 The application was not required to be referred to any statutory authorities under Section 55 of the *Planning and Environment Act 1987* (“the Act”).

6.2 The application was referred internally to Council’s Asset Department and Waste Department for comments. No objections have been received from either department subject to the inclusion of various conditions

7. ADVERTISING:

7.1 The application was advertised under Section 52 of the Act by way of letters to adjoining land owners and occupiers and one notice board placed on site. A total of 16 objections were received in response. The grounds of objection can be summarised as follows:

- *Traffic and Parking*
- *Overdevelopment & Overpopulation*
- *Bin collection*
- *Privacy and overlooking*
- *Noise and tenant*
- *Asbestos removal during construction*

8. OBJECTIONS:

8.1 The above objections are addressed below.

Traffic and Parking

8.2 The application was referred to Council’s Asset Department who have not raised any objection in relation to the traffic impact as the result of the proposal.

8.3 Each dwelling contains two bedrooms and is provided with a car parking space in accordance with Clause 52.06 of the Scheme. One additional visitor car parking space is also provided on the subject site. Overall the car parking provision satisfies the requirement of the Scheme.

REPORT NO: SU191 (cont.)

Overdevelopment & Overpopulation

- 8.4 The site coverage is 39.6% and therefore complies with Standard B8 of Clause 55 of the Hume Planning Scheme which permits building site coverage of up to 60%. Permeable surface area at 38.5% is also well in excess of the acceptable 20% (Standard B9). Furthermore, all dwellings are provided with areas of secluded private open space that exceeds the requirement of the Standard B28 of ResCode. This would therefore suggest that the proposal is not an overdevelopment of the site.
- 8.5 Overpopulation is not considered to be a valid objection or planning ground.

Bin collection

- 8.6 The application was referred to Council's Waste Department for comment. It was suggested the proposal provide a centrally located bin storage area and all dwellings to share between three 240 litre waste bins and three 360 litres recycle bins. This will avoid any potential issues in relation to bin collection around Metelman Court, and these requirements will be included in the permit conditions.

Privacy and overlooking

- 8.7 The subject site is relatively flat; therefore the boundary fence with a minimum height of 1.8 metres will be sufficient to avoid overlooking from the habitable room windows on the ground level. All upper level habitable room windows are clearly shown with screening up to 1.7 metres above the finished floor level in accordance with Standard B22 of the Scheme. Overall the privacy & overlooking issue has been satisfactorily addressed in accordance with Scheme requirements.

Noise and tenant

- 8.8 The objector raised concern in relation to additional noise that would be generated as the result of increased density of living in the area.
- 8.9 It is inevitable that the proposed development will generate some noise in the area; however the potential for the generation of noise is not a reason to refuse a development proposal, and the type of the noise such as children play, party music are just part of urban life and only when such noise become a nuisance, then there will be relevant law appropriate to deal with that sort of problem. In *Potts v Glen Eira CC [2003] VCAT 1129 (1 September 2003)* The Tribunal stated that:

"It is possible to have neighbours who indulge in frequent loud parties, but that can occur in relation to detached houses, just as well as in relation to medium density townhouses. The prospect of finding oneself in close proximity to neighbours who create noise nuisances of that sort is one of the risks one takes in living in an urban area. Of course, if the noise generation amounts to a nuisance there are other laws appropriate to deal with that sort of problem.....Children playing, people talking, motor mowers operating and the like are all part of the ordinary incidents of life in an urban situation. They are part of the give and take of urban life that neighbours are obliged to accept (unless the problems get to the stage of being nuisances against which the law provides protection)."

- 8.10 In relation to the issue of tenants, VCAT has previously ruled that good neighbours are not determined by nature of tenure. In *(L and A Gugliotti and Others v City of Preston [Appeal No. P88/0782 2AATR 97])*, the Tribunal stated the following:

"... the Planning Scheme draws no distinction between rental and owner-occupied accommodation. The argument that such distinction ought to be drawn is discriminatory and suggests a form of social apartheid based on economic standing which should be abhorrent in today's society.

Third, there is no empirical evidence (either in this appeal or any other in the Tribunal's experience) which could lead to the conclusion that occupiers of flats, be they owners or tenants, are any more prone to anti-social, illegal, noisy or insensitive behaviour than any other sector of the community."

REPORT NO: SU191 (cont.)

Asbestos removal during construction,

- 8.11 This is not a relevant planning consideration as this matter is dealt with under a different legislation / process.

9. ASSESSMENT:

- 9.1 A detailed discussion of the proposal against the particular requirements of Clauses 52.06 and 55 is provided below. In short, the proposal achieves compliance with the relevant objectives of these clauses of the Hume Planning Scheme.

Clause 55.02 – Neighbourhood Character and Infrastructure (Standards B1 to B5)

- 9.2 The neighbourhood character of the area is dominated by single storey dwellings many of which are the old Ministry of Housing homes. In recent years, there has been an increase in the number of new in-fill developments within the area, many of which are medium density. Double storey dwellings are also not uncommon in the area.
- 9.3 Neighbourhood character objectives seek to ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character and that the development responds to the features of the site and the surrounding area.
- 9.4 The proposal is for a contemporary medium density development. The site is generally appropriate for the type of double storey development proposed. The development will have appropriate regard for the emerging pattern of residential development within the neighbourhood. The single storey dwelling at the rear coupled with large separations between the double storey dwellings reduces the impact on the open space corridor of the adjoining properties.
- 9.5 Although many of the dwellings in the area are double fronted, there are examples of single fronted dwellings. Therefore in this instance the single fronted nature of the ground floor is considered acceptable for Dwelling 1 facing Metelman Court. The recessive nature of the first floor, the difference in external finishes and the porch at the ground level assist in providing articulation along the front facade.
- 9.6 The design provides an appropriate written response demonstrating consistency with relevant housing policy objectives.
- 9.7 The development provides meaningful dwelling diversity with a range of smaller affordable household types.
- 9.8 The development is well integrated with the street in terms of vehicle and pedestrian links and with no front fencing to the frontage proposed.
- 9.9 The proposed dwellings are appropriately located in the context of an established urban environment and infrastructure, properly connected to all relevant services and utilities.
- 9.10 The dwelling's design is generally characteristic of the character of the built form of the surrounding dwellings as follows:
- Use of a combination of brick and render, materials found in the built form of the area.
 - The proposed roof form is hipped and tiled, reflecting the roof form of the area and eaves are provided in part, consistent with the character of the area.
- 9.11 The site's proximity to services such as retail centres, education facilities and arterial roads warrant the sites intensification with multiple dwellings.
- 9.12 The dwellings will integrate well with both Meterman Court and the internal accessway, in accordance with Standard B5.

REPORT NO: SU191 (cont.)

Clause 55.03 – Site Layout and Building Massing (Standards B6 to B15)

- 9.13 The natural shape of a court usually results in a great variation of front setbacks for those dwelling located in and along a Court. Metelman Court is no exception in this instance. The front setback of those dwellings in this Court vary from 3.9 metres (adjoining property to the south) to 8.1 metres (adjoining property to the north). The required front setback for the development is 6 metres.
- 9.14 The proposal provides a front setback of 5.5 metres to Metelman Court, which is 500mm short of the required setback distance. This shortfall in front setback is considered to be insignificant and is not considered to be out of character. It provides a gradual transition of front setbacks along the streetscape and represents an efficient use of the land.
- 9.15 The new dwellings will have a maximum building height of 7.5 metres for the double storey dwellings and 4.5 metres for the single storey dwelling. The proposed building height is less than the maximum of 9 metres allowed by Standard B7.
- 9.16 Proposed site coverage and permeability satisfy Standards B8 and B9, with 39.6% and 38.5% respectively.
- 9.17 The living space of the proposed dwellings is able to receive adequate solar access and eaves will be provided which will assist with cooling in the summer months.
- 9.18 The site does not directly abut any public open space.
- 9.19 Dwelling 1 has clearly definable entry and front porch which is accessed directly from Metelman Court. The dwellings to the rear are provided with sheltered entrances which are visible from the internal access. Windows are orientated to have an outlook over the street and/or shared access. The layout therefore provides for the safety and security of residents in accordance with the requirements of Standard B12.
- 9.20 There is adequate opportunity for planting within the areas set aside for private recreation. Similarly a large front setback will ensure suitable landscaping opportunities are available at the front of the site including the addition of canopy trees. The submission and implementation of a detailed landscape plan will be included as a permit condition.
- 9.21 Vehicle access is generally safe, manageable, and convenient, in accordance with Standard B14.
- 9.22 Vehicle parking for the dwellings is appropriately located, provides convenient parking for residents and avoids parking and traffic difficulties. Windows are set back a sufficient distance from the shared driveway and will not be unduly affected in terms of noise.

Clause 55.04 – Amenity Impacts (Standards B17 to B24)

- 9.23 Majority of walls have been set back in accordance with Standard B17.
- 9.24 A small section of wall of Dwelling 5 will be built along the north-west boundary for a length of 2.5 metres and will have an average height of not greater than 3.2 metres. The length and height of the wall constructed on the common boundaries does not exceed the specified length and height requirements of Standard B18.
- 9.25 The proposal allows for the adequate separation of the proposed built form in relation to all existing windows on neighbouring properties, with the required light courts provided.
- 9.26 The proposal is set back appropriately from the common boundary in accordance with Standard B20 to ensure the solar access to the existing north facing habitable room windows on the adjoining properties will not be impacted.

REPORT NO: SU191 (cont.)

- 9.27 The submitted Shadow Diagrams demonstrate that there will be no significant overshadowing of adjoining areas of secluded private open space.
- 9.28 The boundary fence with a minimum height of 1.8 metres is sufficient to prevent overlooking from the new dwellings at the ground floor level. All upper level habitable room windows and balconies are suitably screened to a height of 1.7 metres in accordance with the requirements of Standard B22 to prevent overlooking.
- 9.29 The dwelling layout, dividing fence and window screenings will prevent internal views into the secluded private open space within the development in accordance with Standard B23.
- 9.30 The proposal is unlikely to give rise to additional noise beyond what would normally be expected from residential properties.

Clause 55.05 – On-Site Amenity and Facilities (Standards B25 to B30)

- 9.31 The dwelling entries are potentially accessible for people with limited mobility as minimal steps are required for entry and necessary upgrades could be accommodated in the future should the need arise. The single storey dwelling at the rear also provides people with limited mobility the opportunity to reside in the development.
- 9.32 Entry to Dwelling 1 is visible from Metelman Court while the entries to the other dwellings are easily identifiable from the internal accessway. The dwellings are provided with a sense of personal address and a transitional space around each of the entries, consistent with Standard B26.
- 9.33 All proposed habitable rooms are provided with windows that have the requisite dimensions clear to the sky. The daylight provisions of Standard B27 are therefore met.
- 9.34 The areas of secluded private open space meet the minimum size and dimension requirements, and will be directly accessible from the living spaces. Each of dwellings is provided with a minimum of 40 square metres of the secluded private open space.
- 9.35 Majority of the secluded private open space (with the exception of Dwelling 3) have good northern orientation to allow ample solar access into this space. The secluded private open space of dwelling 3 does not have direct north orientation, however it provides appropriate setback in accordance with Standard B29 to ensure adequate solar access into this space.
- 9.36 External storage has been provided in the form of a shed in the areas of secluded private open space which meets the storage requirements of Standard B30.

Clause 55.06 – Detailed Design (Standards B31 to B34)

- 9.37 The proposed design of the dwellings, including the proposed hipped roof profiles and the use of brick and render, as well as the simple contemporary fenestration, are suitable in the context of the existing and emerging character of the area.
- 9.38 No front fence is proposed.
- 9.39 The proposed layout is unlikely to give rise to any future management problems should the land be subdivided in the future.
- 9.40 The plans suitably demonstrate the location of bin storage and other ancillary facilities, however due to the request by Council's Waste & Cleansing Department, a centrally located bin storage area will be required as opposed to individual bin storage for each dwelling. The development is considered to be capable of accommodating this request and it will be appropriate to include this request in a permit condition.

Clause 52.06 – Car Parking

- 9.41 All dwellings are two-bedroom residences and each is provided with a single car space. An additional visitor car space is also provided within the development. The number of

REPORT NO: SU191 (cont.)

spaces and dimensions of the garage & car port comply with the requirements of Clause 52.06.

- 9.42 In terms of the access, minor concern was raised in relation to the access to the car spaces of Dwellings 1 and 2. It is considered that these concerns can be satisfactorily addressed through appropriate permit conditions.

10. CONCLUSION

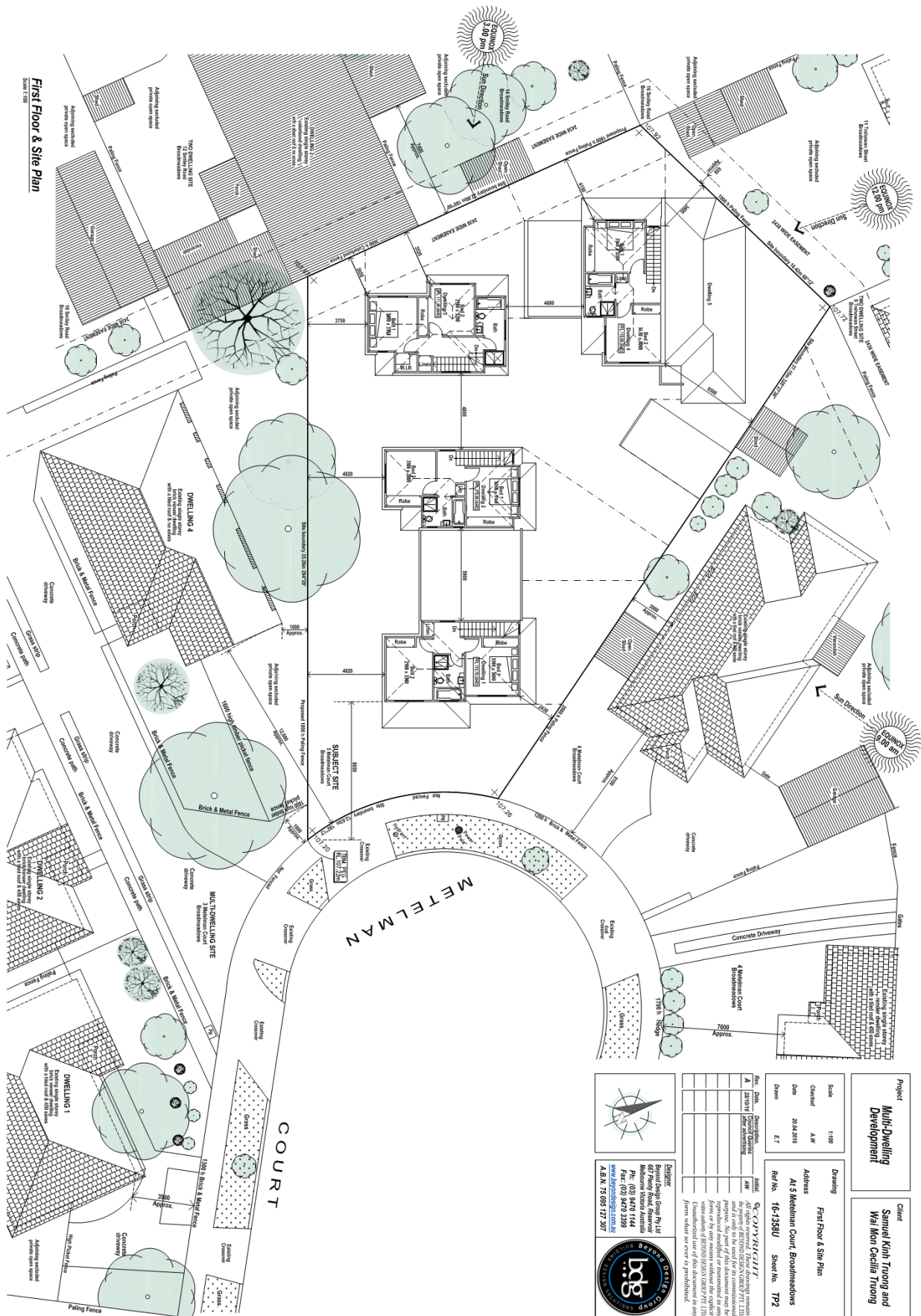
- 10.1 The development is considered to be a measured and site responsive design which is consistent with the existing streetscape character of Metelman Court.
- 10.2 The design is generally well resolved with respect to the requirements of Clause 55 (ResCode) of the Hume Planning Scheme and, subject to the conditions outlined in the officer's recommendation, will provide a development outcome that will not adversely diminish the existing or ongoing amenity of the area or neighbouring property owners and/or occupiers.
- 10.3 For these reasons, it is recommended that a Notice of Decision to Grant the permit be issued.

LOCALITY PLAN

P19637

5 Metelman Court Broadmeadows

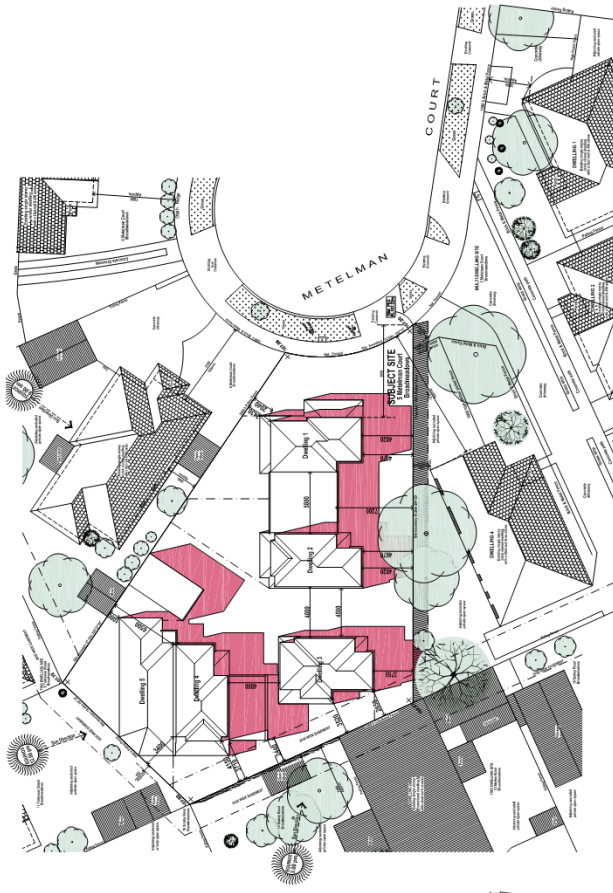




Project Multi-Dwelling Development		Client Samuel Kim Truong and Mai Non Cecilia Truong	
Scale: 1:100 Checked: A.W. Date: 26/4/2016 Drawn: E.T.	Drawing First Floor & Site Plan	Address At 5 Metelman Court, Broadmeadows Ref No. 16-1338U Show No. 792	
Date: 28/3/16 Project Number: 16-1338U	Issue: 01-01/2016-07-17 All rights reserved. These drawings remain the property of BROADMEADOWS GROUP PTY LTD. No part of this document may be reproduced, stored in a retrieval system, or transmitted in any form or by any means, without the explicit written authority of BROADMEADOWS GROUP PTY LTD. Consultation use of the drawings is only for the project shown on the drawings.	Designer Broadmeadows Group Pty Ltd 16 Metelman Court Broadmeadows Victoria Australia Ph: (03) 9470 1444 Fax: (03) 9470 2399 A.B.N. 75 005 127 207	

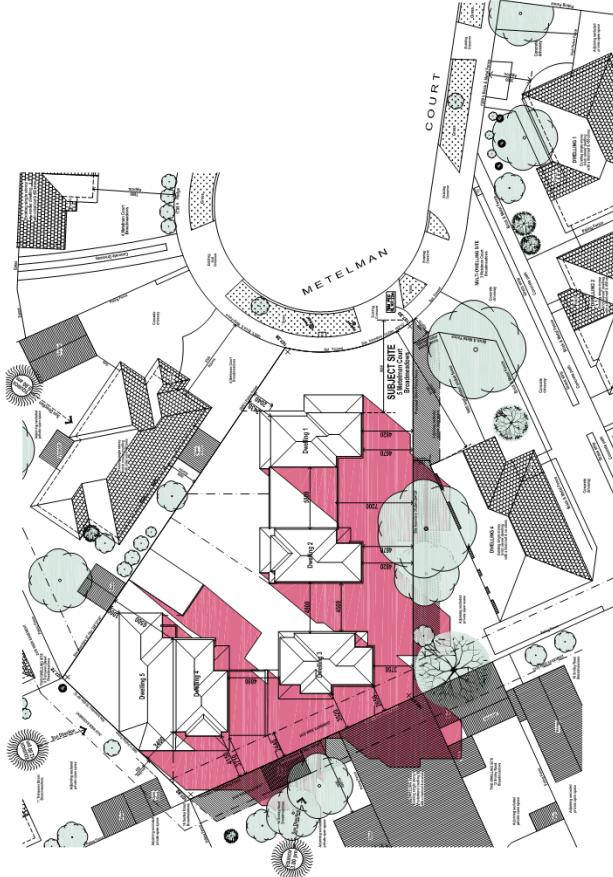


Project		Client	
Multi-Dwelling Development		Samuel Kinh Truong and Wai Mon Cecilia Truong	
Drawing		Elevations	
Scale	1:100	Checked	AW
Date	20/04/2016	Date	20/04/2016
Drawn	E F	Drawn	E F
Address		Ref No.	
41 S Meileman Court, Broadmeadows		16-1358U	
Sheet No.		TP3	
AW		AW	
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Description		Notes	
Ground Levels from existing		© 2016 BCB All rights reserved. These drawings remain the property of BCB and are not to be used for any purpose. No part of this document may be reproduced or transmitted in any form or by any means without the explicit written authority of BCB (BROADMEADOWS GROUP PTY LTD). Any use of these drawings in any form without our prior written authority is prohibited.	
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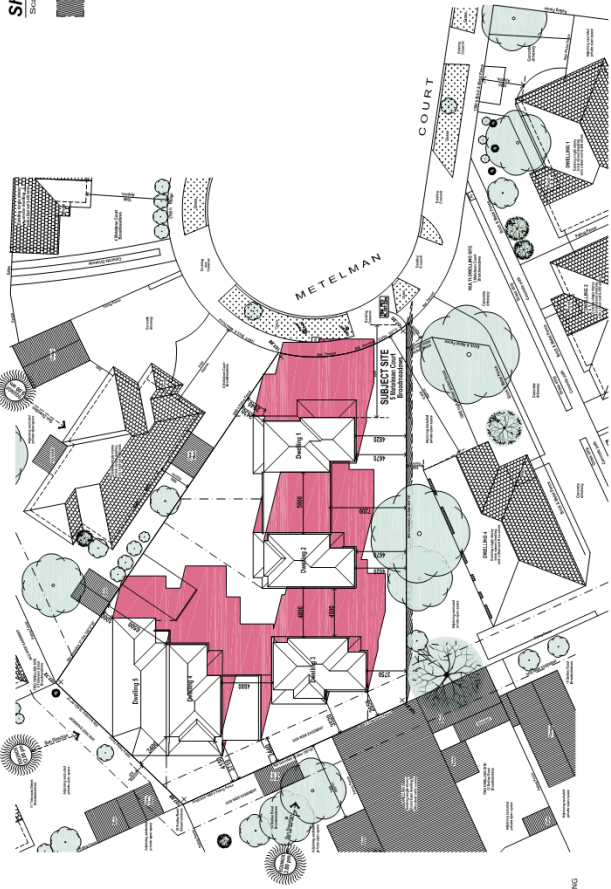
Shadow Diagram - 9:00 am
Scale: 1:200 SEPTEMBER 22 (Egmond)

■ DENOTES THE AREA OF SHADOW CAST BY THE EXISTING BUILDING ALONG THE WESTERN & SOUTHERN BOUNDARY LINE.



Shadow Diagram - 9:00 am
Scale: 1:200 SEPTEMBER 22 (Egmond)

■ DENOTES THE AREA OF SHADOW CAST BY THE EXISTING BUILDING ALONG THE WESTERN & SOUTHERN BOUNDARY LINE.



Shadow Diagram - 3:00 pm
Scale: 1:200 SEPTEMBER 22 (Egmond)

■ DENOTES THE AREA OF SHADOW CAST BY THE EXISTING BUILDING ALONG THE SOUTHERN BOUNDARY LINE.

Project Multi-Dwelling Development		Client Samuel Kinh Truong and Wai Mon Cecilia Truong	
Scale 1:200	Checked AW	Address 41 S Metelman Court, Broadmeadows	Ref No. 16-1358U
Date 20/04/2016	Drawn E T	Sheet No. SH1	Author © CPT/PT/C/PT
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Designer Broadmeadows Design Pty Ltd Broadmeadows, Victoria Australia Ph: (03) 9470 1444 Fax: (03) 9470 3399 www.broadmeadowsdesign.com.au A.B.N. 75 065 127 207			

Design Response

The proposed development has responded to the site context in the following ways:

- 1 The proposed dwellings have a clear sense of identity. A sheltered area and transitional space is provided around the entry point of all of the proposed dwellings, which will provide secure access.
- 2 Proposed double storey construction at the front of the site with single storey construction behind provides for an elevational treatment that is articulated and more pleasant to view than a single storey construction. The entry to the site. Only a small component of walls are proposed on the boundary, which helps maintain existing views from adjoining secluded private open spaces.
- 3 The private open space areas have been positioned to minimise any adverse impact on adjoining properties with respect to access to natural light and overlooking.
- 4 On site infiltration has been maximised through the introduction of landscaped areas and stormwater run-off will be directed into garden areas to reduce watering and the demand on drainage infrastructure.
- 5 The principal open space areas of each dwelling will be accessed directly from main living areas. Secluded open space areas within the development will achieve total privacy.
- 6 Each dwelling will have sufficient room for storage and outdoor clothes drying facilities.
- 7 The varied dimensions (a minimum of 3.0m) of secluded private open space areas proposed for the dwellings will allow for the planning of small canopy recreation areas for each of the dwellings.
- 8 No direct overlooking will occur into surrounding properties given that all first floor habitable windows that overlook adjoining properties will have fixed obscured glazing or a sill height to 1700mm above the finished floor level.
- 9 The proposed dwellings 1 & 2 will be provided with a shared single carport. Dwelling 3 will be provided with a single carspace. Dwelling 4 will be provided with a single garage. Dwelling 5 will be provided with a single carport. Sufficient visitor parking can be accommodated for in Meritman Court.
- 10 Canopy vegetation and extensive landscaping is proposed throughout the site to enhance the appearance of the site and to soften hard surfaces areas.

The Design Response has been prepared taking into account the opportunities and constraints of the subject site and the Standards of Use Code. The Design Response is intended to be used in conjunction with the Neighbourhood Site Description ensuring that a coherent design outcome has been achieved.

Design Response Plan
Proposed Multi-Dwelling Development
At 5 Meritman Court, Broadmeadows
Client: Samuel Kish Tenings and Wai Man Cecilia Tring

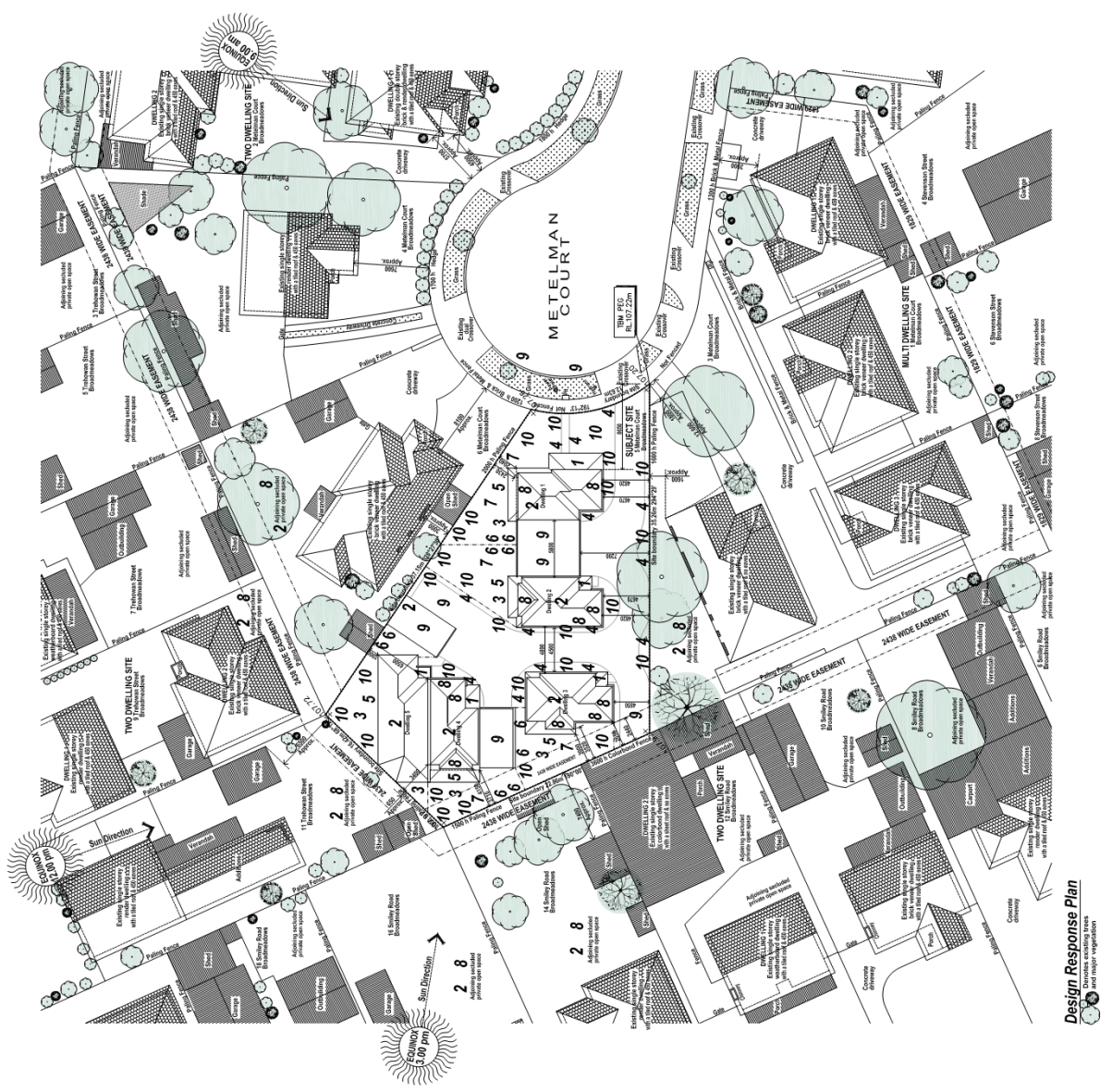
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Checked: A.W.
Date: 20.04.2016
Ref No: 16-1358U
Sheet No: DR1

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CONTRACT

Rev.	Issue	Description	Rev.	Issue	Description
1	Issue	Issue	1	Issue	Issue
2	Issue	Issue	2	Issue	Issue

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Design Response Plan
Detailed site plan showing setbacks and major vegetation.

REPORT NO:	SU192
REPORT TITLE:	6-10 Bliburg Street, Jacana - Development of nine double storey dwellings and three single storey dwellings
SOURCE:	Henry Dong, Town Planner
DIVISION:	Planning and Development
FILE NO:	P19595
POLICY:	Hume Planning Scheme
STRATEGIC OBJECTIVE:	4.1 Facilitate appropriate urban development while protecting and enhancing the City's environment, natural heritage and rural spaces.
ATTACHMENTS:	<ol style="list-style-type: none">1. <i>Locality Plan</i>2. <i>Development Plan</i>3. <i>Design Response</i>4. <i>Site Context</i>5. <i>Shadow Diagram</i>

Application No:	P19595
Proposal:	Development of nine double storey dwellings and three single storey dwellings
Location:	6-10 Bliburg Street, Jacana
Zoning:	General Residential Zone 1
Applicant:	U Property Australia Pty Ltd
Date Received:	13 May 2016

1. SUMMARY OF REPORT:

Planning approval is sought to develop nine double storey dwellings and three single storey dwellings at 6-10 Bliburg Street, Jacana. The application was advertised and seven objections have been received. The application has been assessed on its merits against the relevant policies and provisions of the *Hume Planning Scheme* (the Scheme) including consideration of the issues raised in objections. On balance, the proposal is considered acceptable and it is recommended that a Notice of Decision to Grant a Permit is issued subject to conditions.

2. RECOMMENDATION:

That Council, having considered the application on its merits and the objections received, resolves to issue a Notice of Decision to Grant a Planning Permit for the development of nine double storey dwellings and three single storey dwellings at 6-10 Bliburg Street, Jacana, subject to the following conditions:

1. **Before the development permitted by this permit commences, amended plans to the satisfaction of the responsible authority must be submitted to and approved by the responsible authority. When approved, the plans will be endorsed and will then form part of the permit. The plans must be generally in accordance with the plans submitted (Revision B, 16/09/2016) but modified to show:**
 - a) **Improved accessibility to the car parking spaces of Dwellings 2 , 7 & 8 through the following modifications:**
 - I. **the width of the shared carport for dwellings 7 & 8 to be widened to 6 metres.**

REPORT NO: SU192 (cont.)

- II. Delete the landscape strip directly opposite the shared carport of Dwellings 7 & 8, east of Dwelling 2.
 - III. Splay the northern corner of bedroom 2 of Dwelling 3.
2. The development shown on the endorsed plans must not be altered without the prior written consent of the responsible authority.
3. Once the approved development has started, it must be continued and completed to the satisfaction of the responsible authority except with the prior consent of the responsible authority.
4. The external materials, finishes and paint colours of the approved buildings must be to the satisfaction of the responsible authority.
5. All services, including water, electricity, gas, sewerage and telephone, must be located and installed underground to the satisfaction of the responsible authority.
6. Except with the prior written consent of the responsible authority, no service equipment or architectural features other than those shown on the endorsed plans are permitted above the roof level of the buildings.
7. Before the development is occupied, the areas set aside for the parking of vehicles together with the aisles and access lanes as shown on the endorsed plans must be:
 - (a) constructed with a durable all-weather seal;
 - (b) drained to the nominated point of discharge;
 - (c) line-marked to indicate each car space and access lane;
 - (d) marked to show the direction of traffic along access lanes and driveways; and
 - (e) provided with concrete kerbs or other barriers to prevent direct vehicle access to an adjoining road other than by a vehicle crossing,all to the satisfaction of the responsible authority.

Car spaces, access lanes and driveways shown on the endorsed plan must be kept available for these purposes at all times to the satisfaction of the responsible authority.
8. Before the development is occupied, vehicle access to and from the land from any roadway or service lane must be by way of a vehicle crossing constructed in accordance with Council's Vehicle Crossing Specifications to suit the proposed driveway(s) and the vehicles that will use the crossing(s). After obtaining a road opening permit from Council, the location, design and construction of the vehicle crossing(s) must be approved by the responsible authority.
9. Any services within the road reserve requiring relocation must be approved by the relevant service authority and carried out and completed to the satisfaction of the responsible authority.
10. Before the development starts, a landscape plan to the satisfaction of the responsible authority must be submitted to and approved by the responsible authority. When approved, the landscape plan will be endorsed and will then form part of the permit. The plan must be prepared by a suitably qualified person drawn to scale with dimensions and three copies must be provided. The landscaping plan must show:
 - (a) a survey (including botanical names) of all existing vegetation to be retained and/or removed;
 - (b) buildings and trees (including botanical names) on neighbouring properties within three metres of the boundary;
 - (c) details of surface finishes of pathways and driveways;

REPORT NO: SU192 (cont.)

- (d) a planting schedule of all proposed trees, shrubs and ground covers, including botanical names, common names, pot sizes, sizes at maturity and quantities of each plant;
 - (e) landscaping and planting within all open areas;
 - (f) One large canopy tree (minimum two metres tall when planted) and understorey landscaping in the site frontage and screen planting on side and rear boundaries;
 - (g) an in-ground irrigation system to all landscaped areas;
 - (h) a tree protection zone and structural root zone for each tree to be retained; and
 - (i) the location and details of root control barriers;
11. Before the use starts or the development is occupied or by such later date as is approved by the responsible authority in writing, the landscaping works shown on the endorsed plans must be carried out and completed to the satisfaction of the responsible authority.
 12. The landscape area(s) shown on the endorsed plan(s) must be planted and maintained to the satisfaction of the responsible authority and once landscaped must not be used for any other purpose. Maintenance must include the removal of weeds and the replacement of any dead plants in accordance with the endorsed landscape planting schedule.
 13. The whole of the land, including any landscaped and paved areas, must be graded and drained to the satisfaction of the responsible authority so as to prevent the discharge of stormwater causing damage from the land across any road or footpath or onto adjoining land. All stormwater storage tanks must have the overflow pipe connected to the legal point of discharge to the satisfaction of the responsible authority.
 14. Prior to occupation of the development, provision of litter control at stormwater inlet points within car park and paved areas is required. All stormwater pits to be Channel Grated or Grated as per Council's Standard Dwg SD 210/215 or SD225 respectively.
 15. Stormwater from all paved area must be retained within the property and drained to the sites underground stormwater system, including pavement over the easement area.
 16. Any cut or fill must not interfere with the natural overland stormwater flow.
 17. No polluted and/or sediment laden runoff is to be discharged directly or indirectly into Council's drains or watercourses during construction.
 18. This permit will expire if one of the following circumstances applies:
 - the development is not started within three years of the date of this permit; or
 - the development is not completed within six years of the date of this permit.

The responsible authority may extend the periods referred to if a request is made in writing:

- before or within six months after the permit expiry date, where the development allowed by the permit has not yet started; or
- within 12 months after the permit expiry date, where the development allowed by the permit has lawfully started before the permit expires.

Permit Notes:

1. If a request for an extension of commencement/completion dates is made out of time allowed, the responsible authority cannot consider the request and the permit holder will not be able to apply to VCAT for a review of the matter.

REPORT NO: SU192 (cont.)

2. Drainage investigation is required for this development (fees apply). Plans to be submitted to Council's Civil Design section for assessment. This will determine if on-site detention system, upgrading of Council's existing drainage pipes or new drainage pipes are required by the owners/developers.
3. Following the Drainage Investigation, internal drainage plans to be submitted to Council Civil Design section for approval.
4. An application for a 'Consent to Dig in the Road Reserve' permit for a vehicle crossing is to be submitted to Council for approval. A copy of the Council endorsed plan showing all vehicle crossing details is to be attached to the application. Any service relocations are to the approval of the Service Authority and at the owners cost.
5. Any modifications to existing vehicle crossings require an application for a 'Consent to Dig in the Road Reserve' permit for a vehicle crossing to be submitted to Council for approval. A copy of the Council endorsed plan showing all vehicle crossing details is to be attached to the application.
6. An application for Legal Point of Stormwater discharge is required to obtain approval for the connection to the legal point of discharge.
7. Any service relocations are to the approval of the service authority and at the owners cost.
8. Prior to any works being carried out within the road reserve (nature strip), an application for "Non-Utility Minor Works within the Municipal Road Reserve" must be lodged and approved by Council.
9. According to Council plans, there is a 1.83m wide easement running along the northern rear boundary. Approval is required from Council and other relevant authorities, for the garage and shed to build over the easement.

3. PROPOSAL:

- 3.1 It is proposed to develop nine double storey dwellings and three single storey dwellings on three parcels of land known as No.6, No.8 and No.10 Bliburg Street Jacana. Detail of the proposal is as follows:
- 3.2 Dwellings 1-3, 6-8 and 10-12 (double storey dwellings)
 - Dwellings 1, 2, 7, 8, 11 and 12 are all double storey dwellings and have direct frontage to Bliburg Street.
 - Dwelling 1 has its garage wall proposed along the western common boundary.
 - Dwellings 1, 2, 7 and 11 all feature reversed living style with an open plan kitchen and living area on the upper level and two bedrooms with a shared bathroom / toilet on the ground level. Each of these dwellings is provided with a balcony as their secluded private open space. The balconies have a minimum area of eight square metres and are accessible from a living area.
 - Dwellings 8 and 12 feature traditional living style with an open plan kitchen and living area on the ground level and two bedrooms with a shared bathroom / toilet on the upper level. Each of these two dwellings is provided with a court yard at the rear of the dwelling as its secluded private open space. The secluded private open space has a minimum area of 33 square metres and is accessible from a living area.
 - Dwellings 3, 6 and 10 are also double storey dwellings and sit across the middle of the site.
 - These three dwellings also feature reverse living style with an open plan kitchen and living area on the upper level and two bedrooms with a shared bathroom / toilet on the ground level. A balcony is also provided for each of these three dwellings as their secluded private open space. The minimum area of the balcony is eight square metres and is also accessible from the upper level living area.

REPORT NO: SU192 (cont.)

- Each of the double storey dwellings will be provided with a car parking space under cover.

3.3 Dwellings 4, 5 and 9 (single storey dwellings)

- Dwellings 4, 5 and 9 are single storey dwellings and located towards the rear of the site.
- The dwellings feature open plan living / meals area and each contains two bedrooms.
- Each of these dwellings is provided with a secluded private open space accessible from a living area. The secluded private open space has a minimum area of 56 square metres.
- Each of these dwellings is also provided with a car parking space under cover.

3.4 Vehicle Crossing & visitor parking

- Two new vehicle crossings are proposed and one existing vehicle crossing will be utilised for the proposed development.
- Two visitor car parking spaces are provided.

3.5 The following table provides a summary of the proposed development.

Site area	2134m ²
Dwelling Density	1 : 177m ²
Site Coverage	41.3% (60% max.)
Permeability	37.4% (20% min.)

4. SITE AND SURROUNDS:

- 4.1 The subject site is a combination of three separate residential allotments located within a typical residential enclave bounded by Sunset Boulevard to the west and the south. To the east of the site is Fidge Court.
- 4.2 The subject site, along with those immediately surrounding it, is irregular in shape. The site has a combined frontage of 62.56 metres to Bliburg Street, and the combined length of southern boundary is 49.23 metres. The western boundary is 42.27 metres and the eastern boundary is 40.66 metres. The total land area is approximately 2134 square metres.
- 4.3 The site has a slight fall towards the rear and does not contain significant vegetation. Nonetheless, various small shrubs and ground coverings scatter throughout the site.
- 4.4 Each of the three allotments currently contains a single storey brick / brick veneer dwelling with a hip tiled roof.
- 4.5 The surrounding area is an established residential neighbourhood characterised by a combination of single and two-storey dwellings interspersed with medium density unit developments. Dwellings typically have open landscaped front gardens, with low or no front fencing, creating a moderate density, open streetscape character. The street width is approximately 7 metres.
- 4.6 The site is located within close proximity and has convenient access to a range of infrastructures. Jacana Valley Parkland, Jacana Train Station, Hume Central Secondary College are all within 1km radius of the site.

REPORT NO: SU192 (cont.)

Restrictions on Title

4.7 No registered restrictive covenants are recorded on all titles.

5. PLANNING CONTROLS:

5.1 The following policies and provisions of the *Hume Planning Scheme* (“the Scheme”) are relevant in the consideration of the application:

State Policies: Clause 15.01-1: Urban Design
Clause 15.01-2: Urban Design Principles
Clause 15.01-5: Cultural Identity and Neighbourhood Character
Clause 15-02-1: Energy and Resource Efficiency
Clause 16.01-1: Integrated Housing
Clause 16.01-2: Location of Residential Development
Clause 16.01-4: Housing Diversity
Clause 16.015: Housing Affordability

Municipal Strategies: Clause 21.02-1: Housing
Clause 21.02-2: Health and Safety
Clause 21.08: Particular Uses and Development
Clause 21.06-1: Broadmeadows and Meadow Heights

Local Policies: N/A

Zones: Clause 32.08: General Residential Zone (Schedule 1)

Overlays: Nil

Particular Provisions: Clause 52.06: Car Parking
Clause 55: Two or more dwellings on a lot

General Provisions: Clause 65.01: Approval of an Application or Plan

5.2 It is State policy to create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity, and to achieve urban design outcomes that contribute positively to the local urban character.

5.3 It is also policy that new housing is designed to respond to the community needs by providing affordable higher density housing developments which are strategically located close to transport corridors and activity centres.

5.4 In relation to Housing, Clause 21.02-1 seeks:

- “To provide access to a range and quality of housing opportunities that meet the varied needs of existing and future residents”; and
- “To deliver urban growth that is cost effective, orderly and achieves the greatest social benefits to the community, without diminishing the unique character and identity of the City”.

5.5 Clause 21.06-1 relates to the Broadmeadows and Meadow Heights neighbourhood.

The area includes the suburbs of Jacana, Dallas, and Broadmeadows. The area is also serviced by the Craigieburn rail line and the Broadmeadows train station. The neighbourhood is strategically located, having direct access to Somerton, Pascoe Vale and the Western Ring Roads, and being at the terminus for electrified rail services on the Melbourne-Sydney railway line.

Broadmeadows contains the most extensively developed retail, leisure, entertainment, medical and civic facilities in the municipality. The precinct has been recognised in the State Government’s Melbourne Metropolitan Strategy, Melbourne 2030 as a Central Activity District and one of thirteen declared ‘Transit Cities’ in Victoria.

REPORT NO: SU192 (cont.)

The infrastructure in the neighbourhood, including private and public housing, is coming under increasing pressure and is ageing and in need of repair or upgrade as development to the north proceeds. There are opportunities for infill development in the southern half of the neighbourhood, and beyond the Broadmeadows Transit City.

5.6 The policy has the following relevant objective:

- *To provide for a range of quality housing opportunities within the Broadmeadows and Meadow Heights neighbourhoods, while ensuring that development is managed to ensure attractive and pleasant residential environments.*

Aboriginal Cultural Heritage

5.7 The land is not located within an area of cultural heritage sensitivity as described in the Aboriginal Heritage Regulations 2007 and therefore a Cultural Heritage Management Plan is not required.

Major Electricity Transmission Line

5.8 The land is not located within 60 metres of a major electricity transmission line.

Planning Permit Trigger/s

5.9 The permit trigger in this instance is Clause 32.08-4, which relates to the buildings and works associated with the construction of two or more dwellings on land located within a General Residential Zone.

6. REFERRALS:

6.1 The application was not required to be referred to any statutory authorities under Section 55 of the *Planning and Environment Act 1987* (“the Act”).

6.2 Council’s Asset Department requested that various standard permit conditions regarding civil and drainage works be included on any permit issued.

7. ADVERTISING:

7.1 The application was advertised under Section 52 of the Act by way of letters to adjoining land owners and occupiers and three notice boards placed on site. A total of seven objections were received in response. The grounds of objection can be summarised as follows:

- *Traffic and Parking*
- *Over development*
- *Overshadowing, loss of light and loss of privacy*

8. OBJECTIONS:

8.1 The above objections are addressed below.

Amenity Issues (Overshadowing, loss of light and loss of privacy)

8.2 The extent to which the development overshadows the adjoining secluded private open space remains within the tolerance of Standard B21 and would ensure that at least 75 per cent, or 40 square metres with a minimum dimension of 3 metres of the secluded private open space will receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September.

8.3 In relation to the loss of privacy, the upper level balconies and habitable room windows with potential of overlooking will be appropriately screened in accordance with Standard B22 to prevent overlooking.

Traffic & Parking

REPORT NO: SU192 (cont.)

- 8.4 The application was referred to Council's Asset Department for comment, who have advised that the anticipated additional traffic movements on Bliburg Street are not expected to have a significant impact on the street as the result of the proposed development.
- 8.5 Each dwelling contains two bedrooms and is provided with a car parking space in accordance with Clause 52.06 of the Scheme. Two additional visitor car parking spaces are also provided on the subject site as per Clause 52.06 requirements. It is worth noting that the objection in relation to parking was based on the initial proposal where it sought to waive the visitor parking requirement. In response to concerns raised by the objector, the applicant has since amended the plans by including two additional visitor car parking spaces. The amended plans were re-advertised and no further objections have been received since.

Overdevelopment

- 8.6 The site coverage is 41% and therefore complies with Standard B8 of Clause 55 of the Hume Planning Scheme which permits building site coverage of up to 60%. Permeable surface area at 37% is also well in excess of the acceptable 20% (Standard B9). Furthermore, all dwellings are provided with areas of secluded private open space in the form of balconies or courtyards that comply with the requirement of Standard B28 of ResCode. This would therefore suggest that the proposal is not an overdevelopment of the site.

9. ASSESSMENT:

- 9.1 A detailed discussion of the proposal against the particular requirements of Clauses 52.06 and 55 is provided below. In short, the proposal achieves compliance with the relevant objectives of these clauses of the *Hume Planning Scheme*.

Clause 55.02 – Neighbourhood Character and Infrastructure (Standards B1 to B5)

- 9.2 The neighbourhood character of the area is predominantly single storey dwellings with large open front gardens. In recent years, there has been an increase in the number of new in-fill developments within the area, many of which are medium density and double storey.
- 9.3 Neighbourhood character objectives seek to ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character and that the development responds to the features of the site and the surrounding area.
- 9.4 The proposal is for a contemporary medium density development. This site is generally appropriate for the type of double storey development proposed. The development will have appropriate regard for the emerging pattern of residential development within this existing subdivision. The single storey dwelling at the rear reduces the impact on the open space corridor of the adjoining properties.
- 9.5 Although the majority of dwellings in the area are double fronted, there are examples of single fronted dwellings, therefore in this instance the single fronted nature of the ground floor is considered acceptable for those dwellings fronting Bliburg Street. The recessive nature of the first floor, the difference in external finishes and the porch at the ground level assist in providing articulation along the front facade.
- 9.6 The design provides an appropriate written response demonstrating consistency with relevant housing policy objectives.
- 9.7 The development provides appropriate dwelling diversity with a range of smaller affordable household types.
- 9.8 The development is well integrated with the street in terms of vehicle and pedestrian links and with no front fencing to the frontage proposed.

REPORT NO: SU192 (cont.)

- 9.9 The proposed dwellings are appropriately located in the context of an established urban environment and infrastructure, properly connected to all relevant services and utilities.
- 9.10 The dwelling's design is generally characteristic of the character of the built form of the surrounding dwellings as follows:
- Use of a combination of brick and render, materials found in the built form of the area.
 - The proposed roof form is hipped and tiled, reflecting the roof form of the area and eaves are provided in part, consistent with the character of the area.
 - Garage and carports are set back from the front façade and no walls, except the garage wall of dwelling 1 are proposed to be built on the common boundary.
- 9.11 The site's proximity to services such as retail centres, education facilities and arterial roads warrant the sites intensification with multiple dwellings.
- 9.12 The dwellings will integrate well with both Bliburg Street and the internal access way, in accordance with Standard B5.

Clause 55.03 – Site Layout and Building Massing (Standards B6 to B15)

- 9.13 The average setback of the two existing dwellings on the adjoining sites at No.4 Bliburg Street and No.17 Fidge Court is approximately 8 metres.
- 9.14 The proposal provides a front setback of 7.5 metres to 9.7 metres for those dwellings having a direct frontage to Bliburg Street. The setback proposed is considered to be appropriate as it provides a gradual transition of front setbacks along the streetscape and represents an efficient use of the land.
- 9.15 The new dwellings will have a maximum building height of 7.5 metres for the double storey dwellings and 5 metres for the single storey dwellings. The proposed building height is less than the maximum of 9 metres allowed by Standard B7.
- 9.16 Proposed site coverage and permeability satisfy Standards B8 and B9, with 41% and 37% respectively.
- 9.17 The living space of the proposed dwellings is able to receive adequate solar access and eaves will be provided which will assist with cooling in the summer months.
- 9.18 The site does not directly abut any public open space.
- 9.19 Dwellings 1, 2, 7, 8, 11 and 12 have a clearly definable entry and front porch which is accessed directly from Bliburg Street. The new dwellings to the rear are provided with sheltered entrances which are visible from the internal access. Windows are orientated to have an outlook over the street and/or shared access. The layout therefore provides for the safety and security of residents in accordance with the requirements of Standard B12.
- 9.20 There is adequate opportunity for planting within the areas set aside for private recreation. Similarly, generous front setbacks will ensure suitable landscaping opportunities are available in the front setback of the site including the addition of canopy trees. The submission and implementation of a detailed landscape plan will be included as a permit condition.
- 9.21 Vehicle access is generally safe, manageable, and convenient, in accordance with Standard B14.
- 9.22 Vehicle parking for the dwellings is appropriately located, provides convenient parking for residents and avoids parking and traffic difficulties. Windows are set back a sufficient distance from the shared driveway and will not be unduly affected in terms of noise.

Clause 55.04 – Amenity Impacts (Standards B17 to B24)

REPORT NO: SU192 (cont.)

- 9.23 Majority of walls have been set back in accordance with Standard B17.
- 9.24 The south-western garage wall of Dwelling 1 will abut the common boundary for a length of 6.5 metres and will have an average height of not greater than 3.2 metres. The length and height of the walls constructed on the common boundaries does not exceed the specified length and height requirements of Standard B18.
- 9.25 The proposal allows for the adequate separation of the proposed built form in relation to all existing windows on neighbouring properties, with the required light courts provided.
- 9.26 The proposal is set back appropriately from the common boundary in accordance with Standard B20 to ensure the solar access to the existing north facing habitable room windows on the adjoining properties will not be impacted.
- 9.27 The submitted Shadow Diagrams demonstrate that there will be no significant overshadowing of adjoining areas of secluded private open space.
- 9.28 The proposed 1.8 metre boundary fence is sufficient to prevent overlooking from the new dwellings at the ground floor level. All upper level habitable room windows and balconies are suitably screened to a height of 1.7 metres in accordance with the requirements of Standard B22 to prevent overlooking.
- 9.29 The dwelling layout, dividing fence and window screenings will prevent internal views into the secluded private open space within the development in accordance with Standard B23.
- 9.30 The proposal is unlikely to give rise to additional noise beyond what would normally be expected from residential properties. There are no noted external sources of noise i.e. air conditioning units.

Clause 55.05 – On-Site Amenity and Facilities (Standards B25 to B30)

- 9.31 The dwelling entries are potentially accessible for people with limited mobility as minimal steps are required for entry and necessary upgrades could be accommodated in the future should the need arise. The single storey dwellings at the rear also provide people with limited mobility the opportunity to reside in the development.
- 9.32 Entries to all Dwellings are visible and easily identifiable from either the street or the internal access way. The dwellings are provided with a sense of personal address and a transitional space around each of the entries, consistent with Standard B26.
- 9.33 All proposed habitable rooms are provided with windows that have the requisite dimensions clear to the sky. The daylight provisions of Standard B27 are therefore met.
- 9.34 The areas of secluded private open space meet the minimum size and dimension requirements, and will be directly accessible from the living spaces.
- 9.35 Majority of the secluded private open space (with the exception of Dwelling 9) have good northern orientation to allow ample solar access into this space. The secluded private open space of Dwelling 9 does not have direct north orientation, however it provides appropriate setback in accordance with Standard B29 to ensure adequate solar access into this space.
- 9.36 External storage has been provided in the form of a shed in the areas of secluded private open space which meets the storage requirements of Standard B30.

Clause 55.06 – Detailed Design (Standards B31 to B34)

- 9.37 The proposed design of the dwellings, including the proposed hipped roof profiles and the use of brick and render, as well as the simple contemporary fenestration, are suitable in the context of the existing and emerging character of the area.
- 9.38 No front fence is proposed.

REPORT NO: SU192 (cont.)

9.39 The proposed layout is unlikely to give rise to any future management problems should the land be subdivided in the future.

9.40 The plans suitably demonstrate the location of bin storage and other ancillary facilities.

Clause 52.06 – Car Parking

9.41 All dwellings are two-bedroom residences and each is provided with a single, under cover car space. The number of spaces and dimensions of the garages comply with the requirements of Clause 52.06.

9.42 In addition, two visitor car spaces are also provided as per requirement of Clause 52.06.

9.43 In term of the access, minor concern was raised in relation to the access to the car space of dwellings 2, 7 and 8. It is considered that these concerns can be addressed through appropriate permit conditions.

10. CONCLUSION:

10.1 The development is considered to be a measured and site responsive design which is consistent with the existing streetscape character of Bliburg Street.

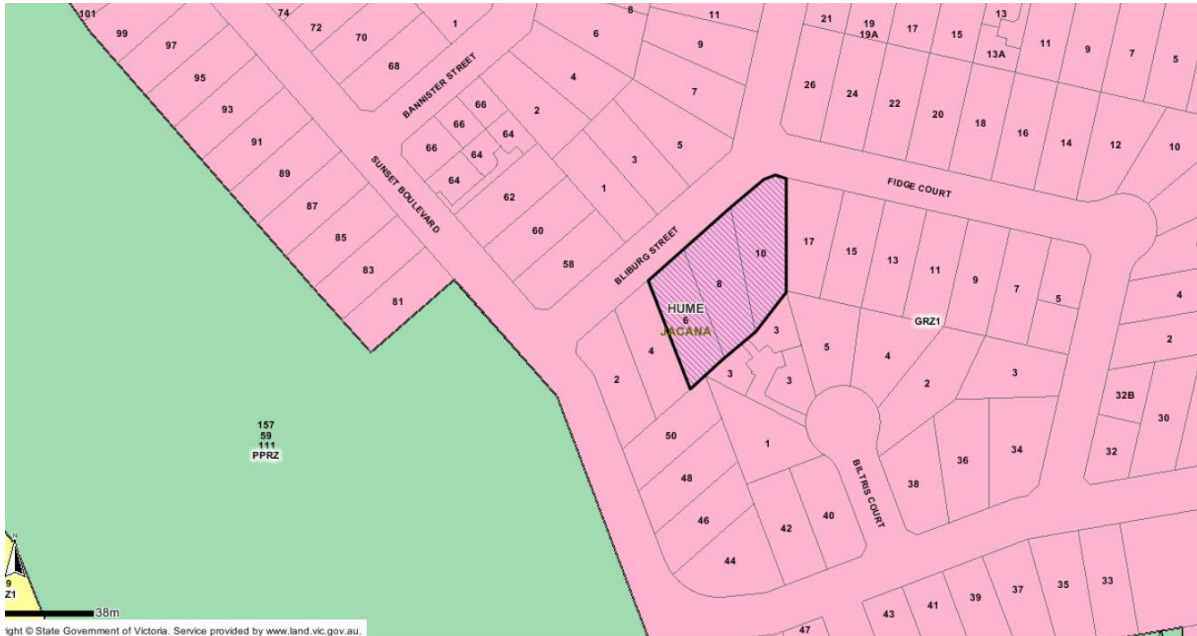
10.2 The design is generally well resolved with respect to the requirements of Clause 55 (ResCode) of the Hume Planning Scheme and, subject to the conditions outlined in the officer's recommendation, will provide a development outcome that will not adversely diminish the existing or ongoing amenity of the area or neighbouring property owners and/or occupiers.

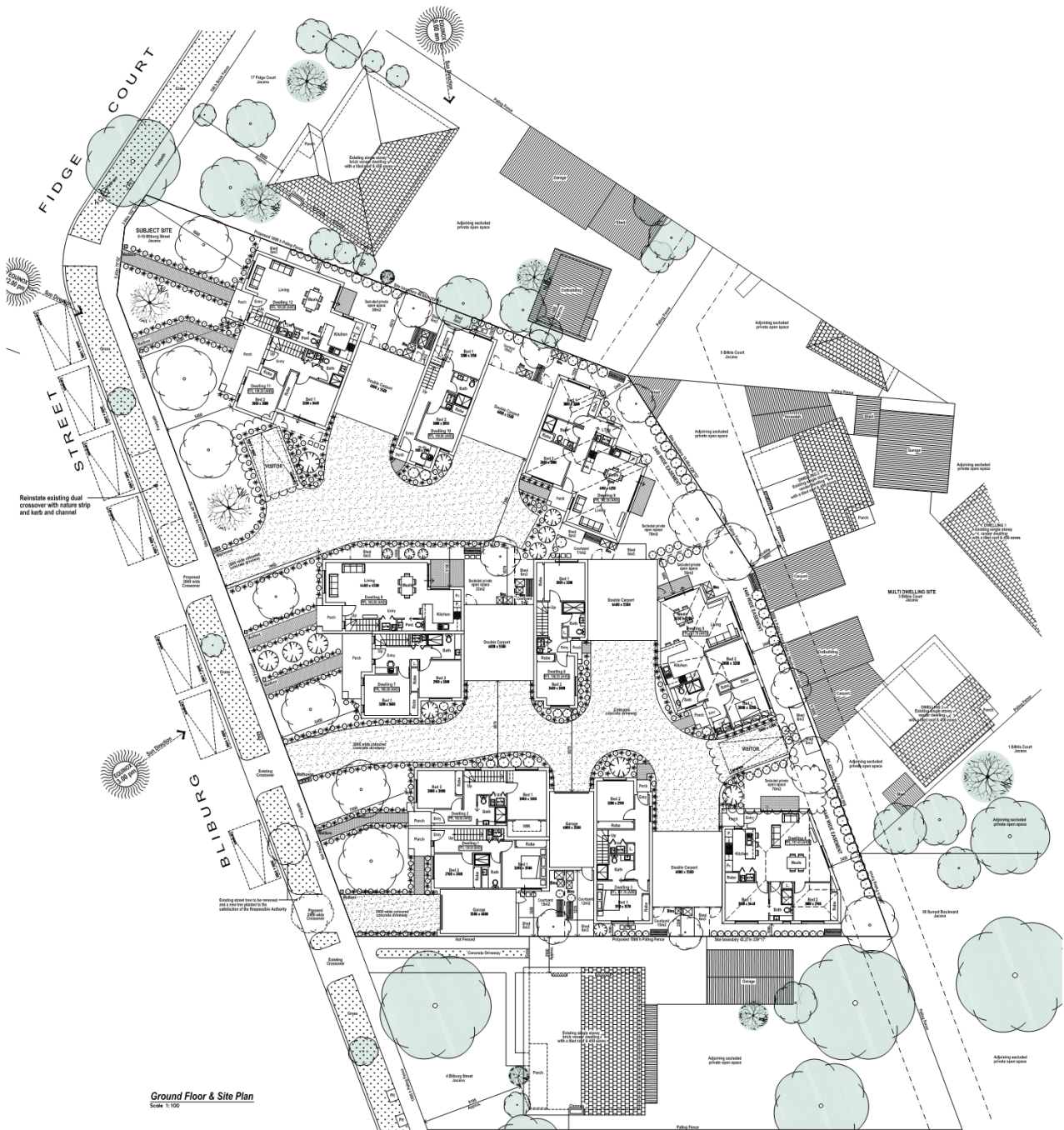
10.3 For these reasons, it is recommended that a Notice of Decision to Grant the permit be issued.

LOCALITY PLAN

P19595

6-10 Bliburg Street Jacana





Ground Floor & Site Plan
Scale: 1:100

AREA ANALYSIS

Dwelling	GROUND FLOOR	FIRST FLOOR	POORHALLS/STAIRS	GARAGE	TOTAL
Dwelling 1	43 m ²	41 m ²	5 m ²	24 m ²	113 m ²
Dwelling 2	52 m ²	46 m ²	4 m ²	23 m ²	125 m ²
Dwelling 3	52 m ²	38 m ²	6 m ²	17 m ²	114 m ²
Dwelling 4	75 m ²	N/A	2 m ²	17 m ²	94 m ²
Dwelling 5	74 m ²	N/A	2 m ²	16 m ²	92 m ²
Dwelling 6	42 m ²	39 m ²	1 m ²	16 m ²	100 m ²
Dwelling 7	48 m ²	38 m ²	1 m ²	17 m ²	104 m ²
Dwelling 8	56 m ²	45 m ²	5 m ²	17 m ²	123 m ²
Dwelling 9	73 m ²	N/A	3 m ²	17 m ²	93 m ²
Dwelling 10	50 m ²	38 m ²	1 m ²	17 m ²	107 m ²
Dwelling 11	45 m ²	35 m ²	1 m ²	17 m ²	100 m ²
Dwelling 12	58 m ²	44 m ²	5 m ²	17 m ²	124 m ²

Dwelling	PRIVATE OPEN SPACE	WELLSHED/OPEN SPACE	TOTAL
Dwelling 1	39 m ²	8 m ² + 15 m ²	62 m ²
Dwelling 2	46 m ²	10 m ² + 12 m ²	68 m ²
Dwelling 3	19 m ²	8 m ² + 15 m ²	42 m ²
Dwelling 4	8 m ²	7 m ²	15 m ²
Dwelling 5	12 m ²	16 m ²	28 m ²
Dwelling 6	6 m ²	10 m ² + 11 m ²	27 m ²
Dwelling 7	85 m ²	12 m ² + 5 m ²	102 m ²
Dwelling 8	107 m ²	23 m ²	130 m ²
Dwelling 9	9 m ²	7 m ²	16 m ²
Dwelling 10	6 m ²	8 m ² + 10 m ²	24 m ²
Dwelling 11	93 m ²	12 m ² + 6 m ²	111 m ²
Dwelling 12	70 m ²	38 m ²	108 m ²

SITE AREA	SITE COVERAGE Building Area	SITE COVERAGE Total Impervious Surfaces
2134 m ²	822 m ² 41.3%	1372m ² 64.3%

SITE LEGEND

- DENOTES EXISTING TREES & SHRUBS
- DENOTES DECIDUOUS CANOPY TREE
- DENOTES CANOPY TREE
- DENOTES NARROW EVERGREEN NARROW CANOPY TREE
- DENOTES NARROW EVERGREEN SCREEN VEGETATION TO SH-ROAD
- DENOTES SHRUBS & GROUNDCOVERS
- DENOTES SELECTED SOIL LIFT
- DENOTES HIGH-PALING FENCE (S/D)
- DENOTES SELECTED CONCRETE TO DRIVEWAY & CARPARKS
- DENOTES SELECTED CONCRETE PAVING

NOTE: ALL CONCRETES/PAVING TO BE FULLY SPECIFIED AND APPROVED BY U.P.

Project
Multi-Dwelling Development

Client
U Property Australia Pty Ltd

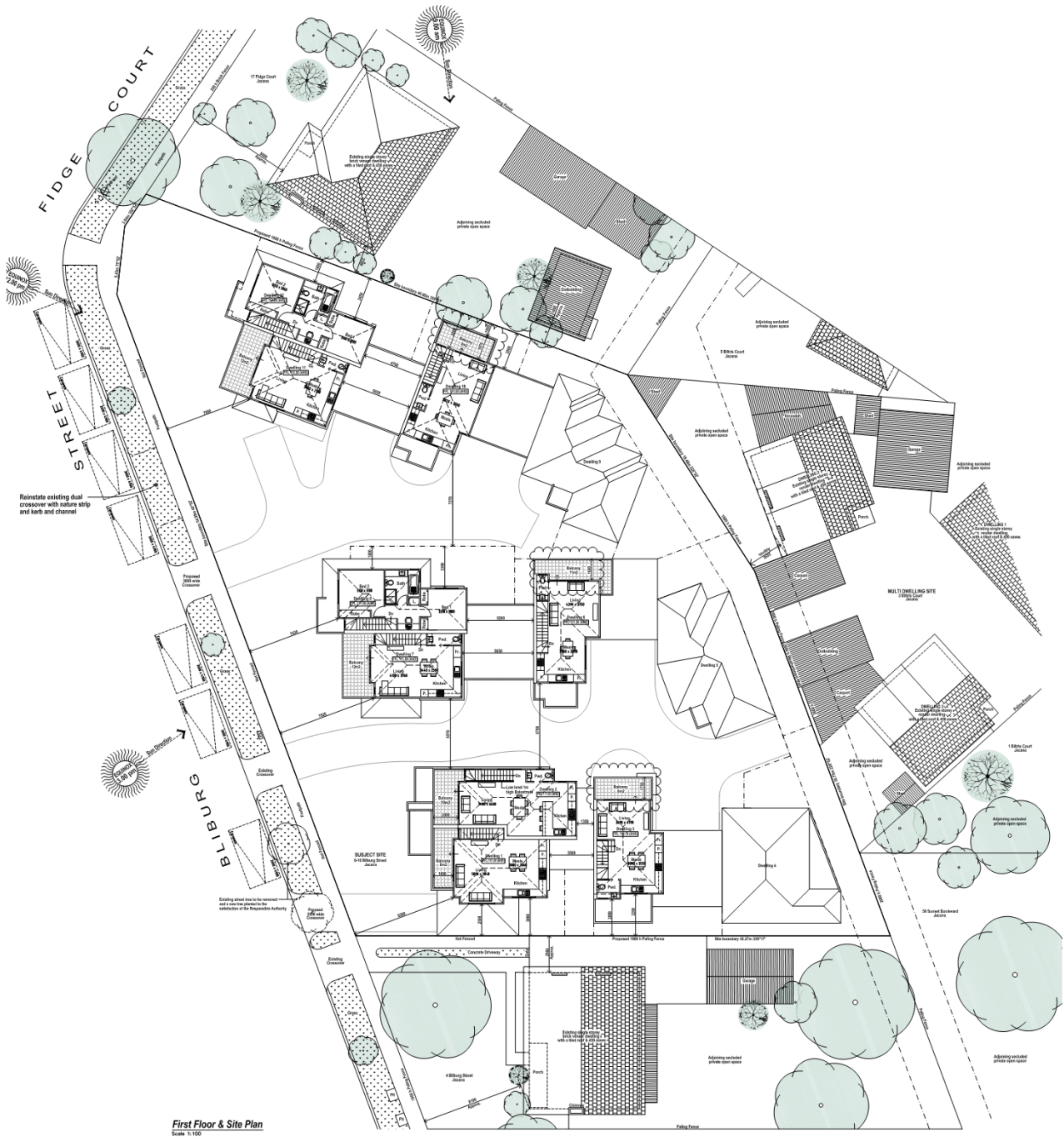
Rev.	Date	Description
A	15/01/17	Initial concept plan
B	15/01/17	Assessed SPOS & Balconies

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Checked: A.M.
Date: 28.02.2016
Drawn: P.S.
Drawing: Ground Floor & Site Plan
Address: 41 & 43 Blurburg Street, Jacana
Ref No: Concept
Sheet No: TPI

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First Floor & Site Plan
 Scale 1:100



Project
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A	15/01/17	Initial concept sketch
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Drawing
 First Floor & Site Plan
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Ref No: Concept **Sheet No:** TP2

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Drawing
Elevations
Address
At 6-10 Billung Street, Jacana
Ref No. 16-1344U **Sheet No.** TP3

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Date 23.03.2016
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Rev.	Date	Description
A	18/01/16	Initial concept sketch
B	18/01/16	Amended EPOS & elevations

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Project
Multi-Dwelling Development



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Drawing
Elevations
Address
At 6-10 Bilburg Street, Jacana
Ref No. 16-1344U **Sheet No.** TP4

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Date 23.03.2016
Drawn P.S

Rev.	Date	Description
A	15/03/16	Initial concepts added
B	15/03/16	Amended EPOD & elevations

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Project
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Streetscape Elevation - View From Bilburg Street
Scale: NTS

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Design Response

The proposed development has responded to the site context in the following ways:

- 1 The proposed dwellings have a clear sense of identity. A sheltered area and transitional space is provided around the entry points of all of the proposed dwellings, which will provide secure access.
- 2 Proposed double storey construction at the front of the site with single storey construction behind provides for an elevated treatment that is articulated and more pleasant to view from adjoining private open spaces and open entry to the site. Only a small component of walls are proposed on the boundary, which helps maintain existing views from adjoining secluded private open spaces.

- 3 The private open space areas have been positioned to minimise any adverse impact on adjoining properties with respect to access to natural light and overlooking.

- 4 On site infiltration has been maximised through the introduction of landscaped areas and permeable run-off will be directed into garden areas to reduce watering and the demand on drainage infrastructure.

- 5 The principal open space areas of each dwelling will be accessed directly from main living areas. Secluded open space areas within the development will achieve total privacy.

- 6 Each dwelling will have sufficient room for storage and outdoor clothes drying facilities.

- 7 The varied dimensions (a minimum of 1.0m and a maximum of 4.57m) of included private open space areas proposed for the dwellings will allow for the planting of small canopy trees and screen vegetation and provide a reasonable recreation area for each of the dwellings.

- 8 No direct overlooking will occur into neighbouring properties given that all first floor habitable windows that overlook adjoining properties will have fixed obscured glazing or a sill height of 1700mm above the finished floor level.

- 9 The proposed dwellings 1 & 2 will each be provided with a single garage, with the remaining dwellings being provided with a car space under a shared carport each. The development has allowed for the provision of two on site visitors carspaces. Sufficient visitor parking can be accommodated for in Bliburg Street with the allowance of up to 7 carspaces located along the street frontage.

- 10 Canopy vegetation and extensive landscaping is proposed throughout the site to enhance the appearance of the site and to soften hard surfaces areas.

The Design Response has been prepared taking into account the opportunities and constraints of the subject site and the Standards of Res Code. The Design Response has been derived from the Neighbourhood Site Description ensuring that a coherent design outcome has been achieved.



Project
Multi-Dwelling Development

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Rev.	Date	Description
A	08/01/17	Initial concept sketch
B	09/01/17	Amended SPOS & Balconies

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Date 20.02.2016
Drawn E.T

Drawing
Design Response Plan
Address
At 6-10 Bliburg Street, Jacana
Ref No. **16-1344U** Sheet No. **DR1**

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Neighbourhood Site Description

Shows existing trees and major vegetation

The Neighbourhood Site Description is prepared in accordance with our in situ assessment & Social Level Photographs. Due to confidentiality regarding measures of privacy, noise, or radiation to report neighbours privacy as much as is possible in text consultation. Beyond all drawings being based on appropriate, consistent & one-to-one, information. Beyond Design Group Pty. Ltd.

Analysis

- 1 The Subject Site has a north-west - south-east orientation, from the front to the rear. Best access is direct sunlight to the north and the side boundaries of the property.
- 2 The Subject Site has a minor fall from the front to the rear of the properties.
- 3 The site contains a few trees & shrubs which have minimal significance. The proposed design will incorporate areas with the capacity for new trees with spreading crowns.
- 4 The existing dwellings on the Subject Site is in an average condition and is proposed to be removed.
- 5 The site has access to all services (sewer water, electricity, gas & telephone).
- 6 Surrounding properties have mixed types of front & rear fencing styles: Brick, cyclone, metal & render, timber, colorbond and paling fence. Heights vary from 150mm approx. to 2200mm approx.
- 7 An existing 1600mm high paling fence is located along the south-west boundary. Along the south-west boundary is an 1800mm high paling fence that increases to 2000mm around the south-west boundary. In the middle of the south-west boundary is a 2600mm high weatherboard wall. On the north-west boundary is a 1600mm high paling fence that reduces to a 600mm high cyclone fence towards the front of the property. At the rear of the north-west boundary is a 2200mm high colorbond wall. The north-west boundary fence of site is not fenced.
- 8 Access to the site is currently from two existing entrances located at the west corner of an 18.4m north corner of an 8.
- 9 Buildings surrounding the Subject Site, consist of single and storey brick veneer, weatherboard and rendered. Adjoining unenclosed private open spaces contain single storey outbuildings (Metal, weather, brick).
- 10 Secluded private open space of surrounding properties.
- 11 Possible habitable room windows facing the subject site within 9 metres.
- 12 Possible habitable room windows facing the subject site within 9 metres.
- 13 Jacana Wetland, 50 metres.
- 14 Jacana Valley Parkland, 350 metres.
- 15 Broadmeadows Valley Primary School, 800 metres.
- 16 Home Central Secondary College, 850 metres.
- 17 Convenience stores located on Ems Parade, 150 metres.
- 18 Bus service located on Bliburg Street, 25 metres.
- 19 Jacana train station, 700 metres.



Project
Multi-Dwelling Development

Client
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Rev.	Date	Description

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Drawing
Neighbourhood Site Description & Analysis
Address
At 6-10 Bliburg Street, Jacana
Ref No. 16-1344U Sheet No. SD1

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Shadow Diagram - 12:00 pm
Scale 1:200 SEPTEMBER 22 (EARTH)
DENOTES THE AREA OF SHADOW CAST BY THE EXISTING PAINTING FENCE ALONG THE WESTERN BOUNDARY LINE.

Shadow Diagram - 9:00 am
Scale 1:200 SEPTEMBER 22 (EARTH)
DENOTES THE AREA OF SHADOW CAST BY THE EXISTING PAINTING FENCE ALONG THE WESTERN BOUNDARY LINE.

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Drawing: Shadow Diagrams
Address: At 6-10 Bliburg Street, Jacana
Ref No.: 16-1344U **Sheet No.:** SH1

Scale	1:200
Checked	A.W
Drawn	D.W
Date	23.03.2016
Drawn	F.S



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Rev.	Date	Description	Initials
A	18/09/16	Initial computer setup	ET
B	19/09/16	Amended EPDS & drawings	ET

Client:
U Property Australia Pty Ltd

Project:
Multi-Dwelling Development



Shadow Diagram - 3:00 pm

Scale: 1:200 SEPTEMBER 22, (2016)

■ DENOTES THE AREA OF SHADOW CAST BY THE EXISTING PALM FENCE ALONG THE EASTERN BOUNDARY LINE.

Rev.	Date	Description
A	18/01/16	Initial computer sketch
B	18/01/16	Amended DWG's & drawings


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Drawing
Shadow Diagrams
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Project
Multi-Dwelling Development



REPORT NO:	SU193
REPORT TITLE:	340 Craigieburn Road, Craigieburn - Amendment to Planning Permit P15564.07 to include car park canopies and vertical wind barriers.
SOURCE:	Eliana Demetriou, Senior Town Planner
DIVISION:	Planning and Development
FILE NO:	P15564
POLICY:	Hume Planning Scheme
STRATEGIC OBJECTIVE:	4.1 Facilitate appropriate urban development while protecting and enhancing the City's environment, natural heritage and rural spaces.
ATTACHMENTS:	1. <i>Locality Plan</i> 2. <i>Development Plans</i>

Application No:	P15564.08
Proposal:	Amendment to Planning Permit P15564.07 to include car park canopies and vertical wind barriers.
Location:	340 Craigieburn Road, Craigieburn
Zoning:	Comprehensive Development Zone 1 Development Plan Overlay No. 7
Applicant:	Lend Lease Retail Estate Investments P/L & Lend Lease Shopping Centre
Date Received:	24 May 2016

1. SUMMARY OF REPORT:

- 1.1 Planning approval is sought to amend planning permit P15564.07 to include car park canopies and vertical wind barriers at 340 Craigieburn Road, Craigieburn. The application is exempt from the statutory public notice process under the relevant provisions of the *Hume Planning Scheme*, and as a result, there are no objectors to this application.
- 1.2 A Failure to Determine appeal has been lodged with the Victorian Civil and Administrative Tribunal (VCAT) in relation to this matter and a Compulsory Conference is scheduled for 2 March 2017. Where a Failure to Determine appeal has been lodged, Council cannot issue a formal decision however Council is required to form a view to present to the Tribunal at future hearings.
- 1.3 The main issues relating to this application relate primarily to design issues and that the proposal is inconsistent with the Craigieburn Town Centre Development Plan.
- 1.4 The application has been assessed against the relevant policies and provisions of the *Hume Planning Scheme* and fails to comply with key policy objectives. Accordingly, it is recommended that the application not be supported.

2. RECOMMENDATION:

That Council:

- 2.1 **Having considered the application on its merits, resolves to not support the proposed amendment to Planning Permit P15564.07 to include car park canopies and wind barriers at 340 Craigieburn Road, Craigieburn for the following reasons:**
 1. **The proposal is not consistent with Clause 15.01 of the Hume Planning Scheme (Urban environment).**
 2. **The proposal is not consistent with Clause 21.07 of the Hume Planning Scheme (Activity Centres and Retailing).**

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3. The proposal is not consistent with the Craigieburn Town Centre Development Plan.

2.2 Delegates officers to negotiate on the above points based on any additional and relevant information provided as part of the Victorian Civil and Administrative Tribunal compulsory conference and hearing scheduled for the application.

3. PROPOSAL:

3.1 The application proposes to amend planning permit P15564.07 to allow canopies to be constructed over portions of the Craigieburn Central Shopping Centre car park together with vertical wind barriers at either end of High Walk. The proposed amendment to the planning permit comprises the following:

- Canopies are proposed within portions of the car park where they are close to the pedestrian entry points to protect shoppers as they walk from their cars into the centre on days of inclement weather.
- The canopies incorporate a painted steel structure (in various colours) and tensile fabric, with soffit lining timber battens and tinted polycarbonate roofing along the key pedestrian spines.
- Vertical wind breaks are proposed at the entry points to High Walk given the tendency for wind to be funnelled into this laneway, causing an undesirable pedestrian environment on windy days.
- The wind barriers have been designed in consultation with wind engineers to ensure that they are highly effective.
- The wind barriers have been designed to match the architecture of Craigieburn Central with light weight framing and coloured glazing.

3.2 The applicant advises that the canopies would be useful in signifying to customers that they will be able to use the facilities and services available at Craigieburn Central even on days of inclement weather.

3.3 The applicant has submitted a wind report with the application (*CPP environmental wind report, Craigieburn Town Centre – 17 May 2016*). The wind report summarises that *'it is expected that the design of the horizontal roof structures for the Craigieburn precinct will not change the local environment wind conditions for those measured with the massing model used in the wind-tunnel testing. The structures will provide some wind-driven rain protection when they have significant overlap of the existing roof, but rain ingress can be expected where the roof is not continuous.'*

4. SITE AND SURROUNDS:

4.1 The Site

The subject site is located on the north side of Craigieburn Road and is bounded by Lygon Drive to the east, Aitken Boulevard to the west, and Central Park Avenue to the north.

Surrounding Area

4.2 The surrounding properties include a mix of residential, community and commercial land uses. On the opposite side of Craigieburn Road to the south is a golf course and residential subdivision.

Restrictions on Title

4.3 A total of three Section 173 Agreements apply to the land (AJ893547R, AJ893551B and AL583277G). These Agreements include extensive requirements with respect to centre access, use of spaces for public and private events, maintenance, security, insurance, public art, developer contributions, public transport and infrastructure provision.

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Planning History

- 4.4 Planning Permit P15564 was issued for the construction of buildings and works associated with the first stage of development of the civic and retail core of the Craigieburn Town Centre, to reduce/vary car parking and bicycle requirements and to create access to a Road Zone – Category 1 at 340 Craigieburn Road, Craigieburn.
- 4.5 Numerous amendments have been undertaken following the granting of the permit including entry canopies on the Main Street and High Walk entrance, amendments to the internal layout of the shopping centre, amendment to the car parking layout and cinema.

Background

- 4.6 A pre-application meeting was held with Council officers on 21 October 2015. Concerns were raised with the proposed weatherproofing for the Craigieburn Town Centre. The extent of the canopy car park coverage and design were discussed. In particular, the applicant was advised that Council would not support the weather structures in the car park and that only the pedestrian walkways through the car park should be covered. The applicant was advised that they should not impact on trees within the car park and that lighting and drainage should be considered. Comments were also provided on the vertical wind barriers.
- 4.7 Draft plans were submitted to the Council on 22 December 2015 for comment on the various weatherproofing proposals for Craigieburn Town Centre (awnings located within High Walk, the vertical windbreak and the car park weather proofing). Additional information was sought from the applicant in relation to a wind assessment, the extent of shelter within the car park, circulation network within the car park and details of the car park shelter. A traffic engineering assessment was also requested to demonstrate compliance with the Section 173 Agreement in relation to the pedestrian laneway (High Walk) and access for a service or emergency vehicle of a regular car size.
- 4.8 The applicant lodged the planning application on 24 May 2016 to amend Planning Permit P15564.07 to include car park canopies and vertical wind barriers. The application was referred internally to relevant departments.
- 4.9 On 14 July 2016, the applicant met with Council officers and concerns were raised in terms of the design and location of car park canopies and their impact on the lighting, existing trees and drainage. The applicant was advised that the extent of the car park weather protection should be limited to the pedestrian walkways within the car park.
- 4.10 On 12 September 2016, the applicant met with Council to discuss the feedback that they are receiving from customers and retailers and the need to cover a larger area of the car parks. The applicant advised that there are similar size shopping centres with covered car parking. The applicant was requested by Council to provide similar examples of shopping centres in the nearby area with car parks covered with canopies.
- 4.11 On 4 October 2016, the applicant submitted additional documentation in response to Council's concerns. The applicant provided Broadmeadows Town Centre and Pacific Epping as examples. Whilst both shopping centres contain undercover parking, neither have car park canopies. A meeting was scheduled with the applicant for 10 November 2016 to further discuss the application.
- 4.12 On 4 November 2016, a draft plan with Council's alternative proposal was forwarded to the applicant for discussion purposes at the 10 November 2016 meeting. The draft plan represented the areas with covered walkways through the car park and the location where car park canopies would be supported.

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- 4.13 On 7 November 2016, the applicant sought to have the meeting postponed as representatives of Lend Lease were not available to attend the meeting scheduled for 10 November 2016. The meeting was postponed.
- 4.14 Council made contact with the applicant on 25 November 2016 in relation to scheduling another meeting date. Council was advised that Lend Lease were still working on the proposal internally.
- 4.15 On 30 November 2016, Council sought the applicant's intentions with the application and whether a meeting would be held in December 2016 or January 2017. The applicant was advised that Council would be proceeding to a formal decision in February 2017 and that the application is unlikely to be supported in its current format at officer level.
- 4.16 On 5 December 2016, the applicant confirmed that Lend Lease would not be attending a meeting to discuss the alternate proposal put forward by Council officers and requested that Council proceed to a refusal of the application in February 2017.
- 4.17 Council then received advice from VCAT on 30 December 2016, that an appeal for review had been lodged for Failure to Determine.

5. PLANNING CONTROLS:

- 5.1 The following policies and provisions of the *Hume Planning Scheme* are relevant in the consideration of the application:

<i>State Policies:</i>	Clause 11: Settlement Clause 11.01: Activity Centres Clause 15: Built Environment and Heritage Clause 15.01-1: Urban Environment Clause 15.01-2: Urban Design Principles Clause 17: Economic Development Clause 17.01: Commercial Clause 17.01-1: Business
<i>Municipal Strategies</i>	Clause 21.06-2: Craigieburn and Roxburgh Park Neighbourhood Clause 21.07: Activity Centres and Retailing
<i>Local Policies</i>	Nil
<i>Zones:</i>	Clause 37.02: Comprehensive Development Zone (schedule 1)
<i>Overlays:</i>	Development Plan Overlay (Schedule 7)
<i>Particular Provisions</i>	Nil
<i>General Provisions</i>	Clause 65.01: Approval of an Application or Plan

- 5.2 Clause 11 (Settlement) of the State Planning Policy Framework states that it is State policy to '*recognise the need for, and as far as practicable contribute towards a high standard of urban design and amenity.*'
- 5.3 It is also State policy at Clause 15.01 (Urban Environment) '*to create urban environments that are safe, functional and provide good quality environments with a sense of place and cultural identity.*' Two stated strategies relevant to this application are:
- '*To promote good urban design to make the environment more liveable and attractive; and*
 - '*Encourage retention of existing vegetation or revegetation as part of subdivision and development proposals.*'
- 5.4 Clause 15.01-2 (Urban Design Principles) has the objective:

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'To achieve architectural and urban design outcomes that contribute positively to local urban character and enhance the public realm while minimising detrimental impact on neighbouring properties.'

5.5 One of the stated strategies in relation to architectural quality is *'new development should achieve high standards in architecture and urban design.'*

5.6 A municipal strategy (Clause 21.07 Activity Centres and Retailing) states that *'Craigieburn Town Centre has been recognised by the State Government as a Major Activity Centre.'* One of the stated strategies is to *'develop Craigieburn Town Centre to a high quality level of urban design and present a high quality, safe and functional environment.'*

5.7 The subject site is located within the Craigieburn and Roxburgh Park Neighbourhood. The stated objective for Craigieburn at Clause 21.06-2 of the Scheme is:

'To protect significant environmental and topographical features in the neighbourhoods that give Craigieburn and Roxburgh Park their identity and character.'

Craigieburn Town Centre Development Plan

5.8 The Craigieburn Town Centre Development Plan (May 2011) was prepared by Hansen Partnership in collaboration with Lend Lease. The vision statement in the Development Plan is as follows:

'The civic and retail core precinct of the Craigieburn town centre will be a unique and sustainable regional hub offering a balance of retail, business, civic, community, leisure and residential uses which promote social interaction and employment for 2030 and generations into the future.'

5.9 Guiding values relevant to this application include:

- *'Consider urban planning and design elements that constitute and reinforce the concept of 'main street'.*
- *Create a legible, clear and safe streetscape to allow simple way finding for both pedestrian and vehicular movement.*
- *Create a landscape pattern that brings the open space network close to all urban development, providing access and amenity, and that correlates closely with the broader natural landscape setting.'*

Aboriginal Cultural Heritage

5.10 The site is not located within an area of Aboriginal Cultural Heritage Sensitivity and thus a Cultural Heritage Management Plan is not required.

Major Electricity Transmission Line

5.11 The site is not located within 60 metres of a major electricity transmission line.

Planning Permit Triggers

5.12 The permit trigger in this instance is Section 72 of the *Planning and Environment Act* which applies to an application for an amendment to the permit.

5.13 Section 72 states:

A person who is entitled to use or develop land in accordance with a permit may apply to the responsible authority for an amendment to the permit

This section does not apply to –

- *a permit issued at the direction of the Tribunal; or*
- *a permit issued under Division 6*

In this section a reference to a permit includes any plans, drawings or other documents approved under a permit.

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5.14 The proposed amendment would result in amended plans and additional permit conditions.

6. REFERRALS:

6.1 The application does not trigger external referral requirements pursuant to Section 55 of the *Planning and Environment Act 1987* or Clause 66 of the *Hume Planning Scheme*.

6.2 The application was internally referred to Council's Engineering and Assets Department for comment. Council's traffic engineers are satisfied that the proposal will not encumber emergency vehicles entering or leaving the site.

6.3 The application was referred internally to Council's Community & Activity Centre Planning Department for urban design comment. These comments are discussed later in this report.

7. ADVERTISING:

7.1 Clause 43.04-2 (Development Plan Overlay) of the *Hume Planning Scheme* states that an application required under any provision of this Scheme which is generally in accordance with the Development Plan is exempt from the notice requirements of Section 52(1)(a), (b) and (d), the decision requirements of Section 64(1), (2) and (3) and the review rights of Section 82(1) of the *Planning and Environment Act 1987*.

8. ASSESSMENT:

8.1 The proposed car park canopies present design issues that will be incompatible with the site and the surrounding area and which fail to satisfy relevant provisions of the *Hume Planning Scheme*, including several objectives and design principles outlined in the Craigieburn Town Centre Development Plan.

8.2 The placement of the car park canopies as proposed is not considered to protect and enhance the public realm, specifically the future movement network, within the Craigieburn Town Centre. Their placement compromises the legibility of vehicular and pedestrian links within the current stage of development that serve as a precursor to their role as more substantial parts of the movement network in subsequent stages of development.

8.3 The proposed car park canopies will have a detrimental impact on the visibility of the corner buildings that signify arrival to the shopping centre through their detailed architectural treatment. These buildings are identified as key gateway points within the Craigieburn Town Centre Development Plan and have become key landmarks within the Craigieburn locality. It is considered that the canopies proposed for the southern car park with an interface to Craigieburn Road and for the northern car park with visibility to Central Avenue, would clutter and diminish the legibility of these landmark entry points to the shopping centre.

8.4 Whilst Council is supportive of car park canopies, there is concern in relation to the extent of the coverage. The placement of the canopy structures should reinforce the urban structure of the Craigieburn Town Centre by retaining the movement grid as clear thoroughfares. This grid comprises the existing streets and High Walk in addition to the future streets (currently configured as car park accessways). The provision of a clear north-south thoroughfare is required to be maintained through the east and west car parks.

8.5 This is evident in the Craigieburn Town Centre Development Plan. The Development Plan refers to 'tertiary activation streets' and states that:

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'Frontage arrangements along 'tertiary activation street' will vary over time, as the centre develops and evolves. In initial stages these streets may be fronted by ground level car parks and in some cases undeveloped land. Landscaping treatments will be used to enhance the appearance of such streetscapes until such time as car parks and undeveloped land is redeveloped in the future. The aim with these streets will be to over time maximise active frontages, minimise non-active frontages, and where non-active frontages may occur, use landscaping and architectural treatments to enhance their appearance.'

- 8.6 A key priority for Council is the retention of High Walk as an open air thoroughfare. This principle applies to the extended pedestrian connections on the High Walk's alignment through the car park. Any weather protection proposed for the extension of High Walk should have a separate surface (not continuous) to the proposed car park canopies.
- 8.7 The placement of the proposed canopy structures should reinforce the Town Centre's hierarchy of built form, architectural focus and nominated gateway locations. These 'landmark entry statements' are identified in the Craigieburn Town Centre Development Plan as located at the intersection of Main Street with Craigieburn Road and Central Park Avenue. The proposed canopies for the southern and northern car parks are not an appropriate response to the significance of these sites as landmark entry statements.
- 8.8 The Craigieburn Town Centre Development Plan in relation to 'landmark entry statements' advises that:
- 'Landmark 'entry statements' will be incorporated into buildings established at the intersections of Main Street with the East West Connector and Craigieburn Road. Landmark entry statement buildings should differentiate themselves from surrounding buildings in terms of both height and design. Entry statements will also be incorporated into buildings at other key locations throughout the precinct such as the intersection of Main Street and the High Walk and the integration/gateway of Craigieburn Road and Main Street. Architectural features will also be used as entry points from streets to major retail anchors and internal malls.'*
- 8.9 The canopies will not make a significant impact on the wind conditions experienced and are primarily for rain protection given that the existing trees will provide sufficient shade when established. As stated earlier in this report, the wind report provided by the applicant (*CPP environmental wind report, Craigieburn Town Centre – 17 May 2016*) confirms that *'it is expected that the design of the horizontal roof structures for the Craigieburn precinct will not change the local environment wind conditions.... The structures will provide some wind-driven rain protection when they have significant overlap of the existing roof, but rain ingress can be expected where the roof is not continuous.'*
- 8.10 The impact of the proposed canopies on existing infrastructure including trees and light poles has not been considered. The canopies proposed for the eastern car park will impact approximately 52 trees and light spill from 9 light poles. The retention of existing trees is a priority particularly along the extension of the High Walk.
- 8.11 In addition, drainage from the car park canopies has also not been considered to ensure that water is not shed onto pedestrian areas.
- 8.12 In relation to the vertical wind screens proposed on either side of High Walk, Council's Senior Urban Designer has provided comments as follows:

- The proposed windbreak should avoid the creation of a 'doorway' into the internal street through the placement of screens aligned to the building edge or opposite each other.

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- It should avoid the creation of small unusable spaces where litter collection may become an issue.
- Roofs should be removed as part of the design as it could create safety/security issues with people climbing these structures.
- Avoid obstructing pedestrian pathways.
- The screens should contain some level of decoration.
- A minimum level of transparency greater than 70 percent transparency to the screens and that the screens are not used for advertising signage.

8.13 Section 173 Agreement AJ893547R also requires that '*the pedestrian laneway (High Walk) will be trafficable for a service or emergency vehicle of a regular car size.*' The applicant has provided a swept path assessment prepared by GTA Consultants which indicates that following the provision of the proposed wind breaks, High Walk will remain accessible by a B99 design vehicle which reflects the largest non-commercial vehicle.

8.14 Council Officers have provided an alternative proposal to the applicant to provide weather protection to pedestrian walkways and car spaces near the east and west entries to High Walk. There are significant opportunities to provide weather protection to north-south oriented walkways in the eastern and western car park that could efficiently provide sheltered access from car to shopping centre entry without having to cover expansive areas of car parking. The applicant has advised that this outcome is not acceptable and has lodged a failure to determine appeal with VCAT.

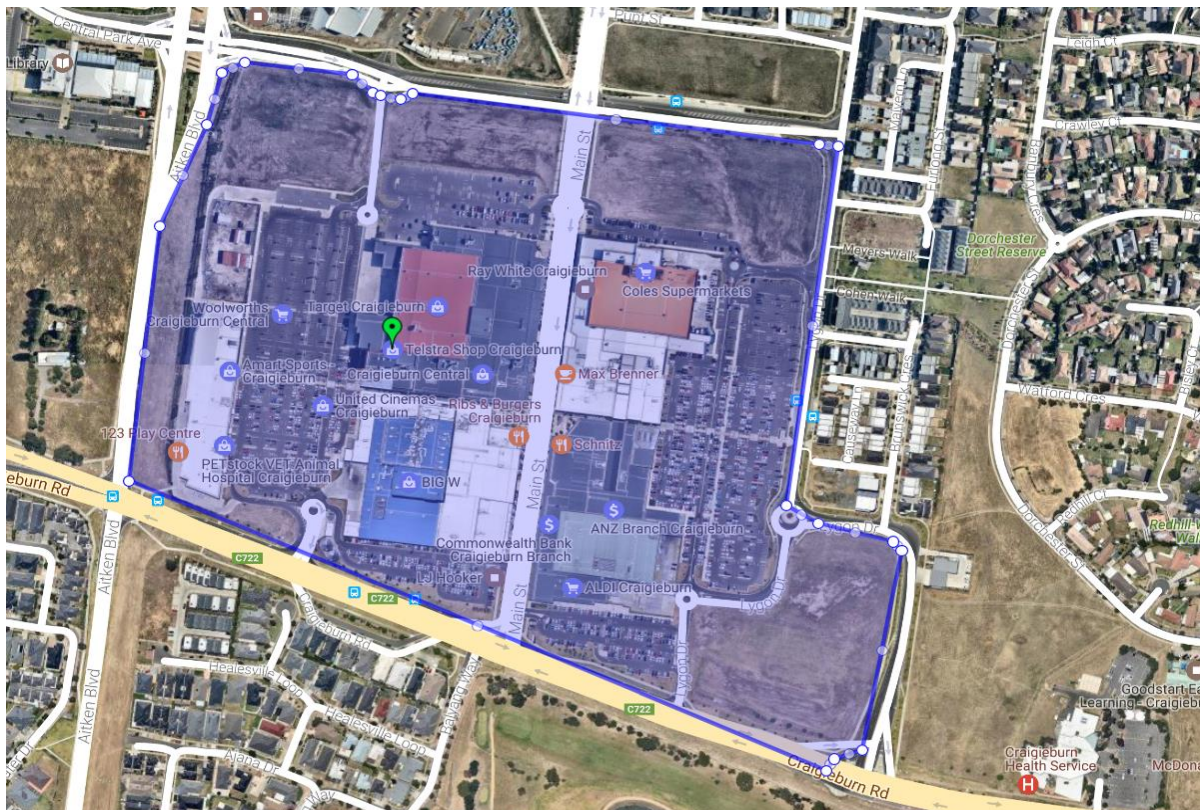
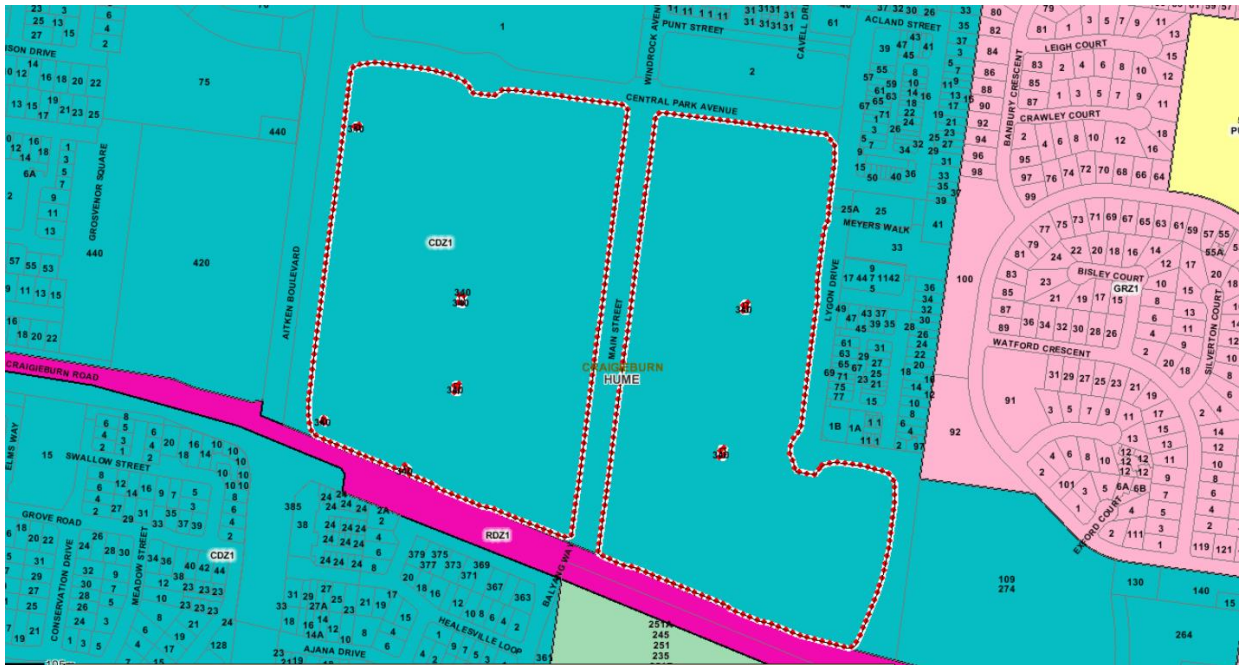
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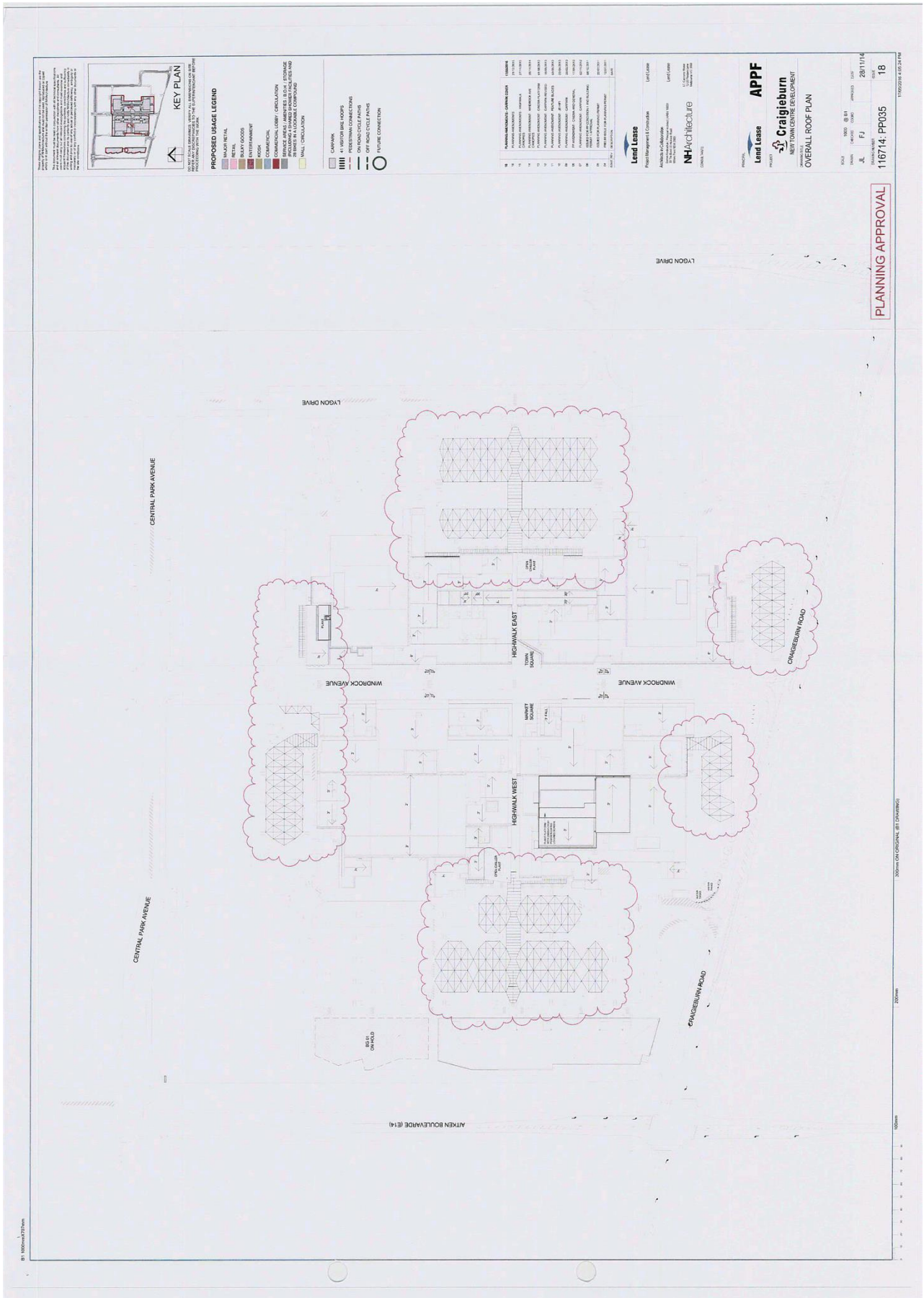
- 9.1 Whilst Council is supportive of canopy structures, the concern relates to the extent of the coverage of the car park in that the proposal to cover approximately 900 car spaces with car park canopies is not acceptable in its response to its urban design context, the Craigieburn Town Centre Development Plan as well as relevant provisions of the *Hume Planning Scheme*.
- 9.2 For the reasons above, it is recommended that the application to amend the planning permit not be supported and this position be presented to VCAT at the compulsory conference scheduled for 2 March 2017.

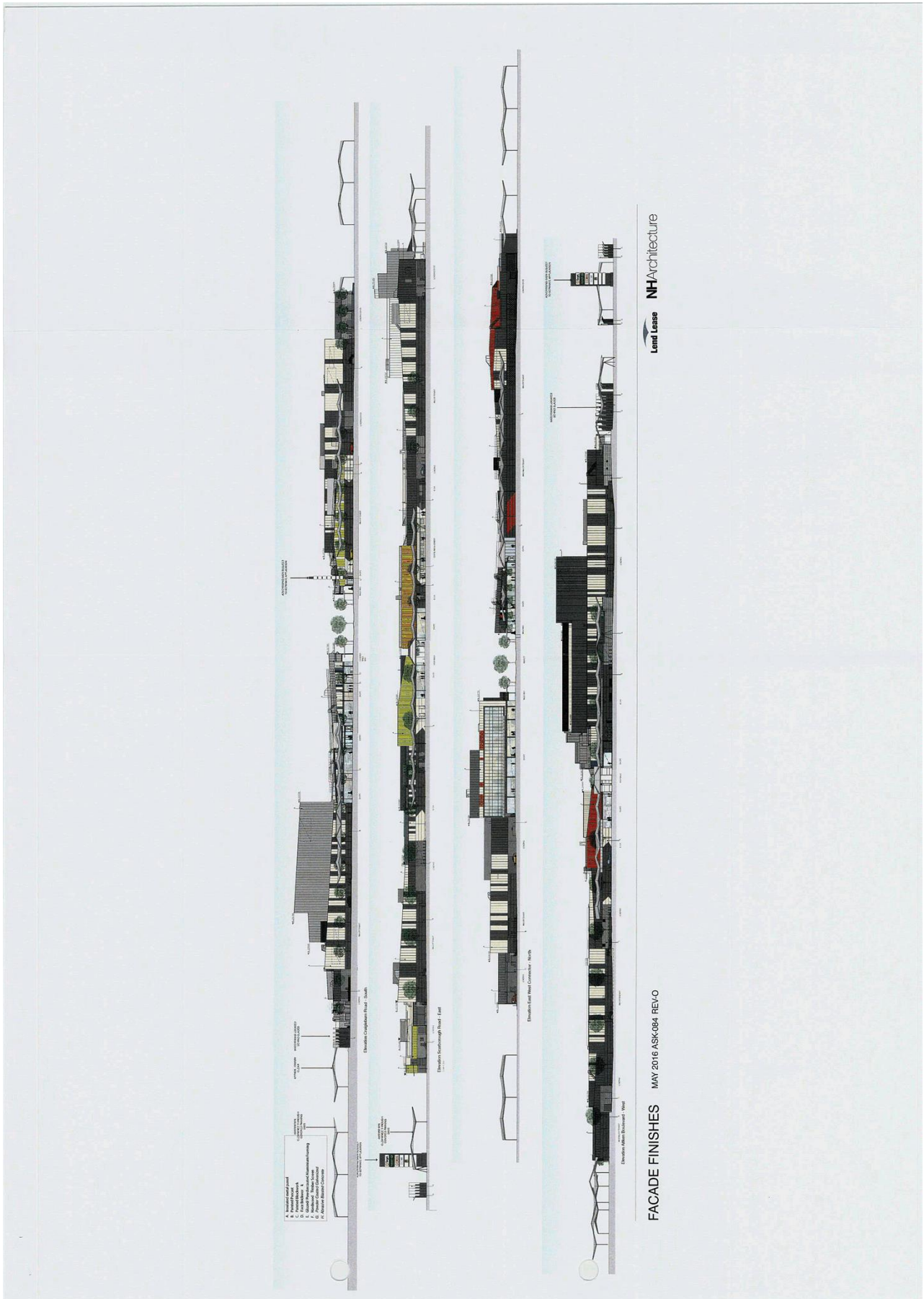
LOCALITY PLAN

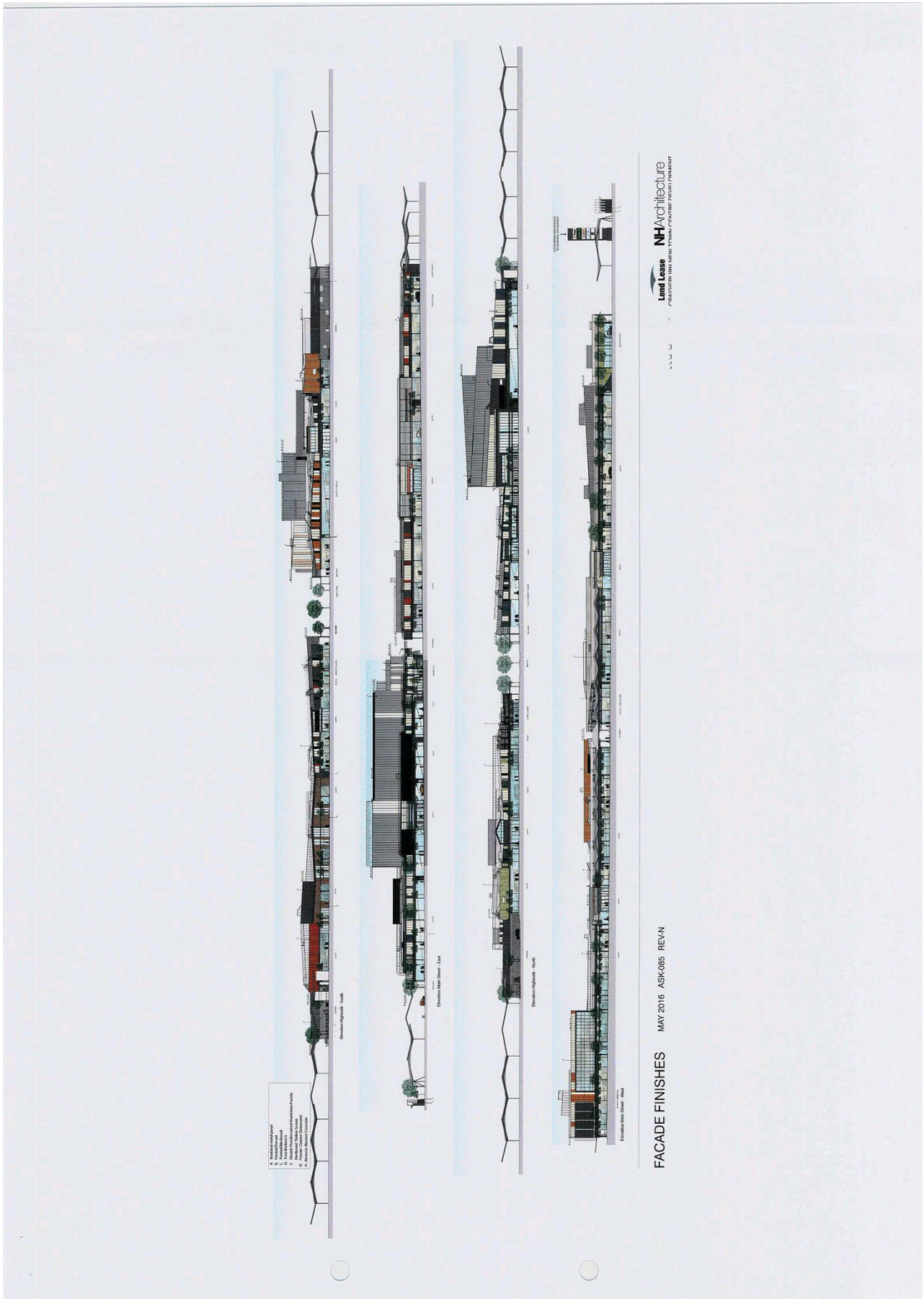
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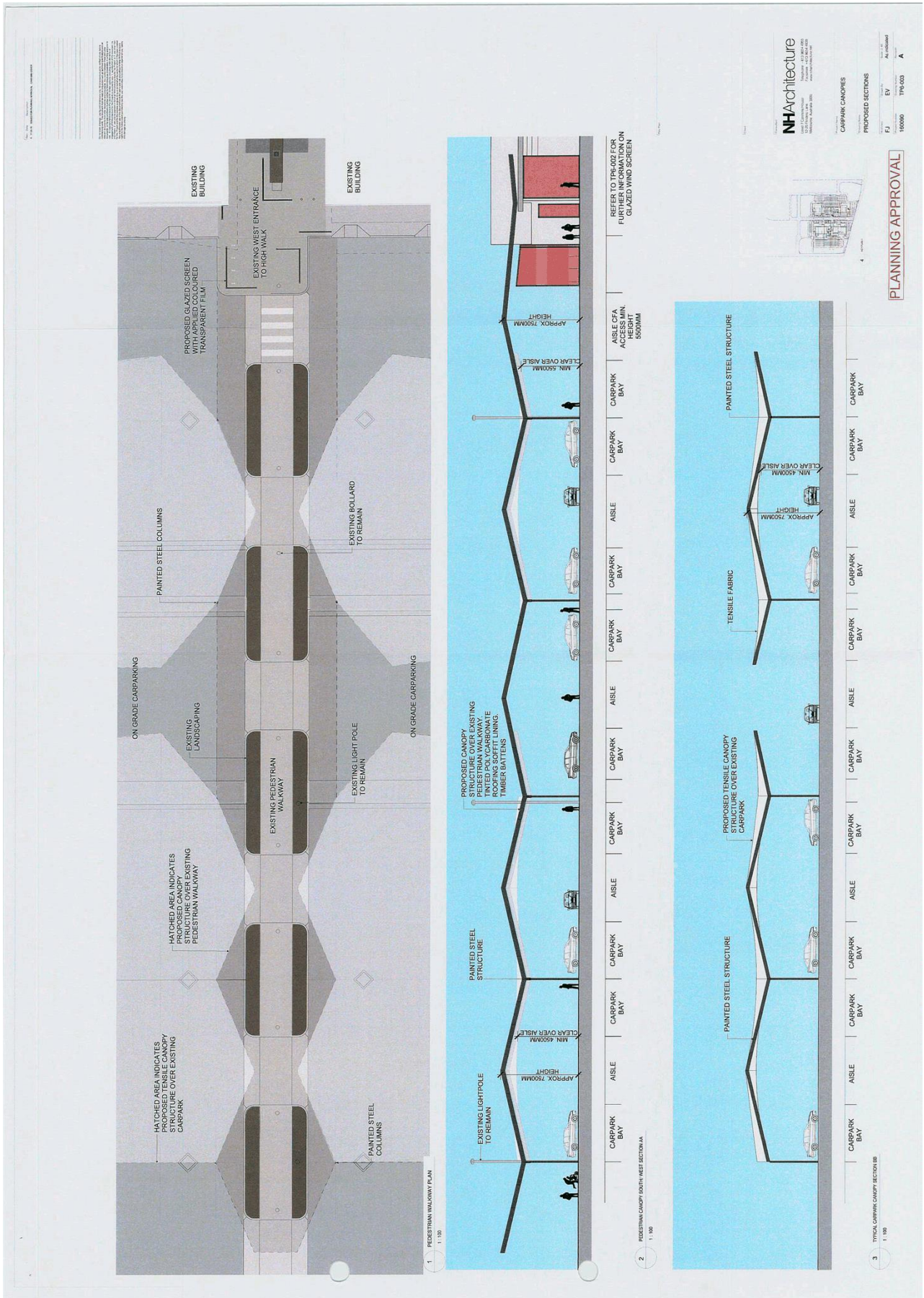
340 Craigieburn Rd Craigieburn











REPORT NO:	SU194
REPORT TITLE:	38 Fordson Road, Campbellfield - The use and development of two warehouses and a reduction in the car parking requirements
SOURCE:	Najla Toma, Town Planner
DIVISION:	Planning and Development
FILE NO:	P19795
POLICY:	Hume Planning Scheme
STRATEGIC OBJECTIVE:	4.1 Facilitate appropriate urban development while protecting and enhancing the City's environment, natural heritage and rural spaces.
ATTACHMENTS:	1. <i>Development Plans</i> 2. <i>Locality Map</i>

Application No:	P19795
Proposal:	The use and development of two warehouses and a reduction in the car parking requirements
Location:	38 Fordson Road, Campbellfield
Zoning:	Industrial 3 Zone
Overlay:	Special Building Overlay
Applicant:	CCD Drafting
Date Received:	02 August 2016

1. SUMMARY OF REPORT:

- 1.1 An application has been received for the use and development of two warehouses and a reduction in the car parking requirements at 38 Fordson Road, Campbellfield. The application has been advertised and 29 objections have been received. The application was amended pursuant to Section 57A of the *Planning and Environment Act 1987* on 03 February 2017.
- 1.2 The application has been assessed on its merits against the relevant policies and provisions of the *Hume Planning Scheme* (the Scheme) including consideration of the issues raised in objections. On balance, the proposal is considered acceptable and it is recommended that a Notice of Decision to Grant a Permit is issued subject to conditions.

2. RECOMMENDATION:

That Council, having considered the concerns of the objectors and the merits of the application, resolves to issue a Notice of Decision to Grant a Planning Permit for the use and development of two warehouses and a reduction in the car parking requirements at 38 Fordson Road, Campbellfield, subject to the following conditions:

- 1. The development shown on the endorsed plans must not be altered without the prior written consent of the responsible authority.**
- 2. The use of the land or of any buildings on the land must not be altered for some other use except as may be lawful or with the prior written consent of the responsible authority.**
- 3. The development, permitted by this permit must not be commenced until a satisfactory detailed landscaping plan for the whole of the subject land, including a maintenance schedule, is submitted to and approved by the responsible authority. Such plan must be prepared by a person suitably qualified or experienced in landscape design and when approved an endorsed copy must form part of this permit. The landscape plan must be generally in accordance with Sheet No. 3, Job No. 16-023B (Amendment B), dated 02/02/17, but modified to include:**

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- a. A continuous row of Callistemon 'Kings Park Special' to be planted across the rear boundary.
- b. Setback at least one metre from the Callistemon, a row of four trees evenly spaced. The trees are to alternate between Eucalyptus melliodora and Eucalyptus leucoxyton subsp. connata.
4. Before development allowed by this permit is occupied, landscaping works as shown on the endorsed plan(s) must be provided and paid for solely by the owner/developer of the subject site and completed to the satisfaction of the responsible authority.
5. The landscape areas shown on the endorsed plans must be planted and maintained to the satisfaction of the responsible authority and once landscaped must not be used for any other purpose.
6. The approved use may operate only between the following times:
7:30am to 6.00pm - Monday to Friday;
7.30am to 3.00pm on Saturday
7. The use /the occupation of the land must be managed so that the amenity of the area is not detrimentally affected, including through the:
 - (a) transportation of materials, goods or commodities to or from the subject land;
 - (b) appearance of any building, works or materials;
 - (c) emission of noise, artificial light, vibration, smell, fumes, smoke, vapour, steam, soot, ash, dust, waste water, waste products, grit or oil;
 - (d) presence of vermin; or
 - (e) in any other way.
8. Goods, equipment, materials or machinery must not be stored or left exposed outside a building so as to be visible from any public road or thoroughfare, except with the prior written consent of the responsible authority.
9. All parking bays to be line marked including disabled and associated shared area pavement marking.
10. Any external lighting must be designed, baffled and located to the satisfaction of the responsible authority so as to prevent any adverse effect on adjoining land.
11. Car spaces, access lanes and driveways shown on the endorsed plan must be kept available for these purposes at all times to the satisfaction of the responsible authority.
12. Owner/developer to pay for street tree removal (\$180.67) and replacement tree (\$483.44). Council's Senior Arborist must be contacted in a timely manner to indicate when Owner/developer will require trees to be removed.
13. The stormwater management solutions shown on the approved plans must be installed and maintained to the satisfaction of the responsible authority.
14. Any service relocation associated with the works are to be approved by the Service Authorities and at the owners cost.
15. Application for Legal Point of Stormwater discharge is required to obtain approval for the connection to the legal point of discharge.
16. Provision of litter control at stormwater inlet points within car park and paved areas. All stormwater pits to be Channel Grated or Grated as per Council's Standard Dwg SD 210/215 or SD225 respectively.
17. Stormwater from all paved area must be retained within the property and drained to the sites underground stormwater system, including pavement over the easement area.

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18. Any cut or fill must not interfere with the natural overland stormwater flow.
19. No polluted and / or sediment laden runoff is to be discharged directly or indirectly into Council's drains or watercourses during construction.

Conditions required by Melbourne Water:

20. No polluted and / or sediment laden runoff is to be discharged directly or indirectly into Melbourne Water's drains or waterways.
21. Finished floor levels of the warehouse must be constructed no lower than 122.60 metres to Australian Height Datum (AHD).
22. Imported fill must be kept to a minimum on the property and must only be used for the sub floor areas of the building and driveway ramp.
23. Any new or modified stormwater connection to Melbourne Water's drainage system must obtain separate approval from Melbourne Water's Asset Services Team.
24. Prior to the endorsement of plans a Landscape Plan detailing the plant species to be planted within 5 metres of the Somerset Road Drain must be submitted to Melbourne Water for further assessment and approval.
25. Prior to the issue of an Occupancy Permit, a certified survey plan, showing finished floor levels (as constructed) reduced to the Australian Height Datum, must be submitted to Melbourne Water to demonstrate that the floor levels have been constructed in accordance with Melbourne Water's requirements.
26. The open space areas within the front setback of the property including the carparking area and landscaping must be maintained at natural surface levels and no fill or retaining walls should be used in the development of this land.

Expiry:

27. This permit will expire if one of the following circumstances applies:
 - the development and use are not started within three years of the date of this permit; or
 - the development is not completed within six years of the date of this permit.

The responsible authority may extend the periods referred to if a request is made in writing:

- before or within six months after the permit expiry date, where the use or development allowed by the permit has not yet started; or
- within 12 months after the permit expiry date, where the development allowed by the permit has lawfully started before the permit expires.

Notes:

- If a request for an extension of commencement/completion dates is made out of time allowed by condition 26, the responsible authority cannot consider the request and the permit holder will not be able to apply to VCAT for a review of the matter.
- The applicable flood level is 122.3 metres to Australian Height Datum (AHD). If further information is required in relation to Melbourne Water's permit conditions shown above, please contact Melbourne Water on 9679 7517, quoting Melbourne Water's reference 279633.
- An application for a 'Consent to Dig in the Road Reserve' permit for a vehicle crossing is to be submitted to Council for approval. A copy of the Council endorsed plan showing all vehicle crossing details is to be attached to the application.

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- Prior to commencement of any works within the road reserve or require alteration/connection to the Council's drainage assets in the road reserve/easement, an 'Application form for Consent to work within a Hume City Council Road Reserve' is required to be submitted to Council to obtain a permit to carry out the works.

3. PROPOSAL:

- 3.1 It is proposed to use and construct two warehouses with associated first floor offices.
- 3.2 The proposed development will have a total net warehouse floor area of 839 square metres, including ancillary office space of 70 square metres for each warehouse.
- 3.3 Each warehouse will have an internal loading bay provided measuring 8 metres in length and 4 metres in width.
- 3.4 The purpose of the use is for the storage and distribution of industrial items. The applicant has indicated that it is not intended to use or store any dangerous goods. No works approval or waste discharge licence is required from the Environmental Protection Authority.
- 3.5 The proposed hours of operation are from Monday to Friday 7:30am to 6.00pm and Saturday 7.30am to 3.00pm. The total staff number will range between 3 and 4.
- 3.6 A total of nine car spaces are provided on site including two disabled spaces, (four spaces plus one disabled space for warehouse 1 and three spaces plus one disabled space for warehouse 2).
- 3.7 Access is via two new vehicle crossovers off Fordson Road (1 crossover per warehouse). Both warehouses are built to the side boundaries. The maximum building height is 8 metres. The front boundary interface will be landscaped.
- 3.8 Construction will comprise concrete and colorbond materials with roller doors, glazing and a flat roof.

4. SITE AND SURROUNDS:

- 4.1 The subject site is a vacant parcel of land. It has a frontage of approximately 35 metres to Fordson Road, a depth of 39 metres to the east boundary and 52 metres to the west boundary. The rear boundary is approximately 30 metres and the total site area is 1324 square metres.
- 4.2 To the rear of the subject site (south), there are residential properties which generally have large trees screening their rear boundaries. Immediately adjacent to the east of the site is parkland. To the west of the site is a vacant parcel of land.
- 4.3 The subject site is located within an industrial precinct predominantly occupied by car yards and panel beating businesses.

Restrictions on Title:

- 4.4 No registered restrictive covenants are recorded on title.

5. PLANNING CONTROLS:

- 5.1 The following policies and provisions of the *Hume Planning Scheme* ("the Scheme") are relevant in the consideration of the application:

State Policies:

Clause 11.01 – Delivering jobs and investment

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5.2 Relevant strategies to create a city structure that drives productivity, supports investment through certainty and creates more jobs include:

- *Strengthen the competitiveness of Melbourne's employment land.*
- *Plan for jobs closer to where people live.*

5.3 Clause 17.02-3 of the *Hume Planning Scheme* relates to State significant land, its objective is:

- *To protect industrial land of State significance.*

Local Policies:

Clause 21.03 – Employment and Business

5.4 Strategies to develop diverse local employment opportunities to meet the needs of a growing residential population include:

- *Encourage the development and use of land within the Hume Highway employment corridor for a range of industry, warehousing and service business, subject to suitable separation from adjoining land uses and between different industrial activities.*

5.5 Clause 21.06-3 of the *Hume Planning Scheme* relates to Campbellfield neighbourhood, the relevant objective is:

- *To create a vibrant and attractive industry and employment corridor that services local, regional and metropolitan labour markets, ensuring that these activities are protected from the encroachment of sensitive land uses.*

5.6 Clause 22.01 of the *Hume Planning Scheme* applies to applications within industrial areas and business parks, relevant objectives include:

- *To provide a range of lot sizes to meet current and anticipated employment needs;*
- *To ensure that new development is well designed and will enhance the visual and streetscape amenity of the area, particularly along roads with a residential interface;*
- *To provide for effective stormwater management as part of new development proposals;*
- *To establish and maintain a consistently high quality industry and business environment that protects and enhances the investment of those who choose to locate and work within, and the amenity of those who reside near, the City's business parks.*

5.7 Clause 22.19 of the *Hume Planning Scheme* applies to applications for industry. This Policy provides guidelines on Stormwater Management, runoff and associated pollution control. Its main objectives include:

- *To promote the use of water sensitive urban design, including stormwater re-use;*
- *To apply best practice stormwater management to industrial development and subdivision;*
- *To minimise peak stormwater flows and stormwater pollutants to improve the health of water bodies.*

Zoning and Overlay Provisions:

5.8 The subject land is within the Industrial 3 zone (Clause 33.01) and the purposes of the zone are:

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- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies;*
- *To provide for industries and associated uses in specific areas where special consideration of the nature and impacts of industrial uses is required or to avoid inter-industry conflict;*
- *To provide a buffer between the Industrial 1 Zone or Industrial 2 Zone and local communities, which allows for industries and associated uses compatible with the nearby community;*
- *To allow limited retail opportunities including convenience shops, small scale supermarkets and associated shops in appropriate locations;*
- *To ensure that uses do not affect the safety and amenity of adjacent, more sensitive land uses.*

5.9 The subject land is also affected by the Special Building Overlay (Clause 44.05) and the purposes of the overlay are:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies;*
- *To identify land in urban areas liable to inundation by overland flows from the urban drainage system as determined by, or in consultation with, the floodplain management authority;*
- *To ensure that development maintains the free passage and temporary storage of floodwaters, minimises flood damage, is compatible with the flood hazard and local drainage conditions and will not cause any significant rise in flood level or flow velocity;*
- *To protect water quality in accordance with the provisions of relevant State Environment Protection Policies, particularly in accordance with Clauses 33 and 35 of the State Environment Protection Policy (Waters of Victoria).*

Planning Permit Trigger/s:

5.10 The permit triggers for the use and development are required pursuant to the following Clauses of the Hume Planning Scheme:

- A permit is required for the use pursuant to Clause 33.03-1, where 'Warehouse' is a 'Section 2 – permit required' use;
- A permit is required pursuant to Clause 33.03-4, to construct a building or construct or carry out works;
- A permit is required pursuant to Clause 44.05-1, to construct a building or to construct or carry out works, and;
- A permit is required pursuant to Clause 52.06-3 (*Car Parking*), to reduce the number of car parking spaces required under Clause 52.06-5.

Aboriginal Cultural Heritage:

5.11 The land is not located within an area of cultural heritage sensitivity as described in the *Aboriginal Heritage Regulations 2007* and therefore a Cultural Heritage Management Plan is not required.

Major Electricity Transmission Line:

5.12 The land is not located within 60 metres of a major electricity transmission line.

6. REFERRALS:

External Referrals:

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- 6.1 The application was referred externally to the Melbourne Water, pursuant to Clause 44.05-5 of the *Scheme* and under Section 55 of the *Planning & Environment Act 1987*. Melbourne Water has responded with no objection to the proposal subject to the inclusion of prescribed conditions in any permit.

Internal Referrals:

- 6.2 The application was referred internally to Council's Assets Department who responded with conditions to be included on any permit.

7. ADVERTISING:

- 7.1 The application was advertised under Section 52 of the Act by way of letters to the adjoining land owners and occupiers and one notice board placed on site. A total of 29 objections were received in response. The grounds of objection can be summarised as follows:

- Loss of vegetation and open space;
- Loss of property value;
- Increase in noise / odour and pollution level;
- Overshadowing, specifically to No's. 10, 12 & 14 Church Street; and

8. OBJECTIONS:

- 8.1 The grounds of objection are addressed below:

Loss of vegetation and open space:

- 8.2 Although the proposed development will result in the removal of the existing non-native trees on site, this matter has been considered and it was recommended to the applicant to plant replacement trees on site. The application has been amended accordingly to increase the rear setback to 5 metres to enable the planting of *Callistemon* 'Kings Park Special' trees across the rear boundary. This arrangement is considered reasonable and responds appropriately to the loss of vegetation concerns raised by the objectors. Furthermore, discussions with objectors revealed that since the property boundaries had not been fenced, it was perceived to be as part of the adjacent parkland to its east by the abutting residential properties. In this instance, the loss of open space concern is considered irrelevant as the subject land is privately owned and has never been a part of the parkland.

Loss of property value:

- 8.3 It is a long established VCAT principal that loss of property values is not considered to be a valid ground of objection to a planning permit application.

Increase in noise / odour and pollution level:

- 8.4 It is considered that the proposal will not result in an unreasonable amount of noise, odour or pollution. The subject land is located within an Industrial 3 zone which is set aside for industrial uses. Additionally, the proposed use is for storage purposes and does not involve any process of industry and therefore, it will not result in a noise level that is above and beyond what is considered to be reasonable in an industrial area. Furthermore a planning permit condition on any permit issued will be included requiring that the use from the subject site must not adversely affect the amenity of the surrounding neighbourhood.

Overshadowing, specifically to No. 10, 12 & 14 Church Street:

- 8.5 The proposed development has been amended after advertising to provide a 5 metre rear setback from the southern boundary. This will significantly reduce any overshadowing that is likely to occur to the adjoining properties.

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8.6 Furthermore, aerial photos of the adjoining warehouse building at 34 Fordson Rd (with a 5 metre setback), revealed minimal overshadowing to the residential properties to its south (No. 16 & 18 Church St). It is therefore considered that the proposed development will result in a very limited overshadowing to the southern abutting properties at No's. 10, 12 & 14 Church St.

9. ASSESSMENT:

Clause 22.01 – Industrial Local Policy :

9.1 The proposed buildings and works will establish an industrial activity on the site as anticipated by the applicable zone and overlay. The buildings and works are appropriately located on this site having regard to the industrial nature of the area. Importantly, the buildings and works have been designed to meet the siting and design requirements contained at Clause 22.01 of *the Scheme* as set out below:

Setback Requirement	<i>6 metres (including a 3 metre landscape strip) plus 0.5 metre per 1000 square metres of site area above 4000 square metres</i>
Setback Proposed	10.1 metres with 3 metres min' landscape strip.
Building Material Requirement	<i>Buildings should be constructed in masonry or other material suited to the type of building and its use with appropriate use of glazing. Except where face brickwork is integral to the overall design and appearance of buildings, external walls should be painted or finished with a quality textured coating. The use of timber as a dominant building material should be avoided Except in the Cooper Street precinct buildings constructed of colourbond materials should be avoided.</i>
Building Material Proposed	Construction will be concrete screening and colorbond.
Fencing Requirement	<i>Frontages should be unfenced. If fencing is required for security purposes, it should be designed to have a high degree of transparency and be located behind the front landscape setback. Fence and gate design should be integral to the design of buildings. Side and rear boundary fences should be black plastic coated cyclone wire.</i>
Fencing Proposed	No front fencing is proposed. A 1.8m high black mesh cyclone fence is proposed to the side and rear boundaries where the building does not abut the side boundary.
Parking Requirement	<i>A 1.5 metre wide landscaped area should be provided between car parking and buildings/side property boundaries to provide a visual contrast and ensure safe vehicular movements. Large areas set aside for car parking should be provided with landscape islands to allow the planting of shade trees and shrubs. All car parking areas should be provided with</i>

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	<p><i>suitable lighting to ensure safety and security of users after dark.</i></p> <p><i>Loading and servicing areas should be designed as an integral part of the development on each site.</i></p> <p><i>Parking requirement for warehouse is 1/90sqm.</i></p>
Parking Proposed	<p>Parking bays are not set back from side boundaries, however, Council's traffic engineer raised no concerns in relation to the safety of vehicular movements.</p> <p>Suitable lighting has been provided. Internal loading bays are satisfactory.</p> <p>Clause 52.06 of the Scheme requires 1.5/100sqm of floor area resulting in 12.5 spaces required for this proposal.</p> <p>Clause 52.06-5 of the Scheme however allows Council to use the parking rate under the Local Industrial Policy, (normal practice), at Clause 22.01 which requires 9.8 spaces for the proposal. A total of 9 spaces are provided. Each warehouse has been provided with a disabled car space.</p>
Storage and Disposal of Waste	<p><i>Goods and materials, including waste material and refuse, are to be stored in areas specifically designed for this purpose and should not be visible from the front of the site. Wherever possible, storage areas for waste materials and refuse should be an integral part of the design of the building.</i></p>
Waste Storage Proposed	<p>Waste storage areas have been provided internally and will not be visible from the site frontage.</p>
External Lighting Requirement	<p><i>All lighting should be located, directed and baffled to limit light spill beyond the site boundaries. External lighting to ensure adequate security.</i></p>
External Lighting Proposed	<p>External lighting has been provided and relevant notation included on plans to indicate that lighting should be located, directed and baffled to limit spill beyond the site. Condition can also be added to any permit issued.</p>
Signage Requirement	<p><i>Signage should be integrated with the development design and should be limited to the name of business and avoid visual clutter. Illuminated signs should be enclosed within an internally lit box or designed with spot lighting.</i></p>
Signage Proposed	<p>The building has been designed to allow for the appropriate siting of advertising on the northern façade of both warehouses. However, the application does not indicate any</p>

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	<p>advertising signage for the proposed use and development of the land. Any signage would be subject to future approval if the total area of all advertising signage exceeds 8 square metres for a business identification sign. A relevant note on the permit will be placed to this effect.</p>
Landscaping Requirements	<p><i>The landscaping theme adopted for a development should be simple and include use of semi-mature trees.</i></p> <p><i>Automated watering systems should be provided to landscaped areas in the front setback and are encouraged in all other landscaped areas.</i></p> <p><i>Achieve appropriately scaled landscape in the front setback that extends the themes established in the streetscapes.</i></p> <p><i>The location and choice of vegetation should take account of the existing landscape theme, as well as local soil conditions and prevailing weather.</i></p> <p><i>Species should usually be chosen to minimise long-term watering requirements.</i></p>
Landscaping Proposed	<p>Landscaping layout and description of species, surfaces to be constructed, including watering and maintenance has been included.</p> <p>A permit condition will be placed on any permit issued to submit a landscape plan to include replacement of trees along the rear boundary.</p>

Clause 22.19 – Industrial Stormwater Management Policy:

- 9.2 The applicant has provided a Deemed to Comply Report and a Stormwater Management Plan in accordance with the requirements of Clause 22.19-4. Additionally, internal referrals reveal that Council’s Sustainable Environment officer is satisfied with the submitted stormwater treatment measures.

Clause 33.03-2 – Industrial 3 Zone (Decision Guidelines):

- 9.3 Before deciding an application, the responsible authority must consider the following decision guidelines:

The State Planning Policy Framework and the Local Planning Policy Framework

- 9.4 The proposal is consistent with the State and Local Planning Policy Frameworks as it is an appropriate use in an Industrial 3 zone. The proposal provides further employment opportunities and encourages development of different industries within the municipality.

The effect that the use may have on nearby existing or proposed residential areas or other uses which are sensitive to industrial off site effects, having regard to any comments or directions of referral authorities.

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- 9.5 As discussed above, the proposed use is for storage purposes. It is therefore considered that the proposed use is appropriate and will not have detrimental impacts on any residential areas or other sensitive uses.

The availability of and connection to services.

- 9.6 The subject site is located within an established industrial estate and all services are available to the site, including drainage discharge.

The effect that nearby industries may have on the proposed use.

- 9.7 The proposed warehouse use is not a sensitive use to the uses already existing in the locality and is considered to be a common land use within an Industrial 3 Zone area.

The effect of traffic to be generated on roads.

- 9.8 It is considered that the proposed use is compatible with the nearby industrial road network. Furthermore, Council's traffic engineer has not raised any issues in relation to the traffic that would be generated by the proposed use.

The interim use of those parts of the land not required for the proposed use

- 9.10 This is not applicable as all areas of the site are part of the proposal.

Clause 52.06 – Car parking:

- 9.11 Clause 52.06-5 of the *Hume Planning Scheme* requires 1.5 car spaces to each 100 square metres of net floor area for a warehouse.

- 9.12 The proposed net floor area is 839 square metres, with 9 car spaces provided. The standard requirement under Clause 52.06-5 is 12.5 spaces and is therefore not satisfied. However, the standard parking requirement is considered excessive and the proposed development is considered appropriate in regard to Clause 22.01 of *the Scheme*. On this basis the parking provision is considered acceptable and a reduction in the standard parking requirement is justified.

- 9.13 The dimensions of car parking spaces and accessways are also in accordance with relevant standards. Council's traffic engineer is also satisfied with the proposed layout of the car park.

Clause 52.07 – Loading and Unloading of Vehicles:

- 9.14 Clause 52.07 of the *Hume Planning Scheme* requires for a facility of 2,600sqm or less in single occupation the following minimum loading bay dimensions:

- Area 27.4 square metres;
- Length 7.6 metres;
- Width 3.6 metres;

Height clearance 4.0 metres, and;

For each additional 1800 square metres (or part thereof) an additional 18 square metres is required. As each warehouse is less than 2600 square metres in area, a 27.4 square metres loading bay is required.

- 9.15 Each warehouse has been provided with a loading bay measuring 8 metres in length and 4 metres in width leading to a total area of 32 square metres, satisfying the requirement of Clause 52.07.

Clause 44.05-6 – Special Building Overlay (Decision Guidelines):

- 9.16 The decision guidelines stipulated under Clause 44.05-6 relevant to the application include:

Any comments from the relevant floodplain management authority.

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9.17 As discussed previously, the application was referred to Melbourne Water as a determining referral authority. The proposal has been assessed by Melbourne Water who raised no objection, subject to the inclusion of permit conditions.

The effect of the development on redirecting or obstructing floodwater, stormwater or drainage water and the effect of the development on reducing flood storage and increasing flood levels and flow velocities.

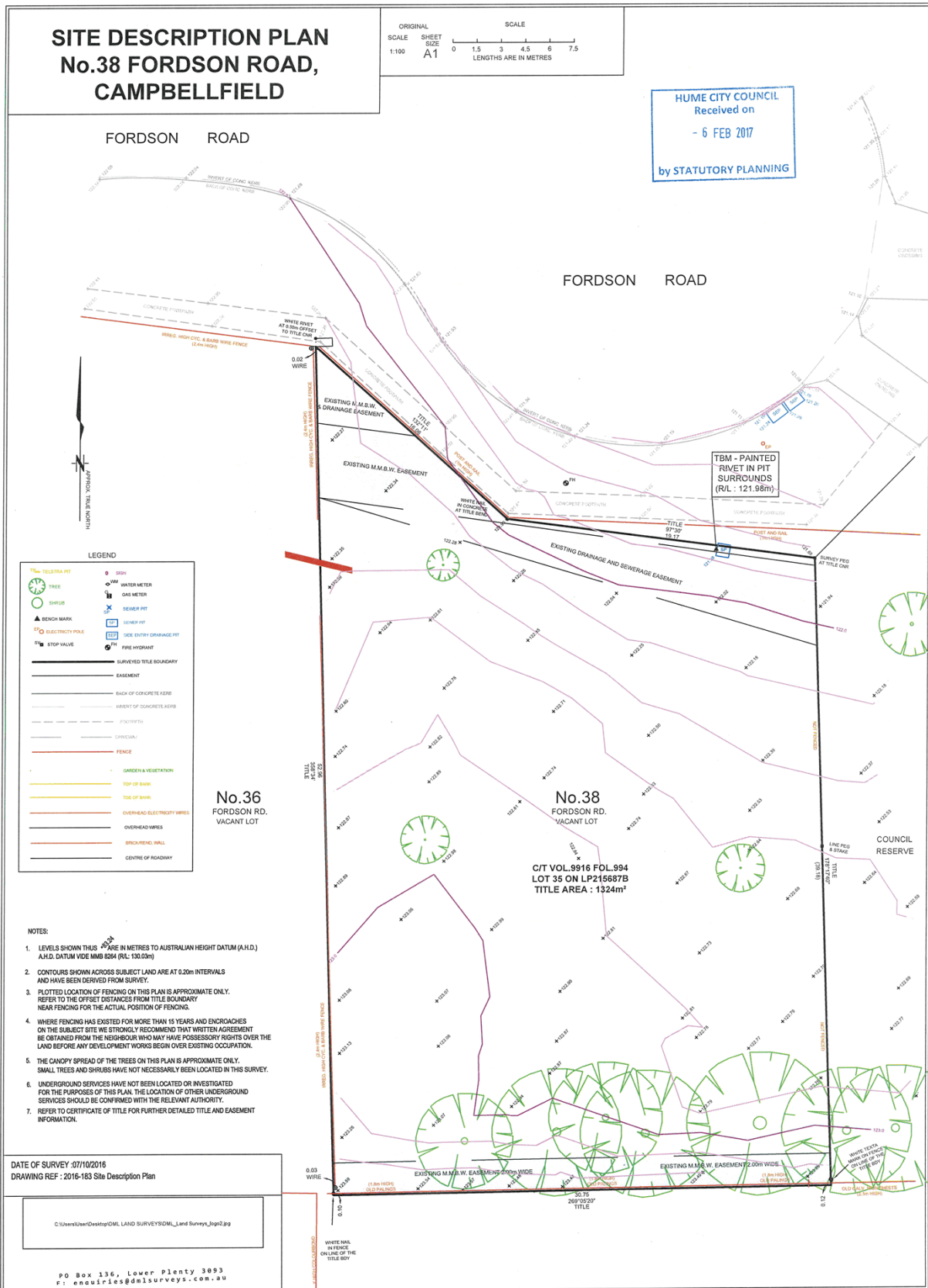
9.18 This point has been covered previously, indicating that the proposal has been provided with satisfactory stormwater and drainage treatment measures, as shown in the Stormwater Management Plan.

10. CONCLUSION

10.1 The proposed use and development of two warehouses and a reduction in the car parking requirements at 38 Fordson Road, Campbellfield is considered to be appropriate for the subject site and the purpose of the Industrial 3 Zone.

10.2 The proposal is also consistent with the State and Local Planning Policy Framework, and the provisions of the planning scheme. Subject to inclusion of relevant conditions it is considered that the proposal is worthy of support.

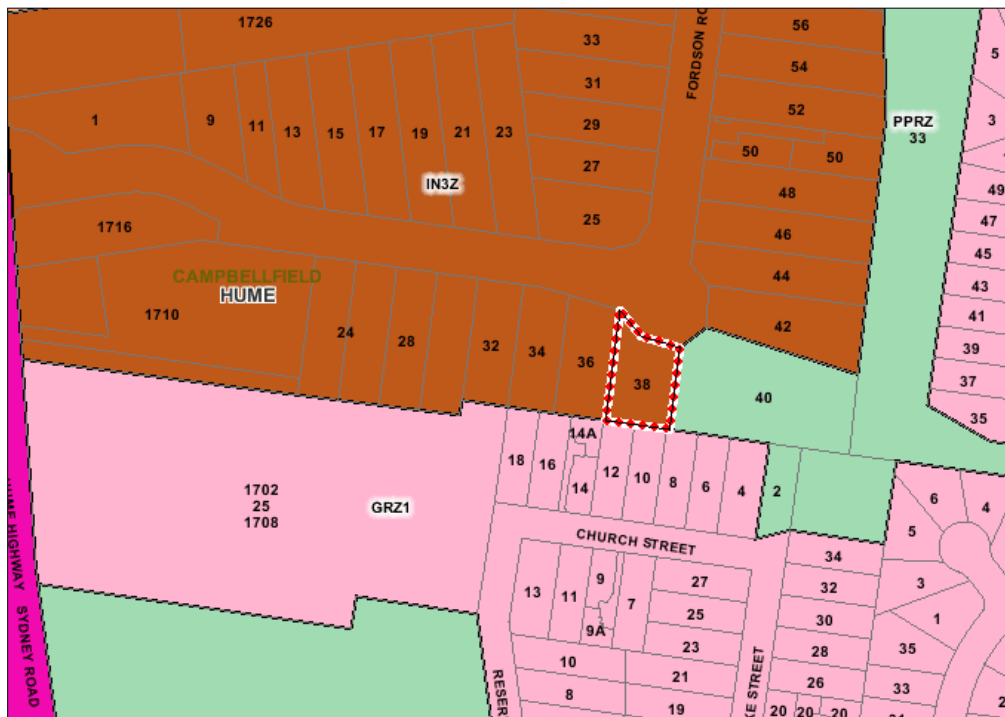
10.3 For these reasons, it is recommended that a Notice of Decision to Grant the permit be issued.



LOCALITY PLAN

P19795

38 FORDSON ROAD, CAMPBELLFIELD



REPORT NO:	SU195
REPORT TITLE:	Sunshine Street, Campbellfield - Declare a Special Charge Scheme
SOURCE:	Gus Ferraro, Senior Technical Officer, Assets
DIVISION:	Sustainable Infrastructure and Services
FILE NO:	HCC05/668
POLICY:	-
STRATEGIC OBJECTIVE:	4.3 Create a connected community through efficient and effective walking, cycling, public transport and car networks.
ATTACHMENTS:	<ol style="list-style-type: none">1. <i>Proposed Declaration of Special Charge</i>2. <i>Special Rate and Charge Procedure</i>3. <i>Minutes of the Committee of the whole Council 6 February 2017</i>

1. SUMMARY OF REPORT:

This report proposes that Council declares a special charge scheme under Section 163 of the *Local Government Act 1989*, for the road construction of Sunshine Street, Campbellfield.

2. RECOMMENDATION:

That Council:

- 2.1** having considered all submissions received and taken account of all objections lodged and complied with the requirements of sections 163A, 163B and 223 of the *Local Government Act 1989 (Act)*, and otherwise according to law and having, so far as can be ascertained from available records and can reasonably be concluded, ascertained that the road or any component of the road for which it is proposed the Special Charge will be declared has not previously been constructed by way of a special rate or special charge.
- 2.2** declares a Special Charge under section 163(1) of the Act for the purposes of defraying expenses incurred or to be incurred by Council or repaying (with interest) for the construction of Sunshine Street and the provision of any ancillary works including drainage. Refer to *Schedule 1 of Attachment 1* showing the road and the affected properties.
- 2.3** the Special Charge will commence on the date of its declaration and remain in force for a period of ten (10) years.
- 2.4** advise property owners of the apportioned cost to each property as shown in *Schedule 2 of Attachment 1*.
- 2.5** reconsider the Special Charge Scheme subject to any appeals lodged for consideration to the Victorian Civil and Administration Appeals Tribunal (VCAT).
- 2.6** acquire a small parcel of VicTrack land subject to the VCAT process required for vehicles turning movements at the end of Sunshine Street, Campbellfield.

3. LEGISLATIVE POWERS:

- 3.1** Council has the power under section 163(1) of the Act to declare a special rate or a special charge for the purposes of defraying any expenses for works or services that Council considers will be of special benefit to affected property owners.
- 3.2** Under Section 163B of the Act, Council cannot make a declaration for a special charge scheme if it receives objections from the majority of the rateable properties in respect of which the special charge would be imposed.

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- 3.3 Of the eight rateable properties three objections have been received and under the Act Council can legally proceed and declare a special charge scheme for the road construction of Sunshine Street.

4. FINANCIAL IMPLICATIONS:

4.1 Expenditure

4.1.1 The estimated total project cost for the construction of the road including the provision of drainage, footpath and other ancillary works is \$369,200 (exclusive of GST).

4.1.2 There are three parts that make up the estimated costs:

- (a) Direct and indirect costs that Council cannot recover through the scheme but must be incurred for the project to proceed (\$73,300)
- (b) Council's contribution to the scheme (\$37,900).
- (c) Contributions from those parties liable for the scheme (\$258,000).

4.1.3 The three parts are discussed below.

4.1.4 There are costs to replace/upgrade existing road infrastructure components that under the Act cannot be charged to property owners or occupiers under a special charge scheme. These costs will be borne by Council and are as follows:-

(a) existing section of kerb and channel	\$3,000
(b) existing road surface asphalt seal	\$32,000
(c) existing concrete vehicle crossings	\$11,000
(d) <u>street lighting upgrade</u>	<u>\$7,300</u>
Total	\$53,300

4.1.5 If the project proceeds, the cost for the design, supervision and contract administration is projected to cost \$20,000 with all these services undertaken by Council's in-house teams. Although Council may recover the costs incurred in the design, supervision and administration of the works at 10% of the actual total cost of the works they will be included as part of Council's contribution to the project.

4.1.6 It is likely that Council will need to acquire a small area of VicTrack land required for vehicle turning movements at the end of Sunshine Street which is estimated at \$20,000 including legal costs.

4.1.7 The estimated total project cost of \$369,200 less \$53,300 for non-chargeable items and \$20,000 for the acquisition of VicTrack land equals \$295,900.

4.1.8 The VicTrack property abutting Sunshine Street is not rateable so Council cannot levy costs against VicTrack under a scheme. The contribution for this property is determined under sections 163(2), (2A) and (2B) of the Act dealing with the 'benefit ratio'. If the scheme proceeds, the contribution for this property would need to be borne by Council and amounts to \$37,900. Therefore the maximum total level can be apportioned amongst the eight adjoining properties is \$295,900 less \$37,900 which equals \$258,000.

4.1.9 Council's contribution made up of \$53,300 for non-chargeable items, \$37,900 for non-rateable VicTrack land and \$20,000 for the acquisition of VicTrack land totals to \$111,200. Council's 2016/17 Capital Works Budget allocation of \$120,000 (exclusive of GST) towards the construction of Sunshine Street is sufficient to cover Council's contribution. Council will only incur the expenses if the scheme proceeds.

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4.2 **Income**

- 4.2.1 Council has allocated \$400,000 in its 2016/17 Capital Works Budget for this project assuming \$280,000 in income. If scheme proceeds, Council will receive a total of approximately \$258,000 plus interest in payments over 10 years.

4.3 **Method of apportionment of costs**

- 4.3.1 The criteria used as a basis for declaring the special charge and the apportionment method in arriving at the contribution figures is as follows:

- (a) Property access, 50% (the properties with existing or permitted front or side access to Sydney Road or Thompson Street are charged at half of this rate)
- (i) Each property has been apportioned one access benefit unit, which equates to \$19,846.15. The properties with front or side access to Sydney Road or Thompson Street are charged at half of this rate.
- (b) Street abuttal of the property (length of boundary fronting the road reserve), 50%.
- (i) The unit rate for frontage is \$436.84 per metre.

- 4.3.2 Council officers consider that this method of apportionment is the fairest and most reasonable method of apportionment amongst those property owners who are liable to pay the Special Charge. Refer to **Schedule 2 of Attachment 1** for property apportionment cost.

- 4.3.3 The properties will be apportioned the actual cost of the scheme, however the increased liability of any person to pay the special charge cannot exceed 10% of the cost stated in their notice of the intention to declare a special charge scheme. Council is liable for costs above the 10% cap.

5. ENVIRONMENTAL SUSTAINABILITY CONSIDERATIONS:

There are no direct environmental implications as a result of this report.

6. CLIMATE CHANGE ADAPTATION CONSIDERATIONS:

This report will have no impact on climate change.

7. CHARTER OF HUMAN RIGHTS APPLICATION:

The recommendation in this report does not limit any of the protected rights under the Victorian Charter of Human Rights.

8. COMMUNITY CONSULTATION:

- 8.1 On 26 September 2016 Council resolved to commence the statutory process and serve notice of its intention to declare a special charge for the road construction of Sunshine Street on the benefitting property owners.
- 8.2 On 28 September 2016, Council sent letters to the benefitting property owners (8 allotments) advising of its intention to declare a special charge scheme. A Public Notice was advertised in the 'Hume and Sunbury Leader' newspapers on the 4 and 5 of October 2016.
- 8.3 The letter explained to each property owner details of the proposed scheme, including their proposed individual contributions and an explanation concerning the method of apportionment. It has further been explained to the property owners that at this stage costs are indicative only and that the actual contribution would be their portion of the actual cost.

REPORT NO: SU195 (cont.)

- 8.4 Council received four submissions from the properties involved in the proposed scheme. Three submissions were objections in line with section 163B, however they have also been treated as section 223 submissions in terms of having the right to be heard by the Committee of Council. The other one is solely a submission under section 223.
- 8.5 The committee of the whole Council heard submissions on 6 February 2017 and the minutes of the meeting are included in **Attachment 3**.

9. DISCUSSION:

9.1 Background

- 9.1.1 Council at its meeting on 26 September 2017 resolved to commence the statutory process and serve notice of its intention to declare a Special Charge for the construction of Sunshine Street on the benefitting property owners.
- 9.1.2 The committee of the whole Council heard submissions on the 6 February 2017 and the minutes of the meeting are included in **Attachment 3**.
- 9.1.3 In May 2016, Council adopted a Special Rate and Special Charge Scheme Policy to help explain the legislation and its requirements and to provide guidance on Council's approach to special rate and charge schemes. Refer to **Attachment 2** for the Special Charge Scheme Flow Chart.
- 9.1.4 In 2007, the owner of No 10-8, 14-12 and 18-16 Sunshine Street entered into an agreement with Council pursuant to section 173 of the Planning and Environment Act 1987, that the owner would support the Special Charge Scheme for the construction of Sunshine Street, Campbellfield.
- 9.1.5 In 2003, the owners of 1475A Sunshine Street entered into an agreement with Council pursuant to section 173 of the Planning and Environment Act 1987 that the owners, amongst other things, would support a Special Charge Scheme for the construction of Sunshine Street, Campbellfield.

9.2 Existing Conditions and Proposed Works

- 9.2.1 Sunshine Street is a 'no through' road between the Hume Highway and 166 metres to the west abutting the railway land. It is classified as a local industrial road whereby its use is confined to persons who are accessing or servicing the properties in the scheme area. Refer to the map of the scheme area in **Schedule 1 of Attachment 1**.
- 9.2.2 A road pavement was not constructed for Sunshine Street when the subdivision was established. In 2015, in order to make the road safe and to minimise dust, Council at its own cost laid an asphalt seal over most of the existing unmade road. However, with an inadequate road pavement resurfacing would need to be undertaken on a regular basis.
- 9.2.3 The proposed construction of the road will be 9.0m wide, with a 450mm deep industrial strength pavement, an asphalt road surface, underground drainage, vehicle crossovers to each property, kerb and channel and a footpath on one side of the street. The existing road reserve is not wide enough to fit a footpath on both sides of the road. The proposed street will also provide a turning area at the railway end.

9.3 Benefits of Proposed Works

- 9.3.1 The overall special benefits to be derived by each of the property owners from the proposed works include the following.
- (a) improved vehicular access to and from the properties abutting on or accessing the road

REPORT NO: SU195 (cont.)

- (b) improved safety and amenity for motorists and pedestrians
 - (c) enhanced amenity and character of the land and the local area
 - (d) reduced wear and tear on vehicles
 - (e) with the new street lighting improved safety of vehicles, pedestrians and security during the night time
 - (f) with the new footpath improved safety and accessibility of pedestrians
 - (g) improved drainage during stormwater events
- 9.3.2 Council with benefit from the reduced need for ongoing maintenance of the road.

9.4 Officers Response to Submissions

- 9.4.1 Property No 1489 Sydney Road, corner of Sunshine Street (BP Petrol station).
- (a) Owner objecting that there is no benefit to the property, business or community.
 - (b) Officers Response: The property will derive benefits as listed in section 9.3.1 of this report.
- 9.4.2 Property No's 23 and 17-21 Sunshine Street. Relates to two properties with one owner. The objections include:
- (a) There is no benefit to the properties and it is unnecessary.
 - (i) Officers Response: The properties will derive benefits as listed in section 9.3.1
 - (b) Paying for other properties based on their usage of the land.
 - (i) Officers Response: Property No 17-21 is currently not developed, however when it is it will derive all the benefits of the scheme.
 - (c) Paying for VicTrack.
 - (i) Officers Response: Council is paying for the VicTrack land contribution to scheme.
 - (d) Objecting to the apportionment method and rate.
 - (i) Officers Response: The rate has been worked out based on a detail engineering estimate of the proposed works and has been apportioned as detailed in section 4.3 of this report.
 - (e) There is no footpath on the along the frontage of their properties, south side of road.
 - (i) Officers Response: The road reservation is not wide enough to have footpaths on both sides of the road. The footpath proposed on the north side of the road will provide pedestrian access along the road for all properties.
 - (f) Location of proposed vehicle crossing for vacant property No 17-21 is inconsistent with current access location.
 - (i) Officers Response: The location of the vehicle crossing to be amended to the owners requirements. When the property is developed, if any alterations are required to the vehicle crossing, it will be borne by the developer.
- 9.4.3 Property No 1475A Sydney Road (property has frontage along Sunshine Street).

REPORT NO: SU195 (cont.)

- (a) The property owners are charged for the cost of reconstructing the existing vehicle crossings on the north side of Sunshine Street.
 - (i) Officers Response: The cost to reconstruct the existing crossings will be borne by Council.
- (b) Owner requested an alternative payment plan to commence in 2020 until 2026 and paid quarterly.
 - (i) The proposed payment plan for the scheme over ten years in quarterly instalments is considered fair and reasonable.

10. CONCLUSION:

- 10.1 Council has received three objections from the eight rateable properties and under the Act can proceed to declare a special charge for the road construction of Sunshine Street.
- 10.2 After careful consideration of the submissions received it is considered that the adoption by Council of a special charge scheme is a fair, reasonable and appropriate way to fund the cost of the works for the road construction of Sunshine Street.

PROPOSED DECLARATION OF SPECIAL CHARGE

1. Hume City Council (**Council**) proposes to declare a Special Charge under section 163(1) of the *Local Government Act 1989 (Act)* for the purposes of defraying expenses incurred or to be incurred by Council in relation to the construction of **Sunshine Street, Campbellfield** and the provision of ancillary works, including drainage and a footpath.
2. The criteria which form the basis of the Special Charge are the ownership of rateable land in the area of the Scheme based on 'benefit units' which recognise (as to 50% with properties that have existing or are permitted access to Sydney Road and Thompson Street charge half this rate) the access which a property has and enjoys from the Road and (as to 50%) the frontage or abuttal which a property has and enjoys from the Road and the zoning and the existing and potential use of the properties included in the Scheme which rateable land is situated within the geographical area in which the properties described in paragraphs 7 and 8 of this proposed declaration are included.
3. In proposing the declaration of the Special Charge, Council is performing functions and exercising powers in relation to the peace, order and good government of the municipal district of the City of Hume, in particular the provision of proper, safe and suitable roads and property services within the area for which the proposed Special Charge is to be declared.
4. The total cost of the performance of the function and the exercise of the power by Council (in relation to the provision of proper, safe and suitable roads and property services in the area for which the proposed Special Charge is to be declared) is **\$369,200** being the estimated cost of the works to be undertaken.
5. The total estimated amount to be levied under the Scheme as the Special Charge is **\$258,000**.
6. The Special Charge will commence on the date of its declaration and remain in force for a period of ten (10) years.
7. The area for which the proposed Special Charge is to be declared is all of the land shown on the plan set out in the Schedule forming a part of this proposed declaration (being **Schedule 1**).
8. The land in relation to which the proposed Special Charge is to be declared is all that rateable land described in the listing of rateable properties set out in the Schedule forming a part of this proposed declaration (being **Schedule 2**).
9. The proposed Special Charge will be declared and assessed in accordance with the amounts set out alongside each property in the Schedule forming a part of this proposed declaration (being **Schedule 2**), such amounts having respectively been assessed (as to 50% with properties that have existing or are permitted access to Sydney Road and Thompson Street charge half this rate) on the access which a property has and enjoys from the Road and (as to 50%) the frontage or abuttal which a property has and enjoys from the Road.
10. The proposed Special Charge will be levied by sending a notice of levy in the prescribed form annually to the person who is liable to pay the Special Charge.
11. Because the performance of the function and the exercise of the power in respect of which the proposed Special Charge is to be declared and levied relates substantially to capital works, the Special Charge will be levied on the basis of an instalment plan being given to ratepayers whereby –
 - (a) quarterly instalments are to be paid over a 10 year period, or other period as negotiated; and
 - (b) quarterly instalments will include a component for reasonable interest costs, the total of which will not exceed the estimated borrowing costs of Council in respect of the construction of the Road by more than 1%.

Property owners may also elect to pay the Special Charge in one lump sum.

12. Council will consider cases of financial and other hardship and may reconsider other payment options for the Special Charge.
13. No incentives will be given for payment of the Special Charge before the due date for payment.
14. Council considers that there will be a special benefit to the persons required to pay the Special Charge because there will be a benefit to those persons that is over and above, or greater than, the benefit that is available to persons who are not subject to the proposed Special Charge, and directly and indirectly as a result of the expenditure proposed by the Special Charge the value and the use, occupation and enjoyment of the properties included in the Special Charge Scheme area will be maintained or enhanced through the provision of proper, safe and suitable roads and property services. Without limitation, Council considers that the works to be provided under the Special Charge Scheme will –
 - (a) improve vehicular access to and from the properties abutting on or accessing the Road via the works;
 - (b) improve safety and amenity for motorists and pedestrians;
 - (c) reduce wear and tear on vehicles;
 - (d) reduce the need for future grading and associated maintenance of the Road;
 - (e) enhance the amenity and character of the land and the local area;
 - (f) with new street lighting improve safety of vehicles, pedestrians and security during the night time;
 - (g) with the new footpath improve safety and accessibility of pedestrians; and
 - (h) improve drainage during stormwater events.
15. For the purposes of having determined the total amount of the Special Charge to be levied under the Scheme, the Council considers and formally determines for the purposes of sections 163(2)(a), (2A) and (2B) of the Act that the estimated proportion of the total benefits of the Scheme to which the performance of the function and the exercise of the power relates (including all special benefits and community benefits) that will accrue as special benefits to all of the persons who are liable to pay the Special Charge is in a ratio of 0.872 or 87.2%. This is on the basis that, in the opinion of the Council: the only persons using the Road are those persons accessing or servicing the properties that have been identified as receiving special benefits; all of the land in the Scheme area which is required to pay the Special Charge is rateable land; no property included in the Scheme area should, in the interests of equity and fairness, not be required to contribute to the costs of constructing the Road; and there are not considered to be any tangible or direct benefits to the people in the broader community arising from the construction of the Road.

Schedule 1 to the Proposed Declaration of Special Charge

Map of the Scheme Area

Sunshine Street, Campbellfield Site Plan

Legend

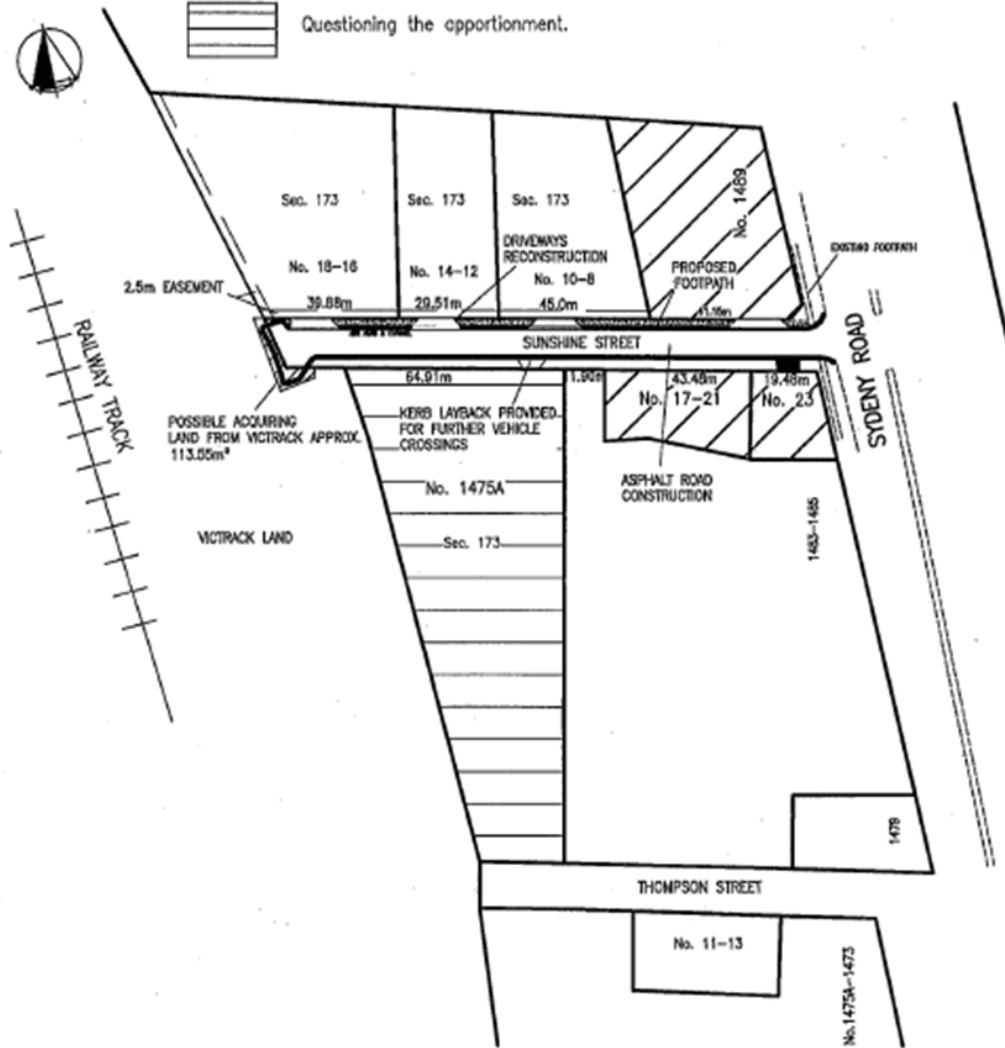
Sec. 173 Agreement with Council that the owner will support a Special Charge Scheme.



Objection to the scheme.



Questioning the apportionment.

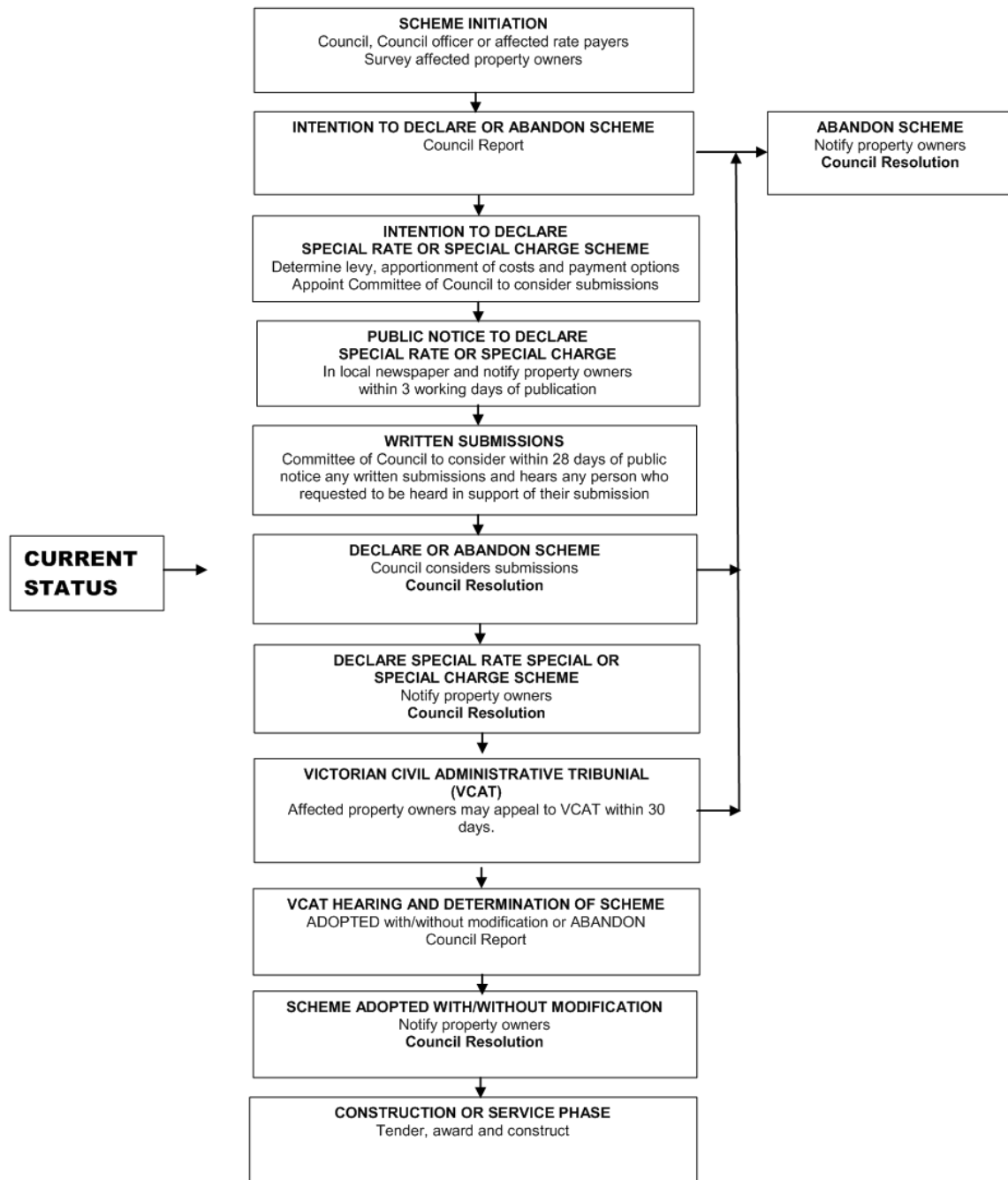


Schedule 2 to the Proposed Declaration of Special Charge
Listing of Scheme Properties and Amounts Payable by Property Owners

Sunshine Street, Campbellfield

	Street No. & Address	Property Number	Apportionment per Property
1	1475A Sydney Road	680050	\$38,278.61
2	1489 Sydney Road	512800	\$27,899.20
3	1483-1485 Sydney Road	512799	\$15,117.15
4	8-10 Sunshine Street	666130	\$39,504.13
5	12-14 Sunshine Street	666132	\$32,737.42
6	16-18 Sunshine Street	666134	\$37,267.49
7	17-21 Sunshine Street	514485 & 514484	\$38,840.13
8	23 Sunshine Street	514484	\$28,355.87
Total			\$258,000.00

SPECIAL RATE AND SPECIAL CHARGE SCHEME PROCEDURE



HUME CITY COUNCIL

Minutes of a

MEETING OF A COMMITTEE OF THE WHOLE COUNCIL

held on Monday, 6 February 2017

at 7.02pm

at the **Council Chamber, Hume Global Learning Centre, Broadmeadows**

Present:	a: Council	Cr Drew Jessop Cr Ann Potter Cr Joseph Haweil Cr Jodi Jackson Cr Carly Moore Cr Leigh Johnson Cr Jack Medcraft Cr Naim Kurt Cr Geoff Porter Cr Karen Sherry Cr Jana Taylor	Mayor Deputy Mayor
	b: Officers	Mr Domenic Isola Mr Peter Waite Mr Daryl Whitfort Ms Margarita Caddick Mr Kelvin Walsh Mr Joel Farrell Mr Nick Varvaris Mr Gavan O'Keefe Ms Kirsty Pearce	Chief Executive Officer Director Sustainable Infrastructure and Services Director Corporate Services Director Community Services Director Planning and Development Manager Organisation Performance and Engagement Acting Manager Assets Manager Governance Senior Governance Officer

Recording proceedings

The Mayor advised the gallery that under Council's Code of Meeting Procedures any person other than the CEO must not record on audio or visual recording equipment or any other device or means of recording, any part of the proceedings of a Council meeting.

Gallery Behaviour

The Mayor reminded the gallery that Council's Code of Meeting Procedures requires the gallery to be silent at all times, and that members of the gallery must not interject or take part in the debate. Any person who is called to order, may be asked to leave the Chamber.

ORDER OF BUSINESS**1. APOLOGIES**

Nil

2. DISCLOSURE OF CONFLICT OF INTEREST

The Mayor drew Councillors' attention to the provisions of the Local Government Act 1989 in relation to the disclosure of conflicts of interests. Councillors are required to disclose any conflict of interest immediately before consideration or discussion of the relevant item. Councillors are then required to leave the Chamber during discussion and not vote on the relevant item.

3. **SUBMISSIONS RECEIVED FOR INTENTION TO DECLARE A SPECIAL CHARGE SCHEME FOR THE CONSTRUCTION OF SUNSHINE STREET, CAMPBELLFIELD**

The Mayor welcomed those people present who made a submission regarding Council's notice of Intention to declare a Special Charge Scheme for the construction of Sunshine Street, Campbellfield.

The Mayor then advised that those people present who had made submissions and indicated that they wished to speak in support of their submission, now had the opportunity to address the Committee.

The Mayor invited Mr Anantha, owner of property included in the proposed Special Charge Scheme, to speak in support of his submission as contained in the Report.

Mr Anantha addressed the Committee in support of his submission to Council objecting to the declaration and payment of a special charge in relation to the construction of Sunshine Street.

Mr Anantha presented to the Committee a summary of his objections and highlighted his concerns that the proposed construction will add no value or benefit to the property, or the business operating at the property.

Mr Anantha thanked the Committee for the opportunity to present a submission and reiterated his objection to the Intention to declare a Special Charge Scheme for the construction of Sunshine Street.

The Mayor invited Mr Tass Antos, representing Gropa Pty Ltd - owners of a property included in the proposed Special Charge Scheme, to speak in support of their submission as contained in the Report.

Mr Antos addressed the Committee in support of Gropa Pty Ltd's submission to Council objecting to the declaration and payment of a special charge in relation to the construction of Sunshine Street.

Mr Antos advised the Committee that Gropa Pty Ltd objects to the proposed scheme in its entirety as the works and projects proposed for the construction of the road and for the drainage of the land are unnecessary, unreasonable, excessive, unsuitable and costly having regard to the locality and use by Gropa Pty Ltd of the road and drainage of the land.

Mr Antos reiterated the company's objections as contained in the submission and highlighted their response that current infrastructure surrounding the street and its properties is sufficient for its required purpose of land usage, and that the company finds it unjust to have to pay for the benefit of other land owners when it itself will not be deriving any benefit from the proposed works based on its usage of the land.

Mr Antos thanked the Committee for the opportunity to present a submission and reiterated Gropa Pty Ltd's objection to the Intention to declare a Special Charge Scheme for the construction of Sunshine Street.

The Mayor invited Mr Julian Farrugia of Citinova, representing owners of a property included in the proposed Special Charge Scheme, to speak in support of their submission as contained in the Report.

Mr Farrugia addressed the Committee in support of Citinova's submission to Council on behalf of their clients, in response to the proposed special charge in relation to the construction of Sunshine Street.

Mr Farrugia advised the Committee that his clients are concerned with the proposed scheme due to unfair funding of industrial grade vehicle crossings associated with properties located on Sunshine Street. Mr Farrugia advised of his client's submission that cross-overs are for the sole and exclusive use and enjoyment of these properties and the cost therefore should not be defrayed onto other landowners, and instead this cost item should be deducted from the total project cost and individual apportionment recalculated.

Mr Farrugia presented to the Committee a summary of his client's concerns and advised that his clients are also seeking to negotiate an alternative payment plan to what is included in the proposal.

Mr Farrugia thanked the Committee for the opportunity to present a submission and reiterated his client's concerns with Council's proposed Special Charge Scheme for the construction of Sunshine Street.

The Mayor then thanked all those who had attended the meeting and presented in support of their submissions.

Moved Cr Geoff Porter, **Seconded** Cr Jack Medcraft

That the Committee of the Whole Council considers the submissions received on the Notice of Intention to declare a Special Charge Scheme for the construction of Sunshine Street, Campbellfield and thank those people who attended and spoke in support of their submission.

CARRIED

4. CLOSURE OF MEETING

The meeting closed at 7.17 PM.

REPORT NO:	SU196
REPORT TITLE:	Submission on the Sunbury South and Lancefield Road Precinct Structure Plans
SOURCE:	Sarah Kernohan, Strategic Planner
DIVISION:	Planning and Development
FILE NO:	HCC12/962-4
POLICY:	-
STRATEGIC OBJECTIVE:	4.1 Facilitate appropriate urban development while protecting and enhancing the City's environment, natural heritage and rural spaces.
ATTACHMENT:	1. <i>Sunbury South and Lancefield Road Precinct Structure Plan Submission</i>

1. SUMMARY OF REPORT:

The Victorian Planning Authority (VPA) placed on public exhibition Amendment C207 and C208 to the Hume Planning Scheme (the Scheme) between 24 November 2016 and 6 February 2017. Amendment C207 seeks to include the Sunbury South Precinct Structure Plan (PSP) into the Scheme. Amendment C208 seeks to include the Lancefield Road PSP into the Scheme. Both PSP's will provide for additional residential, retail, community and commercial land within Sunbury. Council's submission highlights a number of issues with the proposed PSP's more particularly around the ownership of encumbered land and conservation areas, development along escarpments, Infrastructure Contributions Plan and the Jacksons Hill Road connection.

2. RECOMMENDATION:

That Council:

2.1 notes the obligation of Places Victoria to construct a connection from Jacksons Hill and seeks confirmation from Places Victoria that it remains committed to delivering on its obligation and when this is to occur.

2.2 confirms the submission made to the Victorian Planning Authority (VPA) by officers dated 6 February 2017 (Attachment 1) and endorses it as the basis for Council's submission to a Planning Panel if required.

3. LEGISLATIVE POWERS:

Planning and Environment Act, 1987.

4. FINANCIAL IMPLICATIONS:

4.1 It is considered that further work is required around the Infrastructure Contributions Plan (ICP) to properly inform Council of the financial impost associated with the realisation of the PSP's.

4.2 Greater detail is required around the level of commitment the PSP's require from Council in terms of infrastructure provision, land ownership and ongoing maintenance.

5. ENVIRONMENTAL SUSTAINABILITY CONSIDERATIONS:

Sensitive landforms within the PSP's require careful consideration in determining the suitability for development and future land ownership/management.

6. COMMUNITY CONSULTATION:

6.1 Consultation on the PSP's is the responsibility of the VPA as the Planning Authority. The VPA placed the PSP's and associated planning applications on public exhibition between 24 November 2016 and 6 February 2017. The VPA undertook consultation meetings in Sunbury during December 2016. Council officers attended the meetings and the community concerns have been taken into consideration in the assessment of the PSP's and informed Council's submission.

REPORT NO: SU196 (cont.)

- 6.2 The timing of the public exhibition, over the festive season, limited the opportunity to report to Council prior to meeting the submission deadline. The attached submission was lodged with the VPA on 6 February 2017.

7. DISCUSSION:

- 7.1 Council has undertaken considerable strategic work setting the direction through Sunbury HIGAP, completed in 2012. This document highlights the infrastructure needs for managing growth and in particular the need for additional creek crossings, the Bulla Bypass and the Jacksons Creek Regional Park.
- 7.2 Council commenced working with the VPA on the PSP's in 2012.
- 7.3 The PSP process included Agency consultation whereby Council, government departments and agencies had an opportunity to provide comment on the initial direction and documentation. Council was generally in support of the direction of the PSP's however raised a number of issues, that in essence, still remain outstanding in the proposed PSP's.
- 7.4 The following elements have a high level of support:
- the urban structure – notably the inclusion of the two creek crossings, the distribution of activity centres, the safeguarding of land for higher order tertiary and health facilities, and the identification of employment land;
 - the measures to maintain the primacy of Sunbury Town Centre and achieve a good distribution of new centres;
 - the recognition of the landscape qualities of Sunbury – notably the escarpment setbacks, the treatment of Redstone Hill, the controls for developing on slope, and protecting significant views;
 - the desire to achieve boulevard treatments along Sunbury, Lancefield and Vineyard Roads;
 - the network of open space, including the identification of the future regional parklands along Jacksons Creek, green links and open space nodes along the escarpments;
 - the measures and controls to manage the impact of future development on areas that adjoin the existing Sunbury Township, notably Harker Street, Rolling Meadows and south of Jacksons Hill; and
 - the inclusion of residential concept plans for areas that will be difficult to develop due to slope and fragmented land ownership.
- 7.5 The primary areas of concern cover the following and are fully detailed within the attached submission:
- the resolution of outstanding concerns with the town centre concept plans and residential concept plans;
 - the identification of adequate employment land on Sunbury Road;
 - the identification of land ownership/management of encumbered and conservation land;
 - the identification of the break of slope and integration of this into the bushfire study, drainage scheme, and escarpment setbacks;
 - the need to complete and integrate the findings of the bushfire study;
 - the inclusion of the second government secondary school at Sunbury South;
 - the amendment of the 96A applications to ensure consistency with the PSP's and urban Growth Zone (UGZ) schedules;
 - the inclusion of the infrastructure coordination and delivery strategy as part of the PSP's;
 - the absence of an Infrastructure Contributions Plan (ICP);
 - the resolution of the alignment of the northern creek crossing, the prioritisation of the delivery of the southern creek crossing, and the delivery of the Jacksons Hill road link; and

REPORT NO: SU196 (cont.)

- the recognition and consideration of areas of cultural/built form heritage significance, more particularly, along the valley of Jacksons Creek.

7.6 There are a number of errors and inconsistencies in the documentation which made it very difficult for Council officers to work through. In addition, there exist a number of more minor matters which are outlined in the attached submission.

8. JACKSONS HILL ROAD LINK:

8.1 The PSP proposes a connection to the Jacksons Hill estate as a future ICP item which if approved will oblige Council to deliver using future Developer Contribution receipts. The alignment of this connection has been designed to fit with the location of the planned activity centre and grade separated crossing of the rail line. The PSP proposes the delivery of this item as a medium term (10 or more years) project in favour of the short term delivery of Stage 1 of the southern link. This approach assumes that Places Victoria (PV) and Council will have reached agreement and delivered a temporary connection from Jacksons Hill to Buckland Way.

8.2 The provision of a road connection from the Jacksons Hill estate to Vineyard Road is an obligation of the developer (PV) as outlined in the *Jacksons Hill Local Structure Plan* (LSP). This plan envisages a crossing of the rail line using the existing rail viaduct. Its delivery is well overdue, however its delivery has been hampered by the technical complexity of constructing a road through an historic structure designed to accommodate drainage flows and not traffic. In 2013 Council agreed that this alignment was not technically and economically feasible and supported the concept of a road from Jacksons Hill to Watsons Road using Buckland Way.

8.3 Since that time Council has sought to agree with PV a settlement that involved them constructing a road to their southern boundary (adjoining land in the PSP) along with a cash contribution to Council for the construction cost of a rural standard road over private land connecting to Buckland Way. This would provide the same outcome as the Viaduct alignment but was thought to provide more certainty around delivery and timing.

8.4 However despite having previously agreed to an approach and settlement, Places Victoria has delayed entering an agreement and have instead sought to investigate the potential of paying Council to deliver that portion of the road within Jacksons Hill. More recently with exhibition of the PSP, Places Victoria has also questioned the utility of making a contribution to a temporary road when the final road will be delivered by Council through developer contributions.

8.5 If Places Victoria were to renege on their obligation towards a connection to Buckland Way/Watsons Road the delivery of connection would fall to Council via the ICP. As indicated the current VPA proposal is that the ultimate connection be delivered in 10 or more years. This is clearly an unacceptable outcome and it is submitted that the PSP and ICP not be approved until PV deliver or enter into an arrangement for the delivery of the connection.

8.6 The potential for PV to use the PSP to step away from the obligations is real and should not be allowed to happen. As such whilst not directly related to the PSP it is also recommended that Council seek confirmation from PV of its commitment to delivery on its obligations in the LSP and to enter into an agreement to facilitate its delivery as a matter of priority.

9. CONCLUSION:

Careful consideration of the documentation associated with the PSP's and planning applications has resulted in a submission that highlights a number of key issues that must be appropriately addressed prior to their approval and adoption by the VPA. Council will have a further opportunity to work through these matters with the VPA prior to a panel hearing.



**HUME PLANNING
SCHEME AMENDMENT
C207 & C208
SUNBURY SOUTH &
LANCEFIELD RD PSPs
COUNCIL SUBMISSION**

27 February 2017

www.hume.vic.gov.au



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1. Introduction

Consistent with officers' comments at agency consultation, most of the precinct structure plan (PSP) documentation is strongly supported and welcomed by Council. It is considered that the documentation reflects and furthers the objectives and outcomes sought within *Sunbury HIGAP* and the *Sunbury/Diggers Rest Growth Corridor Plan* with any variations considered reasonably justified. Sunbury HIGAP is the result of significant community consultation. Importantly Sunbury HIGAP reflects the communities' views and aspirations for Sunbury. These views and aspirations are consistent with those reflected in the community information sessions and are reflected in Council's submission. Consistent with community aspirations and HIGAP the following elements have a high level of support:

- The urban structure – notably the inclusion of the two creek crossings, the distribution of activity centres, the safeguarding of land for higher-order tertiary and health facilities, and the identification of employment land.
- The measures to maintain the primacy of Sunbury Town Centre and achieve a good distribution of new centres.
- The recognition of the landscape qualities of Sunbury – notably the escarpment setbacks, the treatment of Redstone Hill, the controls for developing on slope, and protecting significant views.
- The desire to achieve boulevard treatments along Sunbury, Lancefield and Vineyard Roads.
- The network of open space, including the identification of the future regional parklands along Jacksons Creek, green links, and open space nodes along the escarpments.
- The measures and controls which manage the impact of future development on areas that adjoin the existing Sunbury Township, notably Harker Street, Rolling Meadows and south of Jacksons Hill.
- The inclusion of residential concept plans for areas that will be difficult to develop due to slope and fragmented land ownership.

Council acknowledges and is supportive of the considerable amount of specific content such as slope controls, escarpment setbacks and residential concept plans that have been included with the Sunbury PSPs, in recognition of the unique landscape of the area.

Despite the level of support for the PSPs, there are a number of matters of concern that Council consider need to be resolved prior to any panel hearing. The approval of the PSPs without resolution of these matters will significantly impact on the ability of Council to implement them. It is noted that a number of these matters have been discussed previously with the Victorian Planning Authority (VPA), and as such it is disappointing that the PSPs have been exhibited without the resolution of these matters.

The matters of greatest concern and priority for Council are:

- The resolution of the alignment of the northern creek crossing, the prioritisation of the delivery of the southern creek crossing, and the delivery of the Jacksons Hill link.
- The removal of the infrastructure coordination and delivery strategy from the PSPs and the completion of the infrastructure contribution plan.
- The resolution of outstanding concerns with the town centre concept plans and residential concept plans.
- The identification of adequate employment land on Sunbury Road.
- The identification of land ownership/management of encumbered and conservation land.
- The identification of the break of slope and integration of this into the bushfire study, drainage scheme, and escarpment setbacks.

- The need to complete and integrate the findings of the bushfire study.
- The inclusion of the second government secondary school at Sunbury South.
- The amendment of the 96A applications to ensure consistency with the PSPs and urban Growth Zone (UGZ) schedules.

Council strongly submits and requests that these matters be resolved prior to any panel hearing.

The timing of the public exhibition over the Christmas and New Year holiday period has limited the time available for officers to review the PSPs. In addition, the size of the PSPs and volume of documentation available has required a significant amount of officer time and resources to review the information available. This review has been further complicated by the significant number of inconsistencies and discrepancies both within and across the amendment documentation. In a number of instances, Council has been unable to undertake a full assessment of elements of the documentation, due to uncertainty as to which information should be taken as correct or in error.

Taking into account factors outlined above, it should be acknowledged that the submission, whilst raising the main matters of concern to Council, does not provide an exhaustive list of matters or changes requested by Council. It is considered that additional matters will arise as Council continues to work with the VPA to resolve the concerns outlined in the submission.

Council appreciates the highly collaborative working relationship it has had with the VPA to date in the preparation of the PSPs and looks forward to continuing to work with the VPA to address the matters raised in this submission.

The comments provided in this submission have been structured to reflect the order in which they appear in the PSPs. The order is not a reflection of the order of importance of these matters to Council.

2. Housing

Development on Escarpment

The Sunbury South PSP shows an 8.5ha area of escarpment at 725 Sunbury Road as 'land subject to capability assessment'.

The developers of this land have proposed that part of the escarpment on the subject land remain in private ownership in the form of garden/backyard space associated with houses at the top and bottom of the escarpment. Council is not supportive of any private development on escarpment land.

The primary purpose of preserving this land from development is to protect the landscape feature of the escarpment and its visual appeal, and to enable informal recreation (walking and cycling) along the top of the escarpment with expansive views across Sunbury to the Macedon Ranges. The proposal would interrupt this potential for a continuous recreation link along the top of the escarpment and limit the views from this recreation link.

It should also be noted that this land is very large, steep, and therefore, difficult to maintain, particularly for private landowners. There is considerable potential for the escarpment to become damaged and poorly managed.

Council requests that this land is shown as encumbered within the PSP, with the land to be owned and managed by Council. This will ensure the protection of the escarpment, its visual amenity, and Council's recreation aspirations.

Change requested:

- *Remove the reference to 'land subject to capability assessment' in the PSP and the UGZ9 and amend the PSP to show this land as encumbered open space.*

Sensitive Residential Areas

A number of areas identified within the two PSPs for residential development are recognised as challenging to develop owing to a combination of fragmented land ownership, complex topography, existing waterways, and both proposed and existing roads and drainage infrastructure. This is an issue in a number of other PSPs, in particular the Greenvale Central PSP, where land fragmentation in particular has led to difficulty in the sequencing and delivery of infrastructure, and the coordination of disparate landowner aspirations.

Council welcomes the VPA's recognition that some areas of the PSPs are challenging to develop owing to the complex topography and/or fragmented landownership. The identification of four sensitive residential areas and the inclusion of concept plans for these four areas within the PSPs is supported.

However, it is a concern that, the Fox Hollow Drive area has been removed from the Sunbury South PSP since agency submissions. It is considered that this area has the same attributes as the other land areas and should be reinstated within the PSP as a sensitive residential area with associated residential concept plans prepared and included in the PSP. It is not clear why this area has been removed from the PSP. It is also requested that the Harpers Creek sensitive residential area is extended further south, for the same reasons as outlined above.

The 'Subdivision Application – Sensitive Residential Areas' subclause of the UGZ schedules contains a requirement that applications must demonstrate "opportunities for higher density housing". Topography is a significant reason behind the identification of these areas as 'sensitive residential areas'. As such the direction within the schedule to identify opportunities for higher density housing is considered inappropriate given the topography. It is considered that in many instances the topography will require the development of larger lots in order to address land development constraints. Council does not support the inclusion of this dot point. It is considered that the removal of this dot point does not preclude a future application for higher density housing within a sensitive residential area, if the location and landform allows for it.

Changes requested:

- *Reinstate Fox Hollow Drive as a sensitive residential area and include associated concept plans within the Sunbury South PSP.*
- *Extend the Harpers Creek sensitive residential area further south.*
- *Remove the fourth dot point from subclause 3.4 within the Sunbury South and Lancefield Road PSPs.*
- *It is noted that the last paragraph within subclause 3.4 in both PSPs refers to the objectives for the areas as set out within the relevant PSP. It is noted that there are no objectives applying to the sensitive residential areas within the PSPs. It is requested that an objective specific to the sensitive residential areas be included within the PSPs.*

Residential Concept Plans – General

Council is generally supportive of the concept plans, but requests a number of specific changes to each plan. These are highlighted below.

A general concern with the concept plans is the lack of consideration of the alignment of local roads across areas of steep topography, the provision of lot sizes and lot depths that are reflective of the sloping land, the staging of development, and the sequencing and delivery of infrastructure.

While it is acknowledged that a number of these matters are listed as application requirements within the schedule to the UGZ, the land fragmentation and disparate landowner aspirations, will make this difficult to achieve if left until the permit stage.

Changes requested:

- *Harpers Creek and Gellies Road concept plans should be amended to provide greater consideration of the appropriate road layout and lot size having regard to the topography and slope constraints of the land.*
- *The PSPs and/or UGZ schedules need to provide greater direction with respect to the staging of development and the sequencing and delivery of infrastructure, in particular the need for any out-of-sequence development to demonstrate its ability to provide for interim or out-of-sequence infrastructure.*
- *It is unclear if the residential blocks shown on the concept plans are the proposed lots or if these blocks are to consist of smaller residential lots. Clarification should be provided on the plans.*

Balbethan Residential Concept Plan

This residential concept plan is the most fragmented in terms of land ownership, with the concept plan area comprising of approximately 34 individual properties. The extent of land fragmentation and lack of a single developer will result in difficulty in the staging of development, and in the sequencing and delivery of infrastructure. Greater consideration needs to be given to the sequencing and staging of development and infrastructure delivery within this concept plan.

The Lancefield Road PSP seeks to provide for “an orderly and sensitive transition of existing rural-residential areas to support more conventional urban density”. Council supports this vision and considers it important that development within the PSPs is sensitive of existing residential areas, particularly adjoining existing low density residential areas. This issue was raised at the community information sessions.

It is noted that the northernmost portion of the Rolling Meadows Estate, which adjoins the southern boundary of the Balbethan Residential Concept Plan areas, consists of low density residential lots, with the lots immediately adjoining the concept plan being approximately 4,000m² in size. While it is acknowledged that the concept plan includes a note stating that “Design of subdivision must consider sensitive interface to south”, stronger direction with regards to the graduation of lot sizes is requested.

Changes requested:

- *This residential concept plan has not been produced to the same standard as the other residential concept plans. The plan should be amended to be of the same design level as the other residential concept plans, and include similar elements such as a legend, identification of road types, intersections, etc.*
- *Amend the text on the plan to require a graduation of lot sizes between Balbethan Road and the Rolling Meadows Estate boundary.*
- *41 Balbethan Drive is located within the Comprehensive Development Zone and is subject to the Rolling Meadows Local Structure Plan and associated s173 agreements. Please remove this property from the concept plan.*
- *74 Highgrove Drive is a Council owned reserve. The identification of a road over this reserve should be removed from the concept plan.*

- *It is unclear what the purpose is of the small reserve located adjacent to Lancefield Road. Please change this reserve to a residential lot.*
- *The tree reserve along the rail line will provide a link between the existing shared path along The Skyline (Rolling Meadows Estate) and the proposed Raes Road shared path. Please amend Plan 10 to show this shared path connection.*
- *Amend Plans 3 and 5 to show the tree reserve along the rail line, Raes Road and Lancefield Road.*
- *The intersection of Stockwell/Balbethan Drive doesn't align with that shown on the Aurecon Grade Crossing Report (May, 2015). Amend the concept plan to reflect this work in regards to the intersection, lot design and lot access.*
- *There are a number of proposed new roads that straddle property boundaries. The implementation of the concept plan and construction of these roads will be difficult due to the fragmented land ownership. These roads should be realigned to sit within a single property.*
- *The concept plan does not give consideration to the location of existing dwellings, with a number of roads aligned through existing dwellings. Council is aware of a number of landowners within this concept plan area who would like to remain on site. All proposed roads should be realigned to avoid existing dwellings where possible.*
- *Amend the concept plan to show roundabouts at all crossroads, and a signalised intersection at Balbethan Drive / Lancefield Road.*
- *The intersection immediately adjacent the rail crossing is not supported. Amend the concept plan to remove or move this intersection further to the east.*
- *There are a number of staggered intersections within the concept plan that are too close to each other and are considered dangerous. Amend the road layout to provide for a wider distance between the two intersecting roads.*

Harker Street Residential Concept Plan

Council is generally supportive of this concept plan, and acknowledges the VPA's consideration of landowner concerns and development constraints within this area.

It is noted that there is a portion of surplus Government land adjacent to 109 Harker Street. This lot is approximately 600m² and could provide for an appropriate transition in lot sizes between the existing development (700m² +) and the development proposed within the concept plan. This land should be identified within the concept plan.

Changes requested:

- *The extent of developable area may need to be amended on finalisation of the Terramatrix Bushfire Risk Assessment. The current draft indicates that the extent of development area is close to that shown on the concept plan.*
- *Amend the concept plan to remove development from within the electricity transmission easement.*
- *Amend the concept plan to ensure that road frontage is provided adjacent to the regionally significant landscape values, consistent with the requirements of the PSP.*
- *Amend the plans to identify adjoining surplus Government land and the potential for this land to be included within the concept plan as an additional lot accessed off Harker Street.*
- *Break of Slope needs to be defined (see Break of Slope comments in Section 10).*

Gellies Road Residential Concept Plan

Topography, bushfire risk and access are considered to be the most challenging issues for the development of land within this concept plan. These issues are outlined further below and in the general concept plan comments above.

Changes requested:

- *The extent of developable area may need to be amended on finalisation of the Terramatrix Bushfire Risk Assessment. The current draft indicates significant portions of the land shown on this plan as undevelopable at BAL 12.5.*
- *Amend the concept plan to ensure that road frontage is provided adjacent to the conservation land/escarpment, consistent with the requirements of the PSP.*
- *Break of Slope needs to be defined (see Break of Slope comments in Section 10).*
- *The two left-in, left-out intersections on Lancefield Road do not provide access to the concept plan area for people driving north or pedestrians. The first signalised intersection that provides an opportunity for a U-turn is 2km north. At least one of these two intersections needs to be signalised or pedestrian crossing facilities provided together with U turn capacity mid-block. Council's preference is for a signalised intersection at the crossroad with Lancefield Road to the west.*
- *The illustration of slope on the non-developable land gives the impression that the developable land is flat. The concept plan should clearly illustrate slope constraints.*
- *A number of properties within this concept plan are reliant on other properties for access. The concept plan should be amended to include a staging plan and associated text within the PSP that acknowledges that some properties are reliant on others to develop.*

Harpers Creek Residential Concept Plan

There are a number of outstanding issues relating to the alignment and staging of the Jacksons Hill Road link (see Section 13). The location of this road will have implications on the design of this concept plan. It is requested that further discussions be held with Council in relation to this concept plan, in conjunction with the work required to confirm the alignment and staging of the Jacksons Hill Road link.

Consistent with the comments provided for the Balbethan concept plan, the concept plan should identify the need for a graduation of lot sizes adjoining the existing Jacksons Hill Estate.

Changes requested:

- *Further work is required to confirm the design of this concept plan, having regard to the Jacksons Hill Road link.*
- *This residential concept plan has not been produced to the same standard as the other residential concept plans. The plan should be amended to be of the same design level as the other residential concept plans, and include similar elements such as identification of slope, lots, road types, intersections, etc.*
- *Amend the text on the plan to require a graduation of lot sizes between the Harpers Creek Concept Plan boundary and the Jacksons Hill Estate.*
- *Amend the concept plan to show the gas pipeline buffer, sloping land, off-road shared path consistent with Plan 10 and LP03 consistent with Plan 7.*
- *Amend Plan 5 sensitive residential area to match the area shown in the concept plan.*
- *The reference to local access opportunity (through Jacksons Hill) should reference the requirements of R99.*
- *It is unclear if the two local access roads connect into the Southern Link.*
- *The concept plan should provide further direction on lot size, having regard to slope.*
- *A number of properties within this concept plan are reliant on other properties for access. The concept plan should be amended to include a staging plan and associated text within the PSP that acknowledges that some properties are reliant on others to develop.*

Sloping Land

The consideration given to addressing development on sloping land is strongly welcomed. Development which is not responsive to slope can have significant impacts on the landscape,

visual appearance and functionality of an area. Council has had a number of issues with development on slope in Sunbury and seeks to improve the way in which development on slope is addressed.

Council is supportive of the requirement for siting and design guidelines for dwellings on sloping land. However, Council has concerns regarding the implementation by way of a restriction on title required under subclause 4.1. For design standards as setbacks, maximum / average building heights above natural ground level and driveway gradients, a memorandum of common provisions are considered to be a more effective measure to ensure compliance than design guidelines.

It is noted that the PSPs include road cross sections on sloping land for Local Access Streets Level 1. Additional road cross sections should be provided for Local Access Streets Level 2 and Connector Roads on sloping land. It is noted that the Redstone Hill 96A application contains a proposed connector road on sloping land.

The design guidelines contained within the road cross sections for sloping land are supported. It is considered that this will assist in providing for an integrated design outline. However, it would assist Council in the implementation of these guidelines if they were repeated as requirements within the housing section of the PSPs. This would enable Council to ensure that the requirements were captured by way of a restriction on title, consistent with the requirements of the UGZ schedules.

A number of changes are required to improve the useability and application of the measures and controls in the PSP.

Changes requested:

- *Amend UGZ schedule sloping land subdivision requirements to add the following text after the words 'design guidelines that', "minimise the landscape and visual impact of development on sloping land and".*
- *Amend UGZ schedule sloping land subdivision requirements to include an additional dot point "measures to manage surface run off".*
- *Amend UGZ subclause 4.1 to:*
 - *Require design standards falling out of the design guidelines to be restricted on title by way of a MCP.*
 - *Provide a timeframe after registration of the plan of subdivision that requires the lodgement of the approved plan of subdivision and all restrictions on title by the Land Titles Office, with Council to confirm that this has been satisfied. Council will need to be given an opportunity to review these (and other restrictions on title) by way of a separate condition on the permit to this effect.*
- *The wording of G15 (Lancefield Road) and G17 (Sunbury South) appears to inadvertently encourage development in the vicinity of the creeks. Amend to read "Larger lots capable of managing steep topography should be provided in areas with slope constraints, particularly land with a slope in excess of 10%".*
- *Additional road cross sections are provided for Local Access Streets Level 2 and Connector Roads on sloping land.*
- *Include design guidelines contained with the sloping land cross sections as requirements within the Section 3.1.3 of the PSPs.*
- *Amend O7 (both PSPs) to include reference to sensitive/prominent view lines.*

General Housing Comments

Council has a number of concerns with the use of the term 'walkable catchment'. The words themselves imply that land outside of the walkable catchment is not walkable, when in fact the entirety of the PSPs should be developed in a manner that is considered walkable.

It is unclear the extent to which the identified walkable catchment has taken into consideration major barriers to movement, including the rail line, arterial roads, escarpments and creeks. The previous method of identifying medium density housing in the future urban structure within a PSP is preferred as a means of identifying the application of the Residential Growth Zone as the applied zone.

It is noted that the PSP specifies a minimum development density of 17d/ndha with the walkable catchments. The requirement for a higher density within walkable catchments which are impacted by slope, in particular the catchment of Harpers Creek, is of concern. This appears to directly contradict the objectives and requirements of the PSPs relating to the development of larger lots on sloping land.

Changes requested:

- *The identification of 'walkable catchments' are removed from the PSPs, and identification of medium density housing is provided consistent with previous PSPs.*
- *Objective O6 (both PSPs) should be amended to include reference to town centres. Clarification is also required around what is meant by 'high amenity features'.*
- *Amend G21 (Lancefield Road) to include an addition dot point stating that "The use will not prejudice the subdivision of surrounding land identified for residential purposes".*
- *Include G20 and G21 (Lancefield Road) in the Sunbury South PSP.*
- *Table 2 is confusing to read. It is unclear how to read the table or if the blue shading is meant to represent a 'yes' or 'no'. Amend table to show a 'tick' or a 'cross' in each box*

3. Heritage

Deletion of HO358

Council does not support the removal of this heritage overlay. Council has previously advised the VPA and the developer of the land subject to this heritage overlay, that the site should be retained within a suitable lot that protects the building and its curtilage.

The *Post-Contact Heritage Assessment* (Context, December 2014) does not provide any recommendation regarding the retention or removal of this heritage overlay. However, the assessment notes that the curtilage of the existing overlay could be reduced to more accurately reflect the area of heritage significance.

Council has engaged a heritage consultant to undertake further research into the history and significance of the site and the buildings. Initial work to date indicates that the site and buildings are of historical and social significance. This significance relates to the use of the site and buildings, the farmer/publican role in early settlement, the connections with prominent pioneer women, the strong continuing social significance (it has remained a well-known early pioneering site in the local consciousness) and the rarity of surviving fabric (both 19th century bluestone and early 20th century timber).

Changes requested;

- *The Sunbury South PSP and overlay map should be amended to show the retention of HO358.*
- *The Redstone Hill 96A application should be amended to show the retention of HO358. Council is supportive of discussions regarding the reduction in the overlay curtilage.*

Cannon Gully HO366

The 'Cannon Gully' Sunbury Volunteer Military Exercise Site is listed within the Hume Planning Scheme and on the Victorian Heritage Inventory. The site represents the 'battlefield' on which military exercises were held in the 1860s, 1870s and the early years of the 20th century. The construction of a northern creek crossing over Jacksons Creek is likely to impact on the Cannon Gully site. A number of alignments for the creek crossing have been provided, but the final alignment is yet to be resolved.

It is Council's preference that the alignment of this crossing avoids the Cannon Gully site. It is acknowledged that this is a complex area to construct a creek crossing, with a number of competing constraints influencing its location, including geotechnical, topography, cost, Aboriginal cultural heritage and post contact heritage.

The *Post-Contact Heritage Assessment* (Context, December 2014) provides a number of recommendations in regards to this site and the proposed creek crossing, including the need for consent from Heritage Victoria, archaeological investigations, detailed construction plans, a landscape assessment, and site interpretation features. It is requested that this work be undertaken prior to any panel hearing.

Council has been involved in discussions to date regarding the alignment of this creek crossing, and requests continued involvement in the resolution of the final alignment of this road. In addition, it is requested that the PSPs and Infrastructure Contributions Plan (ICP) are not approved until the alignment of this road has been resolved. Any change in the alignment of this road will have significant implications on the Future Urban Structure, Sherwood Heights 96A application, and the ICP.

Cultural Heritage

The *Aboriginal Heritage Impact Assessment* (Heritage Insight, August 2015) identifies the majority of land within the two PSPs as medium or high Aboriginal cultural heritage sensitivity, with the land subject to the two creek crossings identified as high sensitivity.

Council has consistently requested that the PSPs not be exhibited until the cultural heritage constraints are understood. Deferring the identification and management of Aboriginal heritage (through a CHMP) to the permit stage places significant risk on the ability to implement the PSPs.

The two bridges crossing Jacksons Creek are the most significant infrastructure items in the PSPs. The crossings will have a major effect on the urban structure, Jacksons Creek Regional Park, and the visual impact of new development for the existing residents of Sunbury.

The bridges will also have significant implications on the ICP and Council. The costings included in the ICP therefore need to be based on a very robust understanding of the constraints and a robust and detailed infrastructure costing report. As previously requested a CHMP is required to confirm the suitability of the proposed alignments. It is submitted that this must be undertaken prior to any panel hearing in order to inform the road layout and enable all parties to submit on the resolved alignment and ICP costings.

As noted in Section 24, a CHMP has not yet been approved for the Sherwood Heights 96A application. Council requests that this permit application not proceed to a panel hearing, until such time that the CHMP is approved.

Changes requested:

- That the VPA prepare a CHMP for land subject to the creek crossings prior to any panel hearing.
- That the Sherwood Heights 96A application not progress to any panel hearing until a CHMP is approved for the land.

Heritage General

The last dot point under Section 3.1 'Subdivision – Residential Development', refers to the requirement for a Heritage Conservation Management Plan for an application that includes a 'heritage significant site'. It is unclear whether this is limited to a confirmed heritage site (e.g. subject to the VHR/HO) or also includes a possible heritage site as shown on Plan 3. It is Council's preference that this application requirement applies to all heritage sites as shown on Plan 3.

Change requested:

- *Amend the wording of Section 3.1 Subdivision - Residential Development, to clarify that the Heritage Conservation Management Plan application requirement applies to all heritage sites as shown on Plan 3.*
- *Amend R7 (Sunbury South) and R8 (Lancefield Road) to clarify that this requirement applies to all heritage sites as shown on Plan 3.*

4. Town Centres

Council is supportive of the number of, location and size of the town centres as shown within the PSPs, and notes that they are generally consistent with that identified in *Sunbury HIGAP*. The proposed town centres will play an important role in providing for the local needs of the existing and proposed community, whilst relieving pressure on the existing town centre.

Council is satisfied that the scale, size and form of the Redstone Hill major town centre will not detract from the role of the Sunbury Town Centre as the primary activity centre within Sunbury. In addition, it is noted that the PSP provides a number of specific references to Sunbury Town Centre as the primary centre.

Council is also supportive of the retail impact assessment criteria within the UGZ schedules. This is consistent with the criteria in Clause 21.07 of the Hume Planning Scheme and will assist in maintaining Council activity centre hierarchy.

It is noted that concept plans have been prepared for the major town centre and each of the local town centres. Specific comments on each of the concept plans and centres are provided below.

Redstone Hill Major Town Centre

Council acknowledges the extensive amount of work undertaken by the developer on the design and concept plan for this town centre. This work has addressed the majority of concerns that were expressed by Council at agency consultation. Council welcomes the recognition that the Major Town Centre is secondary to Sunbury Town Centre and strongly supports the retail floor space controls in the UGZ Schedule to ensure this.

Elements of the concept plan that are supported include the reorientation of the centre off the main connector road, the identification of fine grain street frontage along the main street and the location of the bus interchange off the main street.

Consistent with the comments provided at agency consultation, service roads to Sunbury Road are not supported. These roads are not considered necessary to achieve active frontage or

attract office tenants. It is considered that the provision of service roads will, however, encourage highway retail/commercial uses that do not relate or support the core of the town centre and do not fulfil the job target or diversity aspirations of the VPA and Council. It is requested that the service lanes be removed from the concept plan. If necessary a service road, could be provided to allow for entry only into a petrol station and for high-frequency buses utilising Sunbury Road to access the bus interchange. It is considered that vehicles leaving the petrol station can utilise the main signalised intersection.

The location of carparking, medium density residential and industrial areas has not been assessed as the legend does not adequately differentiate between these land uses.

Consistent with the agency submission, it is considered that there is insufficient direction on the outcomes sought from the centre. Given the size of the centre, a vision and a set of objectives for the centre is requested to guide the preparation of the Urban Design Framework (UDF). A number of changes to the requirements are requested. In particular, it is noted that a number of UDF requirements requested in the agency submission are provided as guidelines. To ensure these are achieved it is requested that they be amended to requirements.

Changes requested:

- *Redstone Hill Major Town Centre Community Centre - Council has previously advised that it supports the location of the Community Activity Centre on the eastern corner of the two crossroad connector streets located at the south-west corner of the town centre as shown on Plan 3 – Future Urban Structure. The two 'possible alternative Community Activity site' should be deleted from Figure 4.*
- *It is not possible to differentiate between the legend for Industrial, Medium density residential and carparking. The legend should be amended.*
- *Additional open spaces shown with the concept plan are not in accordance with Plan 7 and should be removed.*
- *Remove the services roads from the concept plan. If retained on the plan a notation should state that the service roads are to be constructed outside of the Sunbury Road reservation.*
- *Amend the concept plan to show landscape buffers along Sunbury Road consistent with R37.*
- *Amend the UDF requirements as follows:*
 - *Include reference to Figure 5 within the first dot point.*
 - *All guidelines should be changed to requirements.*
 - *Include the following requirement "Identifies the key elements of the public realm and publically accessible private spaces and the preferred materials, treatments, and landscaping of these spaces to ensure a continuity of design and sense of place".*
 - *Include the following requirement "Outline the measures to ensure that development and access along Sunbury Road does not direct activity away from the Main Street and town centre core".*
 - *Include the following requirement "Restrict the development of convenience restaurants along Sunbury Road frontage" consistent with the UGZ schedule cap for retail.*
 - *Add a requirement relating to the medium density housing within the centre, including the preference for shop-top residential.*
- *Council supports preparation of the UDF to the satisfaction of the responsible authority and the VPA. However, the requirement for an amendment to the UDF to be to the satisfaction of the VPA and Council is considered unnecessary. Amend the UGZ schedule subclause 2.9 to remove the requirement that an amendment to the UDF is to be to the satisfaction of the VPA.*

- *Include permit application referral requirements for the major town centre consistent with the requirement for referral of local town centre applications.*
- *Section 2.9 of Schedule 9 – The fourth requirement for the UDF mentions ‘supporting measures.’ It is unclear what this means. The wording of the schedule should be amended.*

Yellow Gum Town Centre

There has been little change to this concept plan since agency consultation and, as a result, a number of concerns with the design remain outstanding. These relate largely to the orientation of the main street along the Northern Link/Elizabeth Drive extension and the extent to which a functional main street can be achieved along what will be a high volume traffic road (estimated 15,000 vpd). Conversely, the achievement of a main street on this road will impact on the traffic functionality of this connector road, through the need for reduced traffic speeds through the centre (40km/hr as required by R23). Council’s preference is for a north-south main street, with earlier concepts prepared by the VPA addressing this concern.

Additionally, given the size of this centre, further guidance is required for this centre regarding design and staging. This is particularly important given the likely staged development of this centre and the absence of any TAFE/Hospital in the short to medium term.

Further work is needed between exhibition and any panel hearing to resolve officers’ concerns with this centre. It is considered that there is merit in a UDF being required for this centre, given the lack of developer input, its scale, the potential TAFE/Hospital, the impact of the grade separation, and the uncertainty around the timing of the train station.

Change requested:

- *That the VPA work with Council to address the design concerns outlined above.*
- *Amend the PSP to include the requirement for the preparation of the UDF for Yellow Gum Town Centre.*

Emu Creek Local Town Centre

The concept plan for this town centre has not changed from agency consultation despite Council working with the VPA to address a number of concerns with the design. These concerns relate to the need to provide for a more appropriate size and scale of the centre and changes to the design to provide for a more workable and genuine main street.

Similar to the Yellow Gum Local Town Centre, Council has concerns with the location of the town centre on two connector roads and the extent to which a functional main street can be achieved along what will be a high volume traffic road (estimated 15,000 vpd). Conversely, the achievement of a main street on this road will impact on the traffic functionality of this connector road, through the need for reduced traffic speeds through the centre (40km/hr as required by R23). Council also has concerns whether a centre of this size can achieve a successful main street along the length of the two road frontages.

Council does not support the provision of a plaza adjacent the roundabout and on both sides of a connector road that is projected to carry 15,000vpd. The location of this plaza will result in safety concerns. Additionally, the size of this plaza is considered excessive for the size of the centre.

It is also noted that the size of this centre as shown on the PSP plans is large, with approximately 5ha of land designated for the town centre. Whilst some flexibility is required, the scale of land provides too much scope and incentive for a centre to be developed that far exceeds the scale that the PSP (6,000sq.m) is aiming to create.

Council requests further work is undertaken to address concerns with the design of this centre.

Changes requested:

- *That the VPA work with Council to amend the concept plan for this centre. Specific changes required (but are not limited to):*
 - *Provide for a road and active frontage between the medium density housing and the regionally significant landscape values, consistent with the requirements of the PSP.*
 - *A reduction in the size of the town centre site consistent with the 6,000m² specified in the PSP.*
 - *Limit the main street to one connector road.*
 - *Amendment of PSP plans to show regionally significant landscape abutting the town centre as per the concept plan.*
 - *Relocation of the plaza away from the roundabout.*
 - *Provide clarification of the land uses fronting Lancefield Road.*

Harpers Creek Local Town Centre

The concept plan prepared for this centre is too high-level and simplistic to adequately address the concerns raised at agency consultation. While the reorientation of the centre onto the connector road will improve access and viability of the centre, the concept plan does not provide the same level of detail as other concept plans with regards to retail types, car parking, pedestrian access and circulation both within the town centre and to the primary school and community facility. Additionally, further work is required to determine if an adequate amount of land has been set aside for the town centre, given the slope constraints of this area.

It is also noted that there are a number of outstanding issue relating to the alignment and staging of the Jacksons Hill Road link (see Section 13). The location of this road will have implications for the design and location of this town centre. It is requested that further discussions be held with Council in relation to the design of this centre, in conjunction with the work required to confirm the alignment and staging of the Jacksons Hill Road link.

Changes requested:

- *Further work is required to confirm the design and location of this centre, having regard to the Jacksons Hill road link.*
- *Amend the concept plan to show LP03 consistent with Plan 7.*
- *Amend the concept plan to show landscape buffers and shared paths along the railway line consistent with requirements of the PSP.*

Local Town Centres (both PSPs)

Changes requested:

- *Amend Principle 2 to include two dot points;*
 - *relating to maximising solar passive orientation and providing suitable protection from high winds through suitable siting and design techniques, and*
 - *allowing public access to this space outside the typical commercial operating hours of 9am to 5:30pm.*
- *Under Principle 3, add a dot point that talks about adaptability of tenancies and retail / commercial floor space. A dot point should also be added that makes specific mention of designing tenancies so that exhaust flues and other necessary equipment required for food and drinks premises can be installed. This is especially important for multi-storey developments.*

- *Under Principle 5, add a dot point that seeks to avoid the use of local access streets for car parking and service/delivery access to commercial retail components of the centre. This should also be reiterated in Principle 6.*
- *Amend Principle 7 to include two additional dot points:*
 - *“Landscape buffers are to be provided between carparks and adjacent roads”, and*
 - *“Landscape buffers are to be provided between carparks/commercial uses and medium density housing sites.”*
- *Amend the dot point relating to the supermarket design to clearly mention clear glazing towards any street interface. The use of ‘directly address’ is vague.*
- *UGZ Schedule - Referral of applications – Local Town Centres (both PSPs) - Wording should be changed from “land in a Local Town Centre” to “Land shown as a Local Town Centre”.*

Local Convenience Centre Guidelines (both PSPs)

Changes requested:

- *Amend Principle 3, 7th dot point, add “and treat stormwater runoff” (both PSPs).*
- *Amend Principle 3 to include a dot point that makes specific reference to accommodating all loading and service delivery/pick up points off-road and within the convenience centre.*
- *Amend Principle 4 to include a dot point which discourages car parking, service and delivery access from local access streets.*

5. Employment

Sunbury Road

Sunbury HIGAP and the Sunbury/Diggers Rest Growth Corridor Plan identify that 100ha of employment land is required along Sunbury Bulla Road adjacent to the Hi Quality quarry. The exhibited PSP provides for approximately 47ha of employment land (Industrial Zone) at this location. This is well short of the required amount of employment land identified within Sunbury HIGAP and the Sunbury/Diggers Rest Growth Corridor Plan, and requested by officers in the agency consultation. Consistent with concerns raised at agency consultation, the location of a retarding basin on this land significantly reduces the available land for employment in this location. The function of this land is also compromised by the retarding basin.

Council acknowledges that the removal of the mixed use area on Sunbury Road following agency consultation has increased the amount of employment land available. However, as outlined above, this area is still well short of that identified in Sunbury HIGAP and the Sunbury/Diggers Rest Growth Corridor Plan.

Council requests that the extent of employment land be expanded to meet the land requirements in Sunbury HIGAP and the Sunbury/Diggers Rest Growth Corridor Plan. Consideration should be given to relocating the retarding basin given the impact that it has on the scale and shape of employment land.

Changes requested:

- *Provide for an additional 53ha of employment land on Sunbury Bulla Road consistent with that specified in Sunbury HIGAP and the Sunbury/Diggers Rest Growth Corridor Plan.*

Vineyard Road

Council supports the identification of employment and commercial land uses on Vineyard Road. *Sunbury HIGAP* identified the need for restricted retail space outside of the Sunbury Town Centre to complement the existing and proposed larger format restricted retail on Horne Street. Vineyard Road near to the Freeway is the preferred location for a restricted retail centre. This location is preferred, as it is central to the catchment which includes residents from regional communities north of Sunbury. Its location off the Calder Freeway and on Vineyard Road provides convenient access by a range of modes and manages demand to access the town centre. It also complements and extends the restricted precinct on Vineyard Road.

Council acknowledges the changes made to the location and shape of this employment area following agency consultation in response to Council's submission.

It is considered that the PSP contains a lack of design guidance for the restricted retail precinct. A new requirement is requested in order to achieve a high quality design. This wording was agreed with the VPA for use in the Craigieburn North Employment PSP with the addition of the last dot point to reflect the topography of Sunbury.

Changes requested:

- *A new requirement should be added to Sunbury South PSP, Section 3.2.6:
"The design of a restricted retail centre or area on Vineyard Road must be integrated, even where development is proposed on multiple adjoining properties and:*
 - *Provide for easy vehicular and pedestrian movement to all restricted retail tenancies within the centre or area.*
 - *Provide integrated car parking with dedicated pedestrian routes that enables access to all tenancies and a 'park once' approach.*
 - *Limit fencing and landscaping which prohibits vehicular and pedestrian movement between tenancies.*
 - *Provide dedicated access arrangements for servicing and delivery vehicles from the road network or a clearly separate arrangement where access is proposed from the car park.*
 - *Be separated from residential and other sensitive uses by a local road.*
 - *Be designed to minimise impact on amenity of adjoining uses including appropriate siting of buildings, height controls, landscaping and use of materials.*
 - *Respond to slope and minimise cut and fill."*

Vineyard Road Employment Area Concept Plan

Council is generally supportive of this employment concept plan and acknowledges the inclusion of this concept plan in the PSP at Council's request.

Consistent with the agency submission, Council still has outstanding concerns regarding the access arrangements off Vineyard Road into the employment area. This concern relates to traffic volumes on Moore Road and the potential need to signalise the intersection with Vineyard Road. It is also unclear from the documents whether both roundabouts on Vineyard Road are to be funded by the ICP.

Changes requested:

- *That further discussions be held with VicRoads regarding the Vineyard Road access arrangements.*
- *The concept plan for the Vineyard Road Employment Area is not linked to any PSP requirement under Section 3.2.6, in the same manner that the town centre concept plans*

are. Amend the PSP to add a requirement relating to development of this land being consistent with the concept plan (Figure 7).

- *Show 5m wide landscape buffers along Vineyard Road consistent with R37.*

General Employment Changes requested:

- *Sunbury South R34 and R37 are contradictory to one another in terms of the location of car parking. Please amend/clarify. If carparking is to be provided to the side or rear of the buildings as per R34, side landscaping requirements should be included.*
- *Sunbury South G38 and R37 are contradictory to one another in terms of setbacks. Please amend/clarify.*

6. Open Space

Passive Open Space

Council is generally supportive of the location of passive open space within the PSPs, and acknowledges the identification of a linear shared path along the escarpments and passive recreation nodes at 500m intervals along the path network.

A number of changes are requested to the distribution of the passive open space to ensure access for all residents within 500m walkable catchments. These changes have also been made having regard to the passive recreational function of the sports reserves and the limited passive recreation role that drainage reserves can provide. These changes are outlined below and in Attachments 1 and 2.

Changes requested:

- *Amend Table 6 within both PSPs to change the responsibility for local parks from 'Council' to 'Land Developer'.*
- *Amend the park type for all 0.25ha sites to read 'Passive Recreation Node'.*
- *Amend G48 (Sunbury South) and G36 (Lancefield Road) to delete 'except where housing fronts open space with a paper road to the satisfaction of the Responsible Authority'. Delete R46 and R47 (Sunbury South) R35 and R36 (Lancefield Road). Council does not support housing directly fronting open space.*
- *Amend R43 (Sunbury South) and R32 (Lancefield Road), to include reference to R93 and R94 (Sunbury South), and R87 and R88 (Lancefield Road).*
- *Amend R94 (Sunbury South) and R88 (Lancefield Road) to add:*
 - *"and contaminated soils" to dot point 1.*
 - *delete "barbeques" from dot point 7. Barbeques will not be supported by Council.*
 - *A new dot point requiring the protection and interim maintenance of any remnant trees identified for retention.*
- *Amend Plan 7 of both PSPs consistent with Attachments 1 and 2.*

Active Open Space

Council is supportive of the location and orientation of all four sports reserves within the Sunbury South PSP. The location and orientation of these reserves is consistent with the concept plans prepared by MEMLA Landscape Architects for Council and will provide for the facilities required on these sites.

Council has concerns with the location and orientation of SR02 within the Lancefield Road PSP. It is noted that the location and orientation of this district sports reserve has changed since agency consultation. The agency consultation location was identified on the basis of the need for

the two ovals to have a north-south orientation, and slope constraints to the east of the site adjacent to the railway line.

The concept plan prepared by MEMLA Landscape Architects for Council is based on the agency consultation location of SR02 and demonstrates the ability to accommodate the ovals, cricket nets, netball court, passive recreation space and carparking within the site size, shape and orientation.

Council is concerned that the change in orientation and shape of SR02, coupled with slope and grade crossing constraints in the south-eastern portion of the site will impact on the ability for Council to provide for the necessary sporting facilities within this site. It is requested that the agency consultation location and orientation of SR02 be reinstated within the PSP.

It is unclear why the regional sports reserve is shown as Council-funded within the land use budget, property budget and Plan 4. Clarification is requested.

Changes requested:

- *Amend the Lancefield Road PSP to show SR02 as per the location and orientation in the agency exhibited version of the PSP.*
- *Amend the description to cricket/senior AFL/Cricket ovals for Sunbury South SR03.*
- *Amend the description to soccer/rugby for Sunbury South SR04.*
- *Amend SR01 to indicate that it is part of the sporting reserve, with the other half to be provided within the future Lancefield Road North PSP.*
- *Amend the legend for the regional sports reserve on all plans. The hatching makes it appear that this reserve is located in the conservation reserve.*
- *Amend description to include netball for Lancefield Road SR02*
- *Amend R95 (Sunbury South) and R89 (Lancefield Road) to state that "these works MAY be eligible for a works-in-kind credit". It the responsibility of Council as the collecting agency to determine whether a project is suitable as works-in-kind.*

7. Redstone Hill

Both *Sunbury HIGAP* and the *Sunbury/Diggers Rest Growth Corridor Plan* identify the need to retain the natural features and landscape qualities of Redstone Hill and maintain the uninterrupted views of Sunbury and Melbourne from the site. The plans also identify the importance of providing public access to the hilltop, whilst acknowledging that some development may be feasible on the lower slope of the hill.

Encumbered Open Space

Council acknowledges the efforts made by the VPA to provide a response to Redstone Hill that balances landscape and visual protection with potential for community access and long term maintenance requirements. The inclusion of this land in RCZ is supported.

However, Council is still concerned that the wedge of land between Redstone Hill and Jacksons Creek is still not correctly sited. The intent of this wedge shaped area is to enable uninterrupted views from Jacksons Hill to the Jacksons Creek Valley, rocky outcrop and up to the top of Redstone Hill. It would also facilitate views from Redstone Hill to Bald Hill. Figure 1 below shows the minor change needed to correctly site this wedge to provide for views between Jacksons Hill, Redstone Hill and Bald Hill.

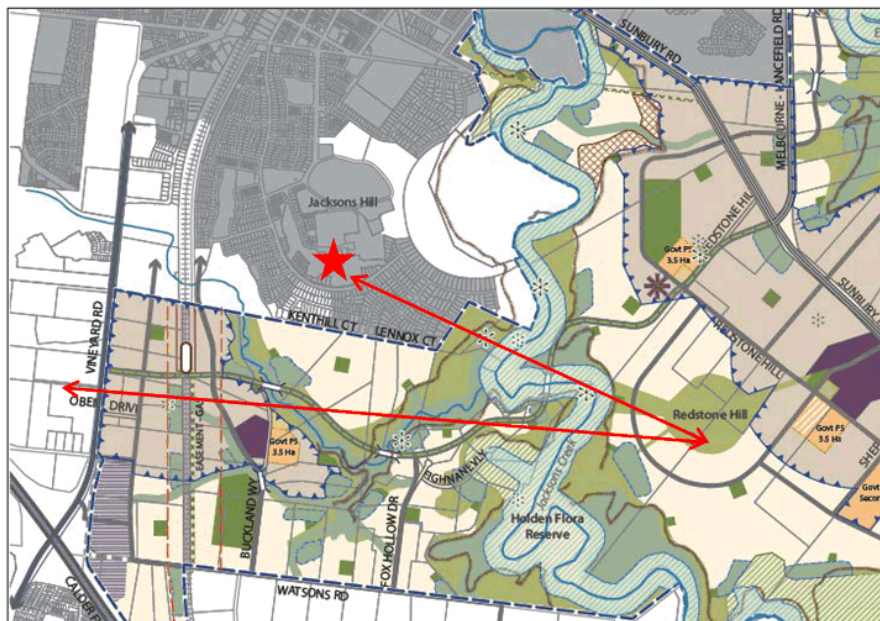


Figure 1 - Requested changes to Redstone Hill significant landscape values.

Changes requested:

- Amend location of visual wedge between Redstone Hill and Jackson Creek as per Figure 1 above.
- Amend zone map to match future urban structure extent of Redstone Hill encumbered land.

Height controls

Council supports the height controls within the PSP that restrict development to that which doesn't protrude above 253m AHD. These controls will assist in maintaining the visual prominence and natural landscape qualities of Redstone Hill, whilst maintaining views from the hilltop.

It is noted that the Redstone Hill 96A application does not address the Redstone Hill height requirements within the UGZ schedule.

Changes requested:

- Amend requirement R16 to refer to the Redstone Hill indicative views cross section on page 95 of the PSP.
- The Redstone Hill 96A should be amended to address the UGZ9 Redstone Hill height controls.

8. Bushfire Risk

Council notes that the bushfire risk assessment is currently incomplete, despite numerous requests not to exhibit the PSPs until this work is finalised. The completion of this work is necessary, as it not only determines the development setbacks, but also the extent of developable land. It should also be noted that the draft bushfire assessment shows some areas may be unsuitable for development due to bushfire risk. It essential that this work be completed

and incorporated into the PSPs prior to any panel hearing, both for the reasons outlined above, and the risks to person and property.

Given the absence of a finalised bushfire risk assessment, it is unclear what the fire edge threat is (as shown on Plan 5), and on what basis this fire edge threat has been determined or mapped. Of concern are a number of areas of developable land located adjacent escarpments, including the land on Harker Street and along Jacksons Creek that have not been identified as a fire edge threat. It should be noted that the fire edge threat is only defined with the Sunbury South PSP, and is absent from Plan 5 of the Lancefield Road PSP..

Changes requested:

- *That the bushfire risk assessment be finalised and that the recommendations of this work be used to inform the development setbacks and identify any areas of fire edge threat.*
- *The UGZ schedule condition relating to bushfire risk should reference the need to adhere with the findings of the bushfire assessment application requirement.*

9. Setback from Escarpment – Visual and Bushfire Risk

Sunbury HIGAP identified the need for setbacks from escarpments to reduce the visual intrusion of new development, to manage fire risk, facilitate walking and cycling trails and to ensure that Jacksons and Emu Creeks remain the dominant features in the landscape. Council strongly welcomes the support in the PSP for the achievement of Council’s objectives to protect the escarpments and minimise the visual prominence of development from the two major creeks.

Council acknowledges the identification of escarpments within the PSPs as ‘visual’ or ‘non visual’ and the inclusion of associated development setbacks within the escarpment cross sections. It is noted that these development setbacks are currently only defined ‘visually’, by the visual impact modelling undertaken by Council. A setback is also required for bushfire management (see Section 8). It is recommended that the most conservative line (a combination of the bushfire and visual setbacks) be used to confirm the setback from the escarpments and the extent of developable land.

Central to the development setbacks (as defined by both visual assessments and bushfire risk modelling) is defining the escarpment ‘break of slope’. This is discussed further in Section 10 below.

The visual assessment undertaken for the escarpments was based on a building height of 8m. Consistent with the agency submission, Council requests that building heights be capped at this height along the escarpment edge, including the Non-Government Secondary School, in the Lancefield Road PSP. The absence of building height restrictions along the escarpment edge will undermine the intent of the visual setback, and the design response sought to be implemented.

A number of changes are requested to improve the useability and application of the measures and controls in the PSP.

Changes requested:

- *Amend G7 (both PSPs) to ensure these guidelines do not confuse or contradict efforts to control the impact of development on escarpments and Redstone Hill.*
- *Include controls on building height for development along the top of the escarpment to limit all development to 8m.*

10. Break of Slope

Council has significant concerns relating to the delineation of the break of slope across the PSPs that remains outstanding. It is noted that the VPA, Council and Melbourne Water have all attempted to define a break of slope, all with varying results. The break of slope line as determined by the VPA and shown within the PSPs has key differences to the Council and Melbourne Water defined break of slope, and is not supported as the 'true' break of slope in a number of areas.

The break of slope is integral to a number of elements in the PSPs, including defining the development setback from the escarpments, extent of developable area, bushfire setback and Melbourne Water's drainage scheme (and location of drainage assets). As such, it is essential that this line accurately reflects the true break of slope and is supported by the Council and Melbourne Water.

Council has previously requested that the PSPs not be exhibited until the break of slope is defined. It is essential that the break of slope is defined prior to any panel hearing and that the finalised break of slope is used to inform and finalise the various elements of the PSPs as outlined above. Further progression of the PSPs without the resolution and completion of this work will have serious implications for the viability and implementation of the PSPs.

It is requested that the VPA, Council and Melbourne Water work together to determine an agreed break of slope, and that adequate time be allowed for the agreed break of slope to be used to inform the bushfire study, drainage scheme and other elements of the PSPs as outlined above.

11. Biodiversity

Ownership of Encumbered Land and Conservation Areas

The future ownership and management of encumbered land and conservation areas is a major issue across all of Melbourne's growth areas. Within the Sunbury PSPs, Jacksons Creek, Emu Creek and Redstone Hill represent very large areas of encumbered land and conservation area that need an appropriate future management regime identified.

The PSPs identify approximately 1,680ha of encumbered/conservation land with no certainty over ownership. Council considers that a mixed ownership and management approach between Council and the various State Government agencies is required.

It is noted that whilst Council, the VPA, DELWP, Parks Victoria and Melbourne Water have met to discuss the issue, a shared ownership/management approach is yet to be agreed on. Given the extensive amount of encumbered land within these two PSPs, it is considered essential that the PSPs provide a greater level of direction on land ownership and management. Council requests that the VPA continue to work with Council, DELWP, Parks Victoria and Melbourne Water to resolve this matter, prior to the approval of the PSPs.

Regionally Significant Landscape Areas / Significant Landscape Overlay

The importance attributed to the landscape and recreation opportunities in the PSP are strongly welcomed and supported but these are not recognised or given sufficient weight in the schedules. It is considered that the Regional Significant Landscape Values of the Jacksons, Emu and Harpers Creeks and Redstone Hill areas would be best protected through the application of the Significant Landscape Overlay. The proposed application of the Incorporated Plan Overlay is

limited in that it only provides conditions and requirements relating to the Biodiversity Conservation Strategy (BCS) and the PSPs.

A Significant Landscape Overlay would not only address the significant geological and hydrological values of the area but would also be able to incorporate the significant values from an Aboriginal and post-contact heritage perspective. This concept is supported by the National Heritage Trust of Victoria and the Wurundjeri Land Council, and is a recommendation in the *Targeted Cultural Values Assessment* (March 2015) and the *Post-Contact Heritage Assessment* (Context, December 2014). It is unclear why this idea was not progressed by the VPA, despite forming part of the recommendations of both the cultural heritage and post contact heritage background reports.

It is unclear why the VPA have proposed to remove the existing ESO1 for the Regionally Significant Landscape Area. The removal of the ESO1 removes very clear recognition of the landscape significance of Regionally Significant Landscape areas that are not covered by the proposed ESO10 or the IPOs.

The explanatory report states that the IPO4 has been applied to land which will be zoned Rural Conservation Zone and is located outside of the BCS. It is unclear why wording in the proposed IPO4 areas relates to the BCS, when the BCS conservation areas do not apply to this area.

It should be noted that the proposed changes to the ESO, will result in the two sides of Emu Creek and parts of Emu Creek and Jacksons Creek having different ESOs applying due to the boundaries of the amendment and BCS areas. The implications of the boundary of the ESOs within and outside of the amendment should be further considered and addressed.

Changes requested:

- *That the VPA:*
 - *Apply of the Significant Landscape Overlay to Jacksons, Emu and Harpers Creeks and Redstone Hill areas.*
 - *Retain the existing ESO1 along Jackson and Emu Creeks.*

Jacksons Creek Regional Park / Conservation Area Concept Plans

The Conservation Area Concept Plans (CACPs) are generally consistent with and reflect the outcomes sought for Jacksons Creek through the draft Jacksons Creek Master Plan. However, it is noted that there are a number of inconsistencies with these plans and other plans in the PSP, notably Plan 10.

It is requested that the CACPs should include an overview plan, which shows the entire Regional Significant Landscape Area including Harpers Creek, not just the BCS areas. This would assist in providing the level of detail needed to implement works within the areas subject to IPO4.

It is noted that there are a number of potential shared path creek crossing connections shown within the CACPs. It is unclear how these paths would be funded.

Changes requested:

- *Amend CACPs/Plan 10 to ensure consistency between the plans.*
- *The CACP should be amended to show all heritage sites.*
- *It would assist in reading the CACPs if the legend indicated which areas are Ca18, 19, 20 and 21.*
- *Amend Figure 9/Plan 10 to show a shared path down to the peninsula on the eastern side of Jacksons Creek.*
- *Clarification of funding for shared path creek crossings within the CACPs.*

- *Amend G55 (Sunbury South) and G51 (Lancefield Road) to add “of local provenance to the satisfaction of Council” to the end of the guideline.*
- *Clarification is required as to whether habitat compensation offsets are required for shared paths within BCS areas if the area contains an existing track or is already clear of native vegetation.*

Native Vegetation Retention and Removal

The PSPs should not identify any native vegetation to be removed without a planning permit anywhere within IPO4, Significant Landscape Values Areas, drainages reserves, Raes Road conservation reserve, and Emu, Jacksons and Harpers Creeks. These areas have been set aside due to their significant hydrological and geological value and the removal of any native vegetation would jeopardise this value and increase the risk of erosion. In addition, both Melbourne Water and Council have long standing objectives of revegetating creek lines, tributaries and escarpments (including recent projects in both Harpers and Jacksons Creeks) and the removal of native vegetation in these areas is contradictory to these objectives.

Changes requested:

- *Removal of native vegetation in the areas outlined above should be subject to a planning permit, to the satisfaction of Council and DELWP.*
- *A statement about the payment of all habitat compensation obligations should be in the PSP (e.g. Growling Grass Frog and Golden Sun Moth). It is unclear how an applicant will be made aware of their need to pay offsets or habitat compensation obligations.*

General Biodiversity changes requested:

- *Increased recognition of Harpers Creek should be provided within the PSPs. It is suggested that second point in the vision and Objective 3 be amended to include reference to Harpers Creek.*
- *Amend R44 (Lancefield Road) to remove the word ‘zone’ it confuses the intent of this requirement.*
- *Amend R54 (Sunbury South) and R45 (Lancefield Road) to:*
 - *Include ‘to the satisfaction of the Responsible Authority’.*
 - *Correctly reference the Conservation Interface Cross Section.*
 - *Include reference to the figures of the CACPs within R54.*
- *Amend G50 (Lancefield Road) G63 (Sunbury South) to remove reference to the word ‘buffering’, which conflicts with the word ‘co-located’.*
- *It is requested that the PPCZ (as existing) and the ESO apply to the entirety of the reserve. It is unclear why the RCZ and ESO have been applied to part of the Holden Flora reserve.*
- *It is unclear the extent to which the Crown have been consulted regarding the need to obtain some of the Holden Flora Reserve land to build the southern creek crossing. Confirmation and clarification of the process required to obtain this land is requested.*

12. Education and Community Facilities

Removal of Sunbury South Government Secondary School

Council has undertaken a significant amount of work through both *Sunbury HIGAP* and the PSP processes to ensure that the precincts are supported by schools of an appropriate size and location to support the future population and demographic needs. The schools identified with the PSPs are generally consistent with that of *Sunbury HIGAP* and have not changed since agency

consultation, with the exception of the removal of a government secondary school from the Sunbury South PSP.

The agency consultation version of the Sunbury South PSP provided for a government secondary school in the Harpers Creek precinct. The school was shown located near Obeid Drive, between Vineyard Road and the rail line. This location was consistent with discussions between Council and the Department of Education and Training, and was supported by the *K2 Sunbury South Precinct Structure Plan – Community Infrastructure Assessment* (May 2015). It is noted that this school has been removed from the exhibited Sunbury South precinct.

The provision of a government secondary school at this location has been the subject of significant discussion between Council and the Department of Education and Training in recent years, with Council advocating strongly for the provision of a school at this location on the basis of under provision of secondary schools in the Sunbury South / Diggers Rest catchment. It is noted that no provision for a state secondary college was provided within the Diggers Rest PSP (March 2012).

The exhibited PSP states that this secondary school would be provided outside the Sunbury South Precinct, within the Victoria University owned land at Jacksons Hill. The decision to move the school out of the Sunbury South Precinct or the proposed new location has not been discussed with officers, and it is unclear the extent to which the VPA have consulted with the Department of Education and Training on this decision. Given the collaborative planning that has been undertaken to date between Council and the Department of Education and Training, the removal of this school is concerning.

The agency consultation location of the school was chosen based on a number of factors including school catchment boundaries, population forecasts, and proximity to the local town centre. It should also be noted that the *K2 Sunbury South Precinct Structure Plan – Community Infrastructure Assessment* (May 2015) also provided justification for a secondary school at this location. The VPA has not provided officers with any justification for why the school has been moved out of the Sunbury South precinct, whether the Victoria University site meets the locational or catchment attributes required for this school, and whether the Department of Education and Training is supportive of its location.

Whilst it is acknowledged that the Victoria University owned land is currently vacant, and that an end user is required for the land, this site is currently subject to a master planning process. It is considered premature to remove the secondary school from the Sunbury South precinct, until further work has been done to confirm the suitability and support for the school on the Victoria University land.

Should it be determined in the future that the Sunbury South secondary school site is no longer required, this land could be used for alternative use consistent with the applied zone. This is consistent with requirement R50 of the Sunbury South PSP states that *“where the Responsible Authority is satisfied that land shown as a school site is unlikely to be used for a school at ultimate development of the PSP, that land may be used for an alternative purpose which is generally consistent with the surrounding land uses and the provisions of the applied zone”*.

Changes requested:

- *Amend the Sunbury South Precinct Structure Plan to reinsert the government secondary school as per its location at agency consultation.*
- *Amend Table 5 in recognition of two government secondary schools.*

Designation of Non-Government Schools

The PSPs and Infrastructure Coordination Strategy designates a number of non-government schools as 'Catholic schools' rather than as non-specific 'Non-government schools'. While it is acknowledged that the Catholic Education Office (CEO) undertakes a significant amount of strategic work in identifying future demand for Catholic schools in growth areas, it is not considered appropriate, nor the role of the PSPs to identify individual education providers.

Identifying non-government schools as 'Catholic schools' imposes a defacto compulsory acquisition control on the current landowner/developer in circumstances where the CEO may not end up purchasing the land or the landowner/developer may not want to sell to the CEO. Furthermore, it is not considered appropriate to mandate that a particular use be undertaken by a particular operator.

Change requested:

- *Remove all references to the designation of non-government schools as 'Catholic schools' with the PSPs and associated documentation.*

Community Centres

Council has undertaken a significant amount of work through both the *Sunbury HIGAP* and the PSP process to ensure that the precincts are supported by community centres that are of an appropriate size and location to support the future population and demographic needs. Council is supportive of the location of the community centres as identified within the PSPs.

It is noted, however, that there are a number of discrepancies between the identification of the community facilities as Level 1 or Level 2 centres within the PSPs/Infrastructure Strategy and the K2 Community Infrastructure Assessment, and the staging/timing of these centres within the PSPs and the Infrastructure Strategy. The resolution of the Level of these facilities is essential to ensure that there are no community facility provision and infrastructure contribution funding gaps.

Changes requested:

- *Council requests that Harpers Creek, Jacksons Creek and Emu Creek community centres be changed to Level 2 facilities within the PSPs and the Infrastructure Strategy is consistent with K2 Community Infrastructure Assessment.*
- *Council requests clarification on the timing/staging of the Harpers Creek, Jacksons Creek, Redstone Hill and Yellow Gum community centres with regards to the discrepancies between the timing/staging listed in the PSPs, compared with the infrastructure strategy. Until such clarification is received, Council is unable to provide comment on the proposed timing/staging of these centres.*
- *Change G57 (Sunbury South) and G44 (Lancefield Road) to requirements. The use of the word 'must' within this guideline is supported.*

13. Road Network

The road network within the PSPs is largely supported by Council, and is noted to be generally consistent with *Sunbury HIGAP*. It is noted, however, that there are a number of inconsistencies in the different documents regarding the proposed transport network, particularly the road network hierarchy as shown on various plans and cross sections. As such, further comments will be provided once clarification of these inconsistencies is provided.

A number of specific comments with regards to road infrastructure items and cross sections are provided below.

Sunbury-Bulla Road capacity and early delivery of the Southern Creek Crossing

The PSPs as drafted provide no recognition of the importance of upgrades to Sunbury Road and the Bulla Bypass to the orderly planning of Sunbury. Currently, Sunbury Road is operating over design capacity through Bulla, with traffic volumes already exceeding the typical trigger for duplication.

The issue of traffic capacity on Sunbury Road is a known community issue. It was one of the most raised issues at the community information sessions held by the VPA in December 2016. It is noted that the PSPs seek to address the issue of traffic constraints on Sunbury-Bulla Road by prioritising the delivery of the southern creek crossing as a means to take traffic off Sunbury-Bulla Road and over to the Calder Freeway.

It is unclear from the traffic modelling provided whether the southern creek crossing will assist in reducing traffic volumes on Sunbury Bulla Road. It is of concern that in the absence of this evidence, the southern creek crossing is being prioritised in the short term at the expense of other infrastructure needs. Council seeks clarification from the VPA as to the traffic modelling evidence that supports the need for the early delivery of the creek crossing.

Northern Creek Crossing

The preferred road alignment for the northern creek crossing runs through culturally sensitive land and down a culturally significant gully. It is noted, however, that the exact location of the northern creek crossing has not yet been confirmed and is shown in the PSP as 'road alignment subject to review'. Council has previously requested that the PSPs not be exhibited until this road alignment has been resolved.

A number of post-contact and Aboriginal cultural heritage concerns relating to this creek crossing were raised in Section 3. In addition to Council's concerns, it is noted that the Wurundjeri Council has a number of concerns with the proposed creek crossing.

It is requested that the VPA resolve all outstanding post-contact and Aboriginal cultural heritage concerns in order to confirm the alignment of this bridge prior to any panel hearing. Left unresolved, the alignment of the creek crossing will impact on the urban structure and ability of landowners to develop (including the Sherwood Heights 96A application), and the ICP. Until such point in time that the alignment of this road is confirmed, Council is unable to determine whether the standard levy is sufficient to cover the costs of delivering the crossing, or if a supplementary levy is required.

Jacksons Hill Road Link

It is noted that the PSP proposes a connection to the Jacksons Hill Estate as a future ICP item. The provision of a road connection from the Jacksons Hill Estate to Vineyard Road is also an obligation of the developer of the Jacksons Hill Estate (Places Victoria) as outlined in the *Jacksons Hill Local Structure Plan*. Two different road alignments are proposed, with the PSP assuming that the Place Victoria connection has been delivered prior to the delivery of the PSP connection.

It is requested that the PSP and ICP not be approved until Places Victoria deliver or enter into an arrangement for the delivery of the connection.

Cross Sections

Council is generally supportive of the cross sections and welcome intent to facilitate a boulevard outcome along the arterial roads. However, as outlined in the agency submission, there is a

continued concern that the boulevard cross sections are not implementable in their current form, as they may not meet VicRoads clear zone requirements, or provide sufficient room to accommodate existing and proposed servicing. In addition, it is understood that Plan 12 does not show all the services required by Western Water. If additional land is required lot to achieve the boulevard treatments, this will need to be recognised in Plan 4 and the Property Budget.

It is unclear where a number of these cross sections are to be applied with the PSPs. It would assist if Plans 9 and 10 were amended to clarify the location of the various cross sections. The location of the escarpment, conservation and drainage cross sections should also be shown on this plan.

Where connector roads are proposed on existing roads there is insufficient road reserve to accommodate the proposed cross sections. Plan 4 and the Property Budget do not provide for land take for these roads. In particular land take needs to be shown for Buckland Way, Fox Hollow Drive, Redstone Hill Road, Shepherds Lane and Stockwell Drive.

As outlined above there are number of inconsistencies in the different documents regarding the proposed transport network, particularly the road network hierarchy as shown on various plans and cross sections. This has resulted in difficulty in assessing a number of the cross sections. A number of changes are requested to the various cross sections. A full list of changes required will be provided once clarification on the inconsistencies is confirmed.

Changes requested:

- *Amend Plan 9/10 to show the location of the various cross sections.*
- *Amend Plan 4 and the Property Budget to provide for land take for Connector Roads proposed on existing roads.*
- *That the VPA work with Council, VicRoads and the servicing authorities to ensure that the cross sections met VicRoads clear zone requirements and that adequate land is set aside for servicing.*

General Road Network comments

Consideration needs to be given on the long term solution for the current Watsons Road rail level crossing. Plan 9 shows this as a 'potential grade separation'. It is unclear whether the grade separation of the crossing has been requested by PTV or whether it is proposed to be funded through the ICP.

The 30% requirement for alternative street cross sections is considered unnecessary and difficult to monitor/apply. A variety of cross sections will be provided on a needs basis in response to local conditions.

The PSPs show a number of connector roads crossing a waterway. R59 (Lancefield Road) and R69 (Sunbury South) require the construction of a connector street bridge by a developer where a connector street crosses a waterway. It is unclear which developer(s) is/are required to construct the bridge in the scenario indicated.

Guidelines G69 (Sunbury South) and G56 (Lancefield Road) indicate that access 'should' be provided by a rear laneway where a lot is six metres or less in width. Council's preference is for lots that are six metres or less in width must be accessed via a rear laneway to ensure active frontages are provided to lots.

Changes requested:

- *Clarification is requested to the inclusion of the potential grade separation of the Watsons Road rail crossing.*

- Amend R69 (Sunbury South) and R59 (Lancefield Road) to provide greater clarity in terms of which developer(s) is/are required to construct the bridge where a connector street crosses a waterway.
- Amend G69 (Sunbury South) and G56 (Lancefield Road) to state 'where a lot is six metres or less in width, vehicle access **must** be via a rear laneway'.
- Clarify the intent of R62 (Sunbury South) and R52 (Lancefield Road). Does this mean any property or only properties that have been subdivided? It is currently unclear as worded.
- Amend R64 (Sunbury South and R54 (Lancefield Road) to also include the need for the crossing to respond to heritage and cultural values.
- Amend R59 (Sunbury South) and R49 (Lancefield Road) to remove the 30% requirement for cross sections.

14. Public Transport and Path Network

Plan 10 shows a number of on-road bike lanes and shared paths that are not consistent with the cross sections within Appendix 2 of the PSPs. In addition, and as noted above, it is unclear which road cross sections apply to which road. It is requested that Plan 10 be amended to show the location of the bike lane and shared path network consistent with the cross sections. Attachments 3 and 4 show what Council understands to be the designation of the cross sections and associated bike lane and shared path network.

Additionally, it is noted that the off-road shared path network is incomplete and doesn't provide for linkages from the regional open space to the town centres, employment areas, along the entire lengths of the railway line and escarpment edge, waterways/reserves set aside for regional landscape values, and along arterial roads. A number of these changes were requested at agency consultation. Provision of this infrastructure will assist greatly in increasing passive recreation and leisure activity, and will provide a significant point of difference for these precincts. Council requests the inclusion/extension of a number of off-road shared paths as shown on Attachments 3 and 4.

It is unclear why there are no public transport requirements and guidelines in the Sunbury South PSP despite the inclusion of requirements and guidelines in the Lancefield Road PSP.

Changes requested:

- Amend Plan 10 to show:
 - The designation of the cross sections and associated bike lane and shared path network.
 - Inclusion/extension of a number of off road shared paths as shown on Attachments 3 and 4.
- G76 (Sunbury South) and G63 (Lancefield Road) should be deleted. Off-road shared paths are intended for recreational cycling, and are shared paths for use by both pedestrians and cyclists. Cyclists using these paths should not be encouraged to travel at 30km/hr. Fast travelling cyclists should use the road network or on-road cycle paths.
- Ensure consistency between Plan 10 and the CACPs.
- Insert public transport requirements and guidelines in the Sunbury South PSPs.

15. Railway Corridor

Council supports the inclusion of controls relating to buildings and works within 100m of the railway corridor. It is noted, however, that there are a number of inconsistencies between the rail corridor subclauses and the UGZ schedules.

Subclause 2.6 exempts buildings and works for a number of uses if a restriction on title gives effect to requirements of any acoustic assessment report, prepared for a site where it abuts the railway corridor. However, subclause 3.10 and 3.14 trigger the need for a permit regardless.

In addition, it is noted that the sensitive uses listed in subclause 2.6 are all permit required under both of the relevant applied zones. It is unclear why a restriction on title that gives effect to the recommendations of an acoustic report should remove the need for a permit for buildings and works, when a permit is required within the applied zone outside the rail corridor buffer for these land uses.

It is noted that there is no requirement to ensure an acoustic assessment is undertaken for non-government schools in the rail reserve. Whilst it is acknowledged that no non-government schools are proposed within the railway noise amenity buffer, applications may be received after the PSPs have been approved.

Changes requested:

- *Amend the UGZ schedule to remove the exemption for buildings and works.*
- *Amend subclause 2.6 with the UGZ schedule to include non-government schools within the list of land uses.*

16. Integrated Water Management and Utilities

Integrated Water Management

Council is supportive of the development of an Integrated Water Management Plan by Western Water and Melbourne Water to protect local waterways and promote fit for purpose alternative water use.

It is noted that the PSPs identify 57 retarding basins across the two precincts. Of these, 51 are identified as the responsibility of Council. Council has concerns regarding both the number of, and cost to Council for the ownership/maintenance of these assets. It is also unclear if 'responsibility' in Table 9 refers to both land ownership and maintenance. Opportunities should be explored to consolidate these and reduce the number of assets. Council requests that discussions are held between the VPA and Melbourne Water to resolve this issue prior to the approval of the PSPs.

Changes requested:

- *The intent of the 'responsibility' column in Table 9 should be clarified.*
- *Amend the 3rd dot point of G80 (Sunbury South) and G70 (Lancefield Road) to add "stabilise and rehabilitate all disturbances caused by development works".*
- *Delete G84 (Sunbury South) and G74 (Lancefield Road). Lots with direct frontage to waterways are not supported by Council. This also contradicts R12 and R65 (Sunbury South) and R13 and R55 (Lancefield Road).*
- *Amend the note on Plan 11 to include reference to Council in addition to Melbourne Water and Western Water.*

Utilities

It is noted that a number of sewer assets are proposed through Holden Flora Reserve and other conservation reserves. It is unclear whether confirmation of support for these alignments has been obtained from DELWP and Parks Victoria.

Additionally, it is noted that a significant number of utilities are proposed within the road reserve along Lancefield Road and Sunbury Road. It is unclear whether existing road reserves and proposed cross sections provide adequate capacity for these utilities.

Changes requested:

- *Plan 12 shows a number of sewer alignments proposed within conservation areas. This contradicts with R88 (Sunbury South) and R84 (Lancefield Road). Clarification/changes are required to address this conflict and confirm the support of DELWP.*
- *Confirm capacity of existing road reserve and proposed cross section to accommodate utilities.*
- *Amend the location of the proposed sewer pump stations on Plan 12 to avoid conflict with the rail line and retarding basins.*
- *Include a new guideline relating to any constructed waterways to be created and landscaped to provide a natural appearance.*

Gas Pipeline

There are no provisions or guidance within the PSP or the UGZ schedule that relate to land uses within the gas pipeline buffer. It is understood, however, that APAs have a number of restrictions on land uses within the buffer. However, it is unclear what these are. Clarification is also required as to the extent to which the concept plan for the sports reserve SR01 is impacted by any land use restrictions within the buffer.

Changes requested:

- *Provide provisions or guidance with the PSP or the UGZ schedule that relate to land within the gas pipeline buffer.*
- *Plan 3 should be amended to show the gas easement for the full length of the easement through the PSP.*
- *It is unclear why UGZ9 subclause 2.4 requires a permit for the use of the land for a residential aged care facility when this is a permit required use under the applied zone.*

High Voltage Electricity Easements (Special Use Zone 9)

Council does not support the inclusion of land subject to an easement within a separate zone, in this instance the Special Use Zone. It is considered that this land should be treated similar to other easements, in that the land is zoned consistent with the adjoining land (that is not subject to the easement). Should the VPA not support this position, the following comments are provided below, and associated changes are requested.

The purpose of the zone includes provision for the development of land generally in accordance with the PSP. However, it is noted that unlike other PSPs that include guidelines, concept plans, and suggested land uses, the Sunbury South PSP provides no direction or guidance on land use or development within the easement.

It is considered inappropriate for the zone to provide for Section 2 Uses (Convenience Shop, Place of Assembly and Transfer Station) that are unlikely to be supported by AusNet. It is considered that this sets up unrealistic expectations for landowners and developers. While it is acknowledged that high voltage electricity transmission easements across Melbourne are located within zones that allow a broad range of uses that don't reflect the restrictions of the easement, the amendment does not deal with an easement in an existing zone, but a zone that has been drafted/tailored to specifically accommodate the easement. It is considered appropriate in this circumstance that the Table of Uses is drafted in a manner that provides for land uses that can realistically be developed within the easement.

In addition, it is noted that there are some errors on Plan 12 and the SUZ9 zone map that need to be corrected to appropriately represent the extent of the electricity easement.

Changes requested:

- *Remove the land subject to the high voltage electricity easement from SUZ9.*
- *If the above change is not made, the following changes are requested:*
 - *Amend the Sunbury South PSP to provide guidelines on land use and development with the electricity easement.*
 - *Remove Convenience Shop, Place of Assembly and Transfer Station from the list of Section 2 uses.*
 - *The Section 3 exemptions for Shop are not consistent with the uses shown in Section 1 and 2. As outlined above, Council requests that Convenience Shop to be removed from Section 2.*
 - *Confirm the width of the two easements and ensure that these are accurately shown on Plan 12 and the zoning maps.*
 - *The titles for the property at 725 Sunbury Road, Sunbury show that the easement width varies from 16m - 20m in width. Amend Plan 12 to remove reference to an easement width of 16m. It is unclear whether the width of the SUZ9 on the zone map needs to be corrected also. (Note: the background report says this easement is 50m wide).*
 - *The zone map shows the electricity easement located only on the property at 725 Sunbury Road, Sunbury. This easement does not terminate at the title boundaries for this property, but runs over the property at 108 Brook Street, Sunbury and the Jacksons Creek RCZ land. Amend the zone map to accurately reflect the length of this easement. The concept plan for SUZ10 should also be amended to reflect the SUZ9 as this will impact on the extent of potential developable area as shown on the plan.*
 - *The title for 605 Sunbury Road, Sunbury shows the electricity easement extending to the southern boundary of the property (Jacksons Creek). Amend the zone map to show SUZ9 extending to the southern boundary of this property.*

17. Precinct Infrastructure Plan and Staging

Council does not support use of the timing column in the Precinct Infrastructure Plan, particularly where the timing of development is uncertain, as is the case here. This was discussed at length with the VPA for *Craigieburn North Employment PSP* where timing of development was equally uncertain.

A number of State Infrastructure items are proposed within the Precinct Infrastructure Plan. The delivery of these items is critical to support the development proposed within the PSPs, and to enable the successful function and operation of the wider Sunbury Township.

In particular a number of State Infrastructure items, such as the Sunbury South Train Station, duplication of arterial roads, and Government Schools are considered critical to support both the existing and proposed community. It is of significant concern to that the level of development proposed by the PSPs has progressed to this point, without any commitment by the State Government to deliver any of these critical infrastructure items. To this end, Council questions how much development should be allowed to proceed without any commitment to the funding or delivery of these items by the State Government.

It is noted that there are a number of inconsistencies between the infrastructure items contained in the Precinct Infrastructure Plan on Plan 13, the corresponding Table 10 and the Infrastructure Co-Ordination and Delivery Strategy. This has resulted in difficulties in reviewing the items proposed to be included in the ICP. In particular, it is unclear whether items have not been

included with the Precinct Infrastructure Plan as they are not proposed to be funded by the ICP or if they have been excluded in error. A full list of items that Council considers should be included with the ICP will be provided once clarification on the inconsistencies with the plans above is confirmed.

It is noted that subclauses 4.12 and 4.11 of Schedules 9 and 10 respectively to the Urban Growth Zone require a condition to be included on subdivision permits relating to the need for Council and the applicant to enter into an agreement to provide for the implementation of a Precinct Infrastructure Plan. Council's practice has been to not include Precinct Infrastructure Plan requirements as conditions on the planning permits or to enter into Section 173 Agreements to enact any Precinct Infrastructure Plan requirements. Whilst the condition may prove useful in the instance of any ICP item needing to be 'locked in' by way of a Section 173 Agreement it is preferable that Council has discretion in applying the condition to permits in appropriate circumstances. In addition, subclause 3.0 of both Schedules also allows the requirements listed under subclause 3.2 (relating to the need for a Public Infrastructure Plan to be submitted with an application) to be waived. Given the preparation of a Precinct Infrastructure Plan can be waived, it is inconsistent for subclauses 4.11 and 4.12 to specify 'must.'

Change requested:

- *That the timing column is removed from Table 10 in both PSPs. If this is not acceptable, it is requested that priorities are used instead of timings and a disclaimer is added at the foot of the table: 'Timing is indicative only – it is subject to infrastructure constraints, the geography of development and priorities of the Collecting Agency, or relevant lead agency.'*
- *Amend subclause 4.12 of Schedule 9 and Condition 4.11 of Schedule 10 to change 'must' to 'may.'*
- *A number of infrastructure items are not included in the Precinct Infrastructure Plan and others are inconsistently shown across the documents. Clarification on the proposed items to be funded by the ICP is requested.*

18. Infrastructure Contributions Plan

It is noted that no ICP has been exhibited with the PSPs. Council has requested on a number of occasions that the PSPs not be exhibited without an ICP given the significant financial implications these contributions plans will have on Council. These concerns have been echoed by a number of other growth area councils at recent panel hearings for other PSPs that have been exhibited without a DCP/ICP.

While the infrastructure contained within the PSPs is largely consistent with *Sunbury HIGAP*, a greater understanding of the cost implications of this infrastructure is required. Council has not seen all the infrastructures costings, and, as such, are unable to determine at this stage whether a supplementary levy is required. The absence of a number of these costings, along with the absence of an ICP at exhibition stage is a significant concern. It is requested that these costings are made available to Council prior to any panel hearing in order for officers to form a position on the need for a supplementary levy.

It is unclear when the ICP will be prepared and whether the ICP would be subject to exhibition. Council requests that it be provided with a copy of the ICP for review and comment as soon as it is available. Additionally, it is requested that the PSPs are not approved until such time as the ICP has been prepared, reviewed, and ultimately endorsed by Council as the Responsible Authority, Collection Agency and Development Agency.

19. Infrastructure Coordination and Delivery Strategy

It is noted that a 'Sunbury Infrastructure Co-Ordination and Delivery Strategy' has been exhibited alongside the two PSPs. The Infrastructure Co-Ordination and Delivery Strategy details the VPA's preferred staging of the infrastructure projects within the precinct.

Council does not support this document, in particular the extent to which it seeks to control the staging of infrastructure. This is considered to be the role and responsibility of Council as the collecting and development agency for infrastructure contributions to decide the priority and staging of infrastructure.

Typically, these decisions are made by Council as a precinct develops in response to development fronts and competing infrastructure demands. It is not considered appropriate for the Strategy to control the priority and staging of infrastructure in the absence of any understanding or assessment of the likely development fronts and staging of development.

Council has concerns with the staging of a number of infrastructure items. Of particular concern, and discussed in Section 13, is the prioritisation of the southern creek crossing as the first item to be delivered across the two precincts. The prioritisation of this item will mean that all contributions for the next 5-10 years will be required to fund this crossing, limiting the ability of Council to fund any other infrastructure within the precincts. This is significant when the approval of the Section 96A permits will establish three new and separate development fronts.

Council requests that this document not form part of the exhibited PSPs documentation and that all references to the strategy within the PSPs and associated documentation, including UGZ schedules, be removed.

20. Contamination

Council is generally supportive of the controls relating to land contamination and the requirement for a Phase 2 Environmental Site Assessment for all properties identified as medium or high risk within the *Land Capability Assessment* (Environmental Earth Sciences, July 2015).

It is noted however that two properties identified as moderate and/or high risk within this report have been left out of Table 3 within the UGZ9. These are 45 Fox Hollow Drive, Sunbury and 785 Sunbury Road, Sunbury. Table 3 should be amended to include 45 Fox Hollow Drive, Sunbury. It is noted that 785 Sunbury Road is proposed to be rezoned to SUZ10 and will not be subject to the provisions of UGZ9. Ministerial Direction 1: Potentially Contaminated Land states that "*in preparing an amendment which would have the effect of allowing (whether or not subject to the grant of a permit) potentially contaminated land to be used for a sensitive use, agriculture or public open space, a planning authority must satisfy itself that the environmental conditions of that land are or will be suitable for that use*". It is noted that the exhibited SUZ10 provides for a number of the land uses as listed above. It is submitted that the SUZ10 be amended to include requirements similar to subclause 3.3 within UGZ9 and UGZ10.

It is noted that the land subject to 96A permit applications for the Wincity Kingfisher Estate and the Villawood Redstone Hill Estate are listed within Table 3 within their respective UGZ schedules as moderate/high risk properties. Neither 96A application has provided a phase 2 assessment. It is noted that the Villawood Redstone Hill application contains a phase 1 assessment. It is considered that both applications do not meet the requirements of subclause 3.3. The applications should not be approved until this requirement is met.

Changes requested:

- *Amend Table 3 in UGZ9 to include 45 Fox Hollow Drive, Sunbury*
- *Amend SUZ10 to include environmental site assessment requirements.*
- *Require the Wincity Kingfisher Estate and the Villawood Redstone Hill Estate 96A permit applications to undertake a phase 2 assessment prior to the approval of any permit.*

21. Buffer Distances

Council supports the inclusion of buffers to the quarry, landfill and composting facility within the Sunbury South PSP.

The UGZ schedule states that the quarry buffer applies to all land within 250m of the extractive industry works authority. However, this is not consistent with the extent of the buffer applied within the PSP plans. As requested at agency consultation these plans should be amended to show the full extent of the buffer.

Changes requested:

- *Amend plans within the PSP to show the full extent of the quarry buffer consistent with the extractive industry works authority.*
- *Amend the heading of UGZ9 subclause 2.12 UGZ9 to remove reference to the property address. The heading implies that the buffer relates to this specific property, when the buffer applies to a number of other properties.*
- *UGZ9 subclause 3.9 refers to a 1.3km buffer as shown on Map 1 of the Schedule and Plan 3 of the PSP however the plans both show this buffer as 'TBC' in the legend. Clarification is required on the extent of the buffer.*

22. Service Placement Guidelines

Changes requested:

- *Amend drainage and trunk services to 'no' under kerb.*
- *Amend drainage to 'preferred' under nature strips.*
- *After 'other non-standard outcomes are encouraged', add "to the satisfaction of the Responsible Authority".*
- *Add the following text at the end of Note 2, "where services are placed under road pavement and paths, Level 1 supervision of compacted crushed rock backfill is required".*
- *Add the following text at the end of dot point 4, "within widened nature strips", so as to allow room for street trees and paths that are often in conflict with service authority requirements.*

23. Special Use Zone – Schedule 10

It is acknowledged that SUZ10 has been drafted in response to a request from the landowner to be removed from the Sunbury South PSP. Council is supportive of this property being removed from the Sunbury South PSP on the basis that the SUZ10 provides for the continued use and development of the land for a vineyard and winery, and that complementary and compatible land uses operate in association with the vineyard and winery.

Council has worked with the VPA on the drafting of this schedule and overall is satisfied with the final version of the schedule, subject to a number of changes.

Changes requested:

- *Request that the second purpose "to provide for the use and development of land for tourism purposes" be removed. Consistent with previous correspondence Council*

does not support this purpose as it restricts the use of the site to 'tourism purposes'. It is considered that the first purpose provides for a wide range of land uses, inclusive of tourism.

- *Art Gallery is not supported as a Section 1 Use. Art Gallery as a land use is considered to be of a similar scale and nature to the land uses listed in Section 2. It has the potential to be a large scale use with a range of impacts e.g. traffic, that need to be adequately assessed. As such, this land use should be subject to the same application requirements as the other Section 2 land uses e.g. the application should demonstrate the suitability/scale/appropriateness of the use and have it subject to conditions.*
- *Section 3 lists 'Warehousing' as a prohibited use other than Freezing and Cool Storage, Milk Depot, Rural Store, Solid Fuel Depot and Vehicle Store. All Warehousing should be prohibited in the zone (apart from rural store) as these do not match the purpose to the zone, which is to use the land for a vineyard and winery.*
- *A previous version of the SUZ10 reviewed by Council contained an application requirement that site plans showed "the extension of the existing Jacksons Creek shared path through the site". The Jacksons Creek shared path is an important pedestrian and cycle connection that will ultimately extend the length of the Jacksons Creek Regional Park. The Conservation Area Concept Plans show this shared path extending the length of Jacksons Creek through both the Sunbury South and Lancefield Road PSPs. However, as this site is proposed to be removed from the Sunbury South PSP, the Conservation Area Concept Plans shows this path terminating at both boundaries of the subject site. It is important that the SUZ10 schedule identifies the need to provide for this shared path on the subject site to ensure that this important recreational link can be delivered along the full length of the Jacksons Creek Regional Park. It is requested that the original wording as stated or (or a similar requirement) be reinserted into the SUZ10.*
- *Amend decision guideline "How the use or development conserves the values of Jacksons Creek", replacing 'conserve' with 'protects and enhances', consistent with the objectives for Jacksons Creek contained within the PSPs.*

24. 96A Permit Applications

There is a large amount of inconsistency between the three 96A permit applications, the future urban structure, and the requirements of the PSPs and UGZ schedules.

In particular it is noted that the permits are inconsistent with:

- Elements of the future urban structure, in particular road alignments, road cross sections, passive open space, and drainage.
- The extent of the developable area as shown within the PSPs, with development areas encroaching on significant landscape values and drainage land.
- The application requirements of UGZ schedule, including (but not limited to), requirements for subdivision and housing guidelines, environmental site assessments, traffic impact assessment reports and slope guidelines.
- Permit condition requirements within the UGZ schedule, including (but not limited to), requirements for permit conditions relating to sloping land, Redstone Hill height controls, and bushfire risk.

The extent to which the permits are inconsistent with the PSPs and UGZ schedules is disappointing, and has resulted in additional difficulty and time required by Council in assessing the permits.

The three 96A permit applications should be subject to the same requirements as all other permit applications within a PSP, and should be approved in accordance with all requirements of the PSPs and UGZ schedules. A review of the planning permit against the requirements of the Schedule must be undertaken to ensure all required conditions are included on the planning permit. It is requested that the permits not be approved until these outstanding matters are resolved. It is noted that a Cultural Heritage Management Plan has not yet been approved for the Sherwood Heights 96A application.

Given the extent to which the 96A applications will need to be amended to ensure consistency and compliance with the requirements of the PSPs and the UGZ schedule, a complete assessment of the 96A applications has not been provided within this submission.

25. Miscellaneous Comments

- It is noted that the schedule to Clause 52.02 seeks to remove two restrictive covenants from properties in Stockwell Drive, Sunbury. It is understood that the covenants are sought to be removed as they restrict further development of the land. It is unclear whether these two covenants represent an exhaustive list of all covenants required to be removed as part of the PSP amendment process.
- Whilst the significant tree retention guideline G5 is supported, this will be difficult to achieve without a permit trigger for the removal of non-indigenous trees, as significant non-indigenous trees are often removed before permit applications are received.
- Clarity is required regarding whether the following roads/land is included within the PSPs
 - Old Vineyard Road
 - Racecourse Road
 - Land adjoining the escarpment of Emu Creek that is outside of the UGB (break of slope to further back than UGB).

26. Minor Edits, Corrections and Errors

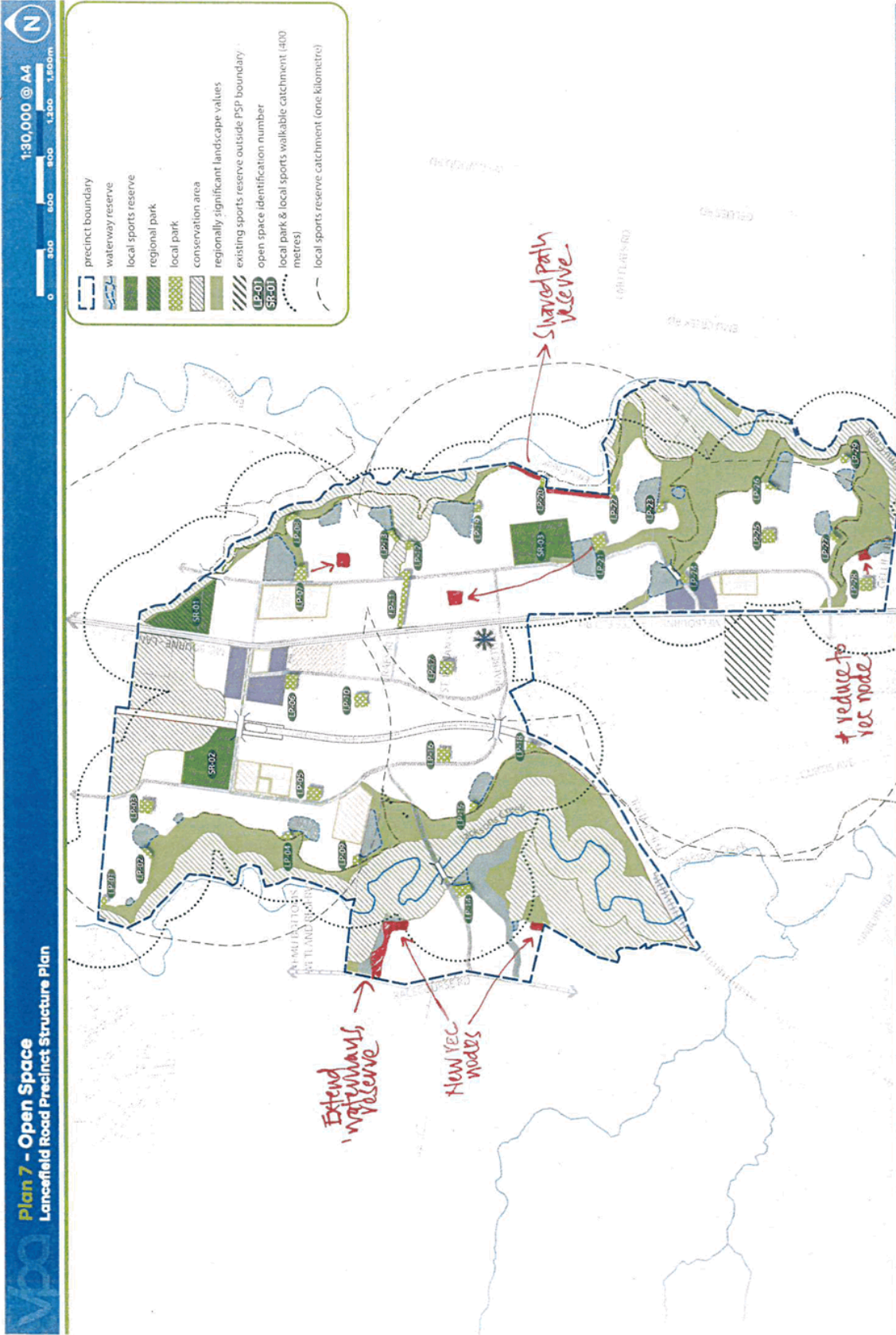
In addition to the matters outlined above, Council has identified a significant number of errors in the exhibited PSPs and associated amendment documentation. These errors largely consist of typographical mistakes, omissions and inconsistencies both within and across the documents.

Whilst many of these are inconsequential, a number of them have significant implications, particularly those relating to the land use budget and infrastructure items. The implications of these errors, if left unresolved will likely, result in significant contribution shortfalls and issues with implementation of the PSPs.

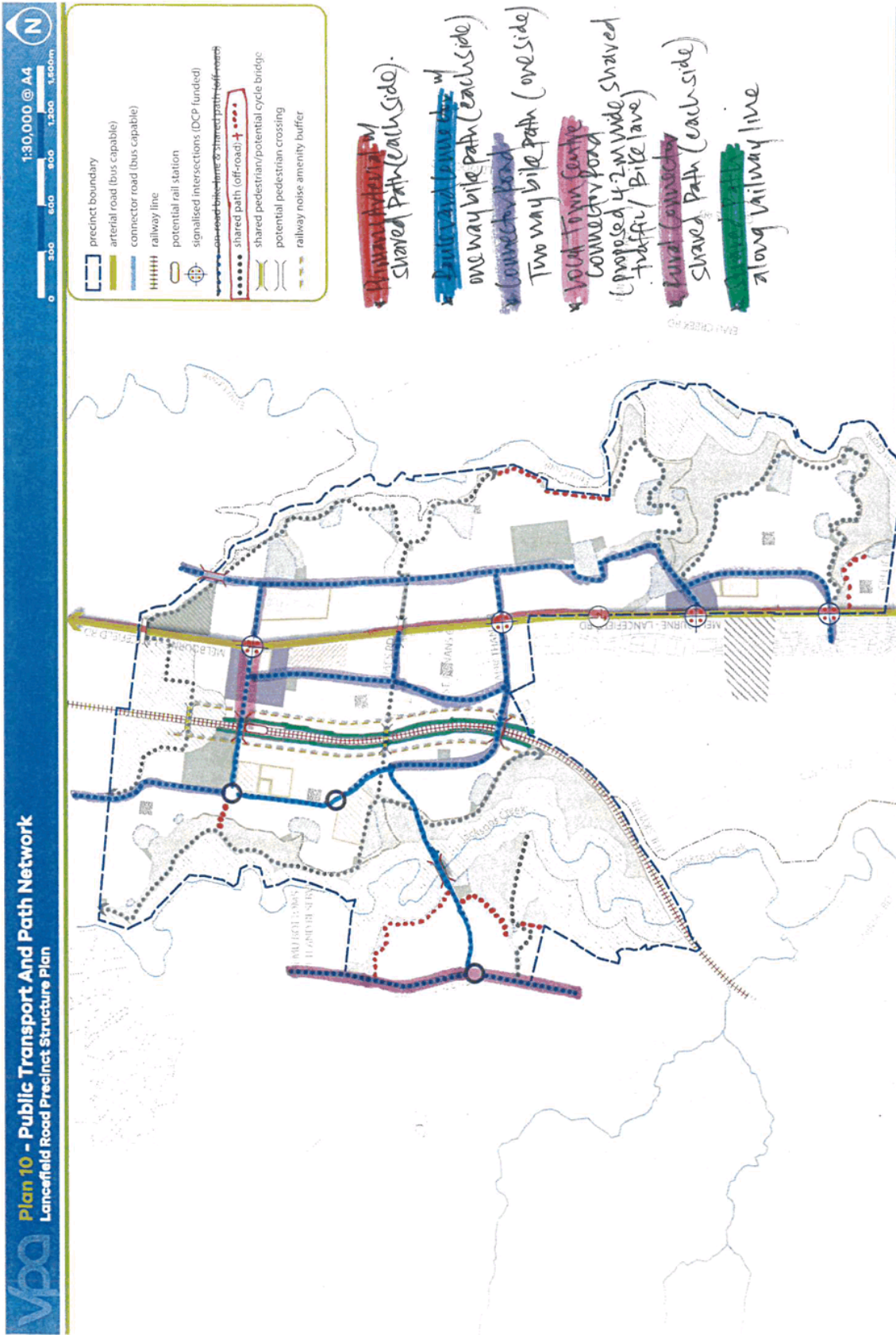
The number of errors identified in the documents has made review of the PSPs and associated documents time consuming and difficult. In many cases Council has been unable to adequately assess the PSPs and associated documents due to the conflicting and inconsistent information, and lack of response from the VPA to requests for clarification.

In reviewing the PSPs, a list of identified errors has been collated. This will be provided to the VPA separate to this submission.

Attachment 1



Attachment 3



REPORT NO:	SU197
REPORT TITLE:	Statutory Planning Monthly Report February 2017
SOURCE:	Richard Siedlecki, Coordinator Statutory Planning
DIVISION:	Planning and Development
FILE NO:	-
POLICY:	Hume Planning Scheme
STRATEGIC OBJECTIVE:	4.1 Facilitate appropriate urban development while protecting and enhancing the City's environment, natural heritage and rural spaces.
ATTACHMENTS:	Nil

1. SUMMARY OF REPORT.

This report incorporates the VCAT appeals update and decisions made by Council officers under delegation. This report also details some performance indicators.

1.1 Performance

Included within this report are bar charts illustrating the following key performance Indicators:

- Planning applications received and determined in the previous month.
- Outstanding applications.
- Average gross days in dealing with planning applications.
- Percentage of applications issued in 60 days or less.
- Percentage of applications issued in 60 days or less based on difficulty of applications.

The number of permit applications received in December 2016 was the fourth highest monthly total for the past twelve months. The number of applications received in January 2017 was approximately half that received the previous month. Permits issued in December fell by approximately 46% compared to November but rose by approximately 22% for the month of January.

Whilst the number of outstanding applications rose in December by approximately 6% compared to November, there was a reduction in those outstanding between December and January of approximately 3 percent.

The average number of gross days taken to determine planning applications in 60 days increased in December by approximately 28% and fell by approximately 21% in January. The average number of gross days taken was still below that of growth and metropolitan Councils. The percentage of applications issued in 60 days or less fell by approximately 6% in December but increased by 9% in January.

The percentage of simple applications issued in 60 days or less decreased by 39% in December yet increased by 18% in January. Average applications issued in 60 days or less increased by 15% in December and fell by 2% in January. Sixteen percent of complex applications were issued within 60 days or less in December while the figure for January was 33 percent.

The table representing this data has been adjusted to accurately represent time frames and other reporting frameworks available to Council.

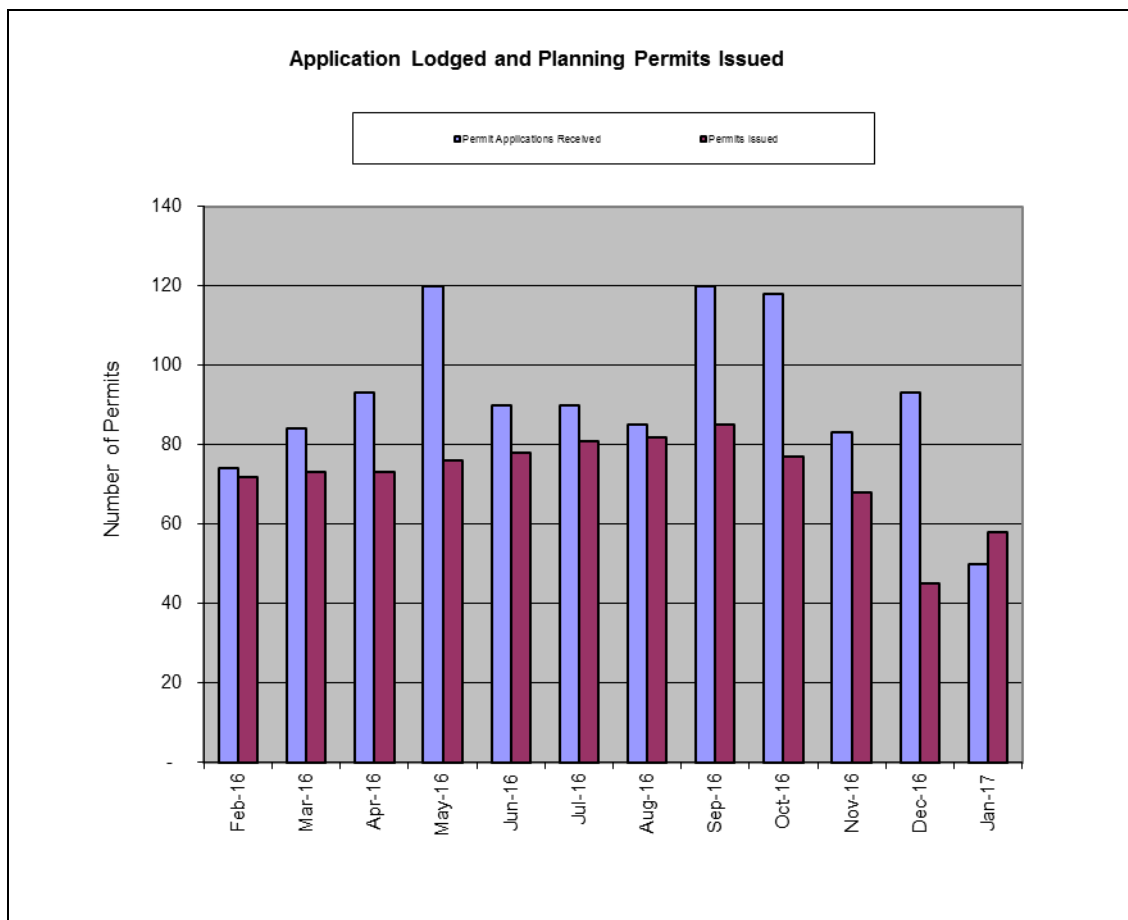
REPORT NO: SU197 (cont.)

1.2 Delegated matters

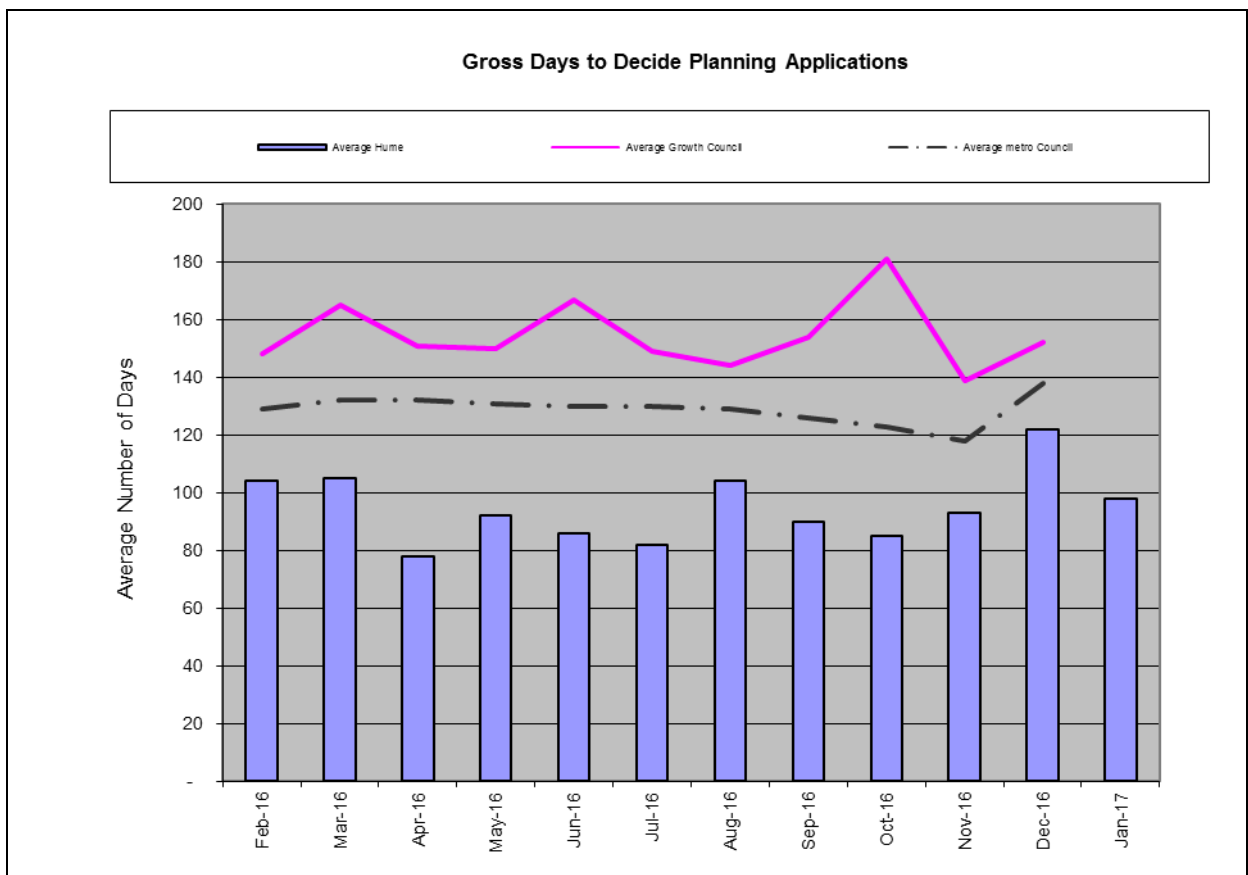
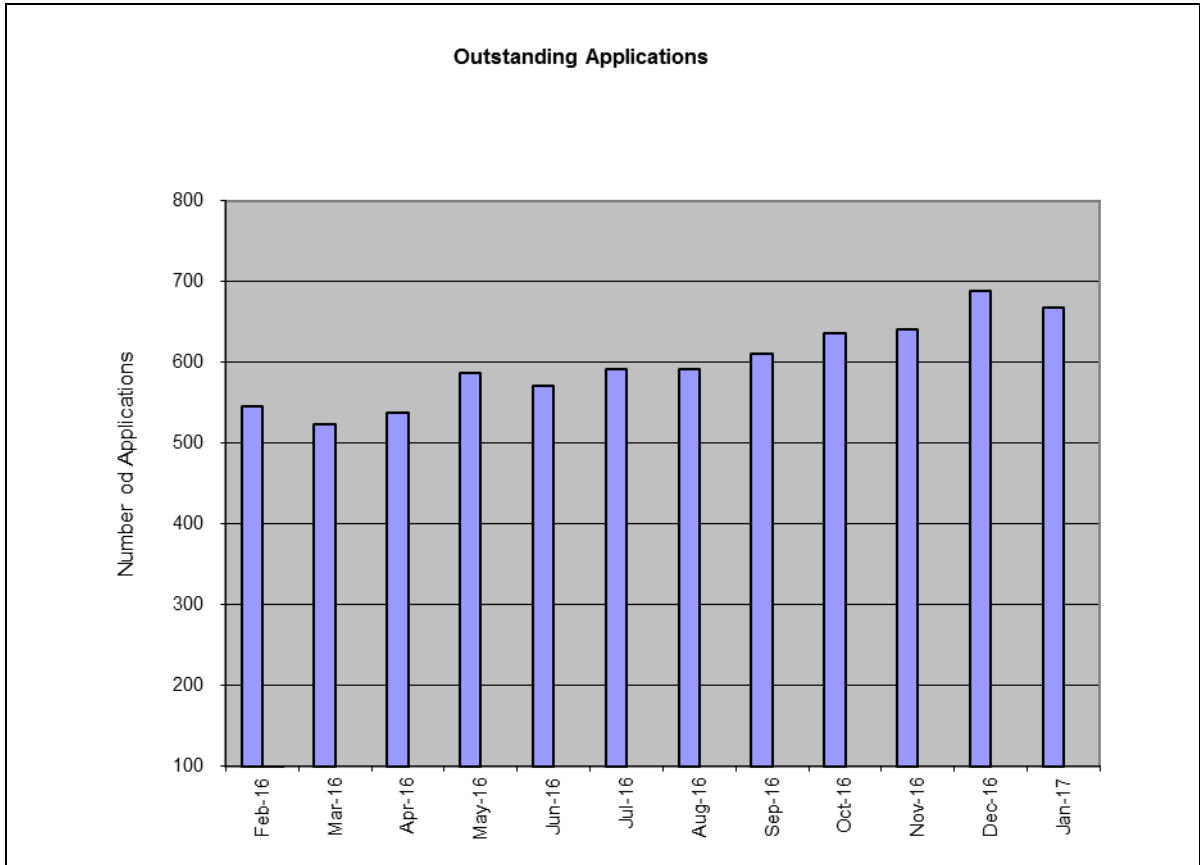
The table within Section 4 of this report further details applications that have been determined under delegated authority including planning applications that receive two objections or less, applications to amend planning permits or plans, applications to extend planning permits, applications to certify plans of subdivision, and the issuing of Statements of Compliance under the Subdivision Act and Section 173 Agreements signed under delegation.

2. RECOMMENDATION:

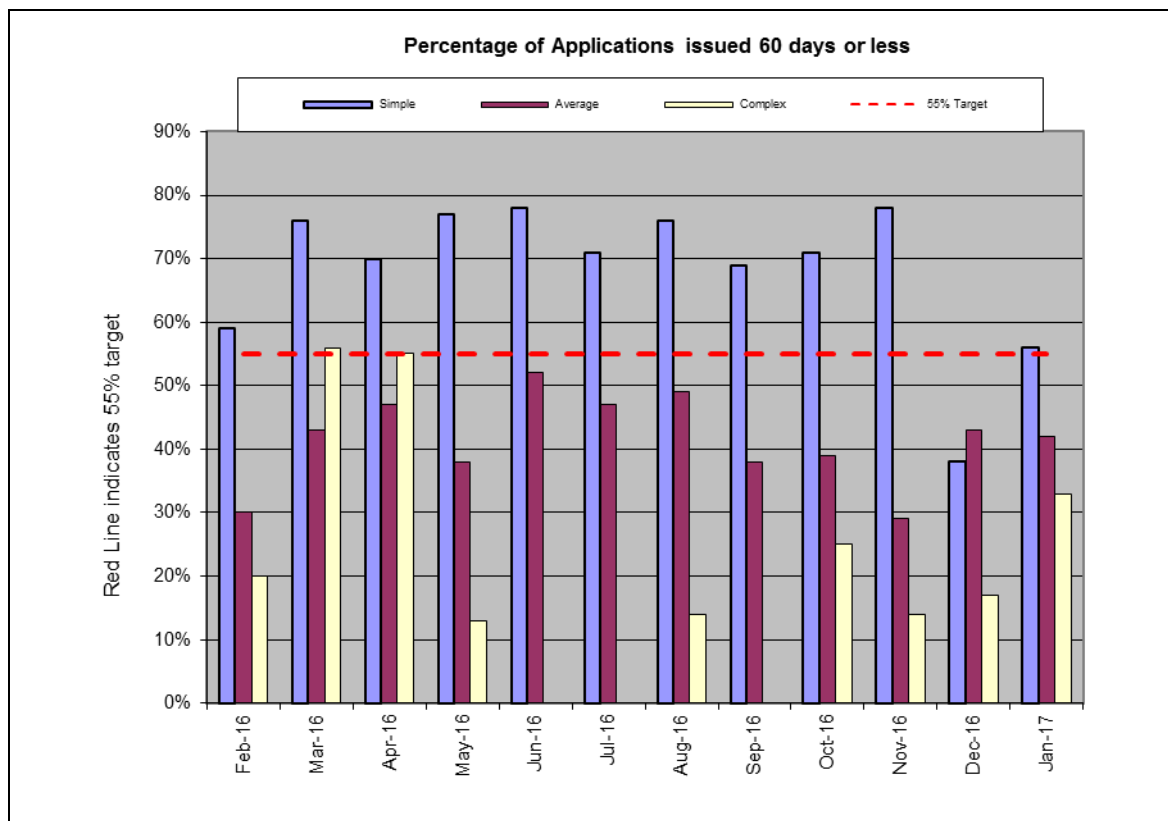
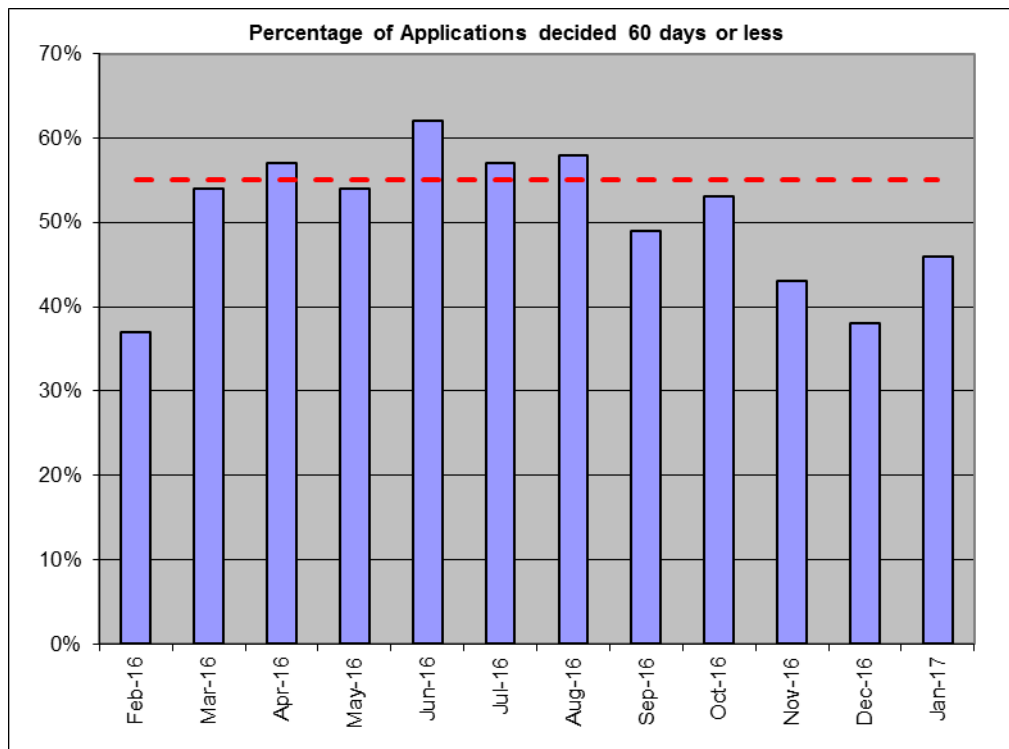
That the report be noted.



REPORT NO: SU197 (cont.)



REPORT NO: SU197 (cont.)



REPORT NO: SU197 (cont.)

3. APPEAL DECISIONS TO DATE.

- 3.1 This report includes all VCAT decisions received in the months of December 2016 and January 2017, and includes the current month prior to the Council meeting to give Council a more up to date report on VCAT decisions.
- 3.2 Council's refusal to grant a permit to use land at 319 Barry Road, Campbellfield for the sale of packaged liquor has been set aside by VCAT. The Tribunal was not satisfied that the proposed use of the land and the reduction in the car parking that would otherwise be required to be provided on site will have a significant negative social or economic effect on the community.
- 3.3 Council's refusal for an application to use land at 44-46 Kyabram Street, Coolaroo for a Place of Assembly, (Function Centre and Place of Worship), Leisure and Recreation, Education Centre, Food and Drink Premises, Caretakers House, Office and Utility Installation has been set aside by VCAT. The Tribunal considered that whilst Council's concerns are legitimate they are overstated in this proceeding. The Tribunal further considered that while the proposed use of the land will be an intensive one, the range of proposed land uses have been carefully arranged on site so as to avoid potential conflicts with both the nearby industrial and residential land uses.

WARD	APP. NUMBER	PROPOSAL	ADDRESS	DECISION	APPEAL TYPE	DATE	STATUS
Aitken Ward	P17604	Clean fill site	350 Konagaderra Road, Oaklands Junction	Failure to determine	Appeal by applicant	6/12/2016	Awaiting further orders from VCAT
Aitken Ward	P19104	Use of shop for sale of liquor and business identification sign.	319 Barry Road, Campbellfield.	Notice of Refusal to Grant a Permit	Appeal by applicant	24/10/2016	Council decision set aside and directed that permit issue.
Aitken Ward	P19248	Development of land for 54 dwellings	11-33 Sommeville Drive, Roxburgh Park	Failure to determine	Appeal by applicant	30/11/2016	Awaiting decision
Meadow Ward	P18846	Place of Assembly (Function Centre/Place of Worship), Indoor recreation facility/gymnasium, education centre, food and drink premises, caretaker's residence, radio mast and reduction in car parking.	44-46 Kyabram Street, Coolaroo	Notice of Refusal to Grant a Permit	Appeal by applicant	15/12/2016	Council decision set aside and directed that permit issue.
Jacksons Creek Ward	P19343	Service station and advertising signage.	94-96 Horne Street, Sunbury	Failure to determine	Appeal by applicant	Compulsory conference 1/3/2017	Full hearing 18-20 April 2017
Jacksons Creek Ward	P19377	Two floodlit major promotional sky signs	70-90 Garden Drive, Tullamarine.	Failure to determine	Appeal by applicant	14/2/2017	To be heard
Aitken Ward	P19438	Two lot subdivision	29 Haddington Crescent, Greenvale	Notice of Refusal to Grant a Permit	Appeal by applicant	26/5/2017	To be heard
Aitken Ward	P19545	Service station, signage, convenience shop,	565 Mickleham Road, Greenvale	Failure to determine	Appeal by applicant	Compulsory conference 23/2/2017	Full hearing 3-4 April 2017

REPORT NO: SU197 (cont.)

WARD	APP. NUMBER	PROPOSAL	ADDRESS	DECISION	APPEAL TYPE	DATE	STATUS
		vegetation removal, access to main road and car parking reduction.					
Aitken Ward	P19584	Multi-lot subdivision	50 and 80 Carroll Lane, Greenvale	Failure to determine	Appeal by applicant	Compulsory conference 15/2/2017	Full hearing 3-4 April 2017
Aitken Ward	P18739	Landscaping works using clean fill	335 Old Sydney Road, Mickleham	Appeal against several conditions	Appeal by applicant	16/6/2017	To be heard
Aitken Ward	P18003	Application to amend ingress-egress arrangements.	765-785 Mt.Ridley Road, Yuroke and 1775 Mickleham Road. Oaklands Junction.	Failure to determine.	Appeal by applicant	Practice day hearing 17/3/2017 Compulsory Conference 16/5/2017 Hearing Date 26-28/6/2017	Awaiting further orders from VCAT
Moonee Valley Ward	P17268	Community market with associated business identification signage and reduction in car parking.	80A and 80-90 Blair Street, Broadmeadows	Application to VCAT to cancel permit	Application by land owner	Practice day hearing 3/2/2017	Awaiting further orders from VCAT

4. MATTERS DETERMINED UNDER DELEGATION

The following table lists all matters dealt with under delegation between 29 November 2016 and 6 February 2017.

MATTERS DEALT WITH UNDER DELEGATION			
P14117	Double storey dwelling to the rear of an existing dwelling	10 Bodmin Ct, Craigieburn	Amended plans endorsed (Secondary Consent)
P14579	Single storey dwelling	321 Arundel Rd, Keilor	Extension of Time issued
P14772	Three double storey dwellings	4 Kiata Ct, Coolaroo	Extension of Time issued
P14797	Ten level building & basement carpark, comprising offices, medical centre with seven practitioners, associated dispensary, 67 dwellings and reduction in car and bicycle parking requirements	1-3 Pearcedale Pde, Broadmeadows	Extension of Time issued
P15560	Extensions to existing retail plant nursery including ancillary cafe	595 Mickleham Rd, Greenvale	Extension of Time issued
P16187	Animal boarding facility and dog park in conjunction with car park and signage	1 Uniting Lane, Bulla	Extension of Time issued
P16207	Double storey dwelling at rear of an existing dwelling	13 Officer St, Meadow Heights	Extension of Time issued
P16735	Two double storey dwellings	17 Kinloch Gr, Greenvale	Amended plans endorsed (Secondary Consent)

REPORT NO: SU197 (cont.)

MATTERS DEALT WITH UNDER DELEGATION			
P16989	One double storey dwelling at the rear of an existing dwelling	11 Lismore St, Dallas	Extension of Time issued
P16994	Double storey dwelling adjacent to an existing single storey dwelling	21 Johnson Ct, Roxburgh Park	Extension of Time issued
P17014	Single storey dwelling at the rear of an existing dwelling	9 Cooper St, Broadmeadows	Extension of Time issued
P17062	Two double storey dwellings to the rear of an existing dwelling	27 Elliott Ave, Broadmeadows	Extension of Time issued
P17166	Two single storey dwellings	13 Ventnor Cres, Coolaroo	Extension of Time issued
P17272	Alterations and additions to an existing dwelling	14 Malcolm St, Kalkallo	Extension of Time issued
P17292	Single storey dwelling	1200 Somerton Rd, Oakland Junction	Extension of Time issued
P17331	Six double storey and two single storey dwellings	132 Cuthbert St, Broadmeadows	Extension of Time issued
P17456	Single storey dwelling to the rear of an existing dwelling	9 Bannister St, Jacana	Extension of Time issued
P17601	Multi-lot subdivision	355 Donnybrook Rd, Mickleham	Amended plans endorsed (Secondary Consent)
P17865	Single storey dwelling to the rear of an existing dwelling	3 St Austell Ct, Craigieburn	Extension of Time issued
P18047	Two dwellings	57 Vantage Bvd, Craigieburn	Amended plans endorsed (Secondary Consent)
P18277	Single storey dwelling to the rear of an existing dwelling with garage and development of carport for existing dwelling	145 Riggall St, Broadmeadows	Amended plans endorsed (Secondary Consent)
P18321	Service station with landfill and signage	175 Donald Cameron Dr, Roxburgh Park	Amended plans endorsed (Secondary Consent)
P18882	Food technology building, chapel and maintenance facility	37-101 Lysterfield Dr, Greenvale	Amended plans endorsed (Secondary Consent)
P19033	Two double storey dwellings to the rear of an existing dwelling	47 Walsh St, Broadmeadows	Amended plans endorsed (Secondary Consent)
P19111	One double storey dwelling and two single storey dwellings	13 Banksia Gr, Tullamarine	Amended plans endorsed (Secondary Consent)
P19312	One single storey dwelling	115 Oaklands Rd, Bulla	Amended plans endorsed (Secondary Consent)
P19349	Two double storey dwellings	2 Vivid Way, Craigieburn	Amended plans endorsed (Secondary Consent)
P19365	One single storey dwelling and three double storey dwellings	159 Widford St, Broadmeadows	Amended plans endorsed (Secondary Consent)
P19548	Double storey dance school with warehouse to rear	6 Bubeck St, Sunbury	Amended plans endorsed (Secondary Consent)
P17039.01	Eight metre high internally illuminated and animated pole (pylon) sign	1470-1474 Sydney Rd, Campbellfield	Amended plans endorsed and amended permit issued

REPORT NO: SU197 (cont.)

MATTERS DEALT WITH UNDER DELEGATION			
P16044.02	Four double storey dwellings	32 Elliott Ave, Broadmeadows	Amended plans endorsed
P14622.02	Service industry (tyre fitting) and trade supplies with advertising signs	66-68 Horne St, Sunbury	Amended plans endorsed
P19140.01	Two double storey dwellings	18 Calivil St, Dallas	Amended plans endorsed and amended permit issued
P18939.01	Two single storey dwellings	17 Lalor Cres, Sunbury	Amended plans endorsed
P14180.01	Advertising signage	21-23 Evans St, Sunbury	Amended plans endorsed
P16810.02	Place of assembly including place of worship	60-66 Kyabram St, Coolaroo	Amended plans endorsed
P6806.03	Place of worship and place of assembly and classrooms	56-58 Kyabram St, Coolaroo	Amended plans endorsed and amended permit issued
P17363.01	Three double storey dwellings and one single storey dwelling	1 Clyne Ct, Tullamarine	Amended plans endorsed
P18414.02	Convenience restaurant (Hungry Jack's) with drive thru facility and signage	78-82 Bulla Rd, Bulla	Amended plans endorsed
P6721.01	On-premises restaurant and café licence	52A-52B Macedon St, Sunbury	Amended plans endorsed and amended permit issued
P19523.01	Two single storey dwellings	225 Gap Rd, Sunbury	Amended plans endorsed
P16808.01	Two single storey dwellings and two lot subdivision	75 Gap Rd, Sunbury	Amended plans endorsed
P18283.01	Athletics track, pavilion and minor sports and recreation facility (incorporating events space) and indoor recreation facility with parking and signage	1-71 Marathon Bvd, Craigieburn	Amended plans endorsed and amended permit issued
P19884.01	Single storey dwelling on lot under 300m ²	43 Vautier Ave, Mickleham	Amended plans endorsed
P18036.01	Seven warehouses with reduction in car parking	39 Nathan Dr, Campbellfield	Amended plans endorsed
P19308.01	Single storey dwelling to the rear of an existing dwelling	20 Amstel St, Craigieburn	Amended plans endorsed
P19806.01	Single dwelling and associated outbuildings	27 Heidi Way, Mickleham	Amended plans endorsed
P19246.01	Two double storey dwellings and one single storey dwelling	13 Waratah Ave, Tullamarine	Amended plans endorsed and amended permit issued
P19738.01	Four lot re-subdivision	1/20 Zakwell Ct, Coolaroo	Amended plans endorsed and amended permit issued
P12546.01	Eighteen room motel, convenience shop, caretaker's residence and sixty place childcare centre	730 Elizabeth Dr, Sunbury	Amended permit issued
P18244	One double storey dwelling to the rear of an existing single storey dwelling	41 Pinnaroo Cct, Meadow Heights	Permit issued
P18362	Three double storey dwellings	20 Navarre Ct, Meadow Heights	Permit issued

REPORT NO: SU197 (cont.)

MATTERS DEALT WITH UNDER DELEGATION			
P18471	Single storey dwelling to the rear of an existing dwelling	4 Stevenson St, Broadmeadows	Permit issued
P18807	Three double storey dwellings	340 Melrose Dr, Tullamarine	Permit issued
P19079	Two double storey dwellings and one single storey dwelling	108 Kitchener St, Broadmeadows	Permit issued
P19127	Two double storey dwellings	51 Natural Dr, Craigieburn	Permit issued
P19196	Double storey dwelling to the rear of an existing dwelling	1 Bullrush Ct, Meadow Heights	Permit issued
P19260	Three double storey dwellings and one single storey dwelling	20 Housden St, Broadmeadows	Permit issued
P19268	Three double storey dwellings	143 Sunset Bvd, Jacana	Permit issued
P19348	Single storey dwelling to the rear of an existing dwelling	26 Tatura Cres, Broadmeadows	Permit issued
P19371	One double storey dwelling and one single storey dwelling	15 Weemala Ct, Meadow Heights	Permit issued
P19395	Materials recycling (tyre and electronic waste recycling) and reduction car parking	175-215 Maygar Bvd, Broadmeadows	Permit issued
P19417	Construction of building in association with materials recycling	10/51-53 Glenbarry Rd, Campbellfield	Permit issued
P19453	Three double storey dwellings	575D Craigieburn Rd, Craigieburn	Permit issued
P19508	Fourteen warehouses and reduction in car parking on land covered by a heritage overlay and environmental significance overlay	41 Merri Con, Campbellfield	Permit issued
P19510	Single storey dwelling to the rear of an existing dwelling	36 Riggall St, Dallas	Permit issued
P19528	Three double storey dwellings	5 Avalon Ave, Broadmeadows	Permit issued
P19560	Double storey dwelling	150 Old Sydney Rd, Mickleham	Permit issued
P19605	Seven factories	10 Cummins Dr, Somerton	Permit issued
P19621	Three double storey townhouses	1 Accolade Dr, Craigieburn	Permit issued
P19641	Subdivision (including super lots) in stages, removal of native vegetation and associated buildings & works	120S Waterview Bvd, Craigieburn	Permit issued
P19660	Two double storey dwellings and one single storey dwelling	22 Holberry St, Broadmeadows	Permit issued
P19678	Two lot subdivision	1/3 Edmund St, Dallas	Permit issued
P19681	Variation of easement	256-262 Craigieburn Rd, Craigieburn	Permit issued
P19700	Three double storey dwellings	19 Cooper St, Broadmeadows	Permit issued
P19701	Two warehouses and offices including reduction in car parking	16 Kurrle Rd, Sunbury	Permit issued
P19705	Multi-lot subdivision and dwellings on lots under 300m ²	425 Donnybrook Rd, Mickleham	Permit issued
P19707	1 double storey dwelling to rear of existing dwelling	23 Manningtree Pde, Craigieburn	Permit issued
P19728	Two double storey dwellings (side by side)	3 Theresa St, Tullamarine	Permit issued

REPORT NO: SU197 (cont.)

MATTERS DEALT WITH UNDER DELEGATION			
P19741	Five lot subdivision	8 Shankland Bvd, Meadow Heights	Permit issued
P19743	Three double storey dwellings	10 Congram St, Broadmeadows	Permit issued
P19747	Buildings and works to existing place of worship and hall structure, removal of trees and increase car parking facility	825 Somerton Rd, Greenvale	Permit issued
P19748	Two double storey dwellings	175A James Mirams Dr, Roxburgh Park	Permit issued
P19753	Two double storey dwellings and one single storey dwelling	4 Seymour St, Broadmeadows	Permit issued
P19778	Warehouse and office with reduction in car parking	7 Poa Ct, Craigieburn	Permit issued
P19789	Three double storey dwellings and one single storey dwelling	18 Walsh St, Broadmeadows	Permit issued
P19816	Two warehouses with offices and reduction in car parking	6 Connection Dr, Campbellfield	Permit issued
P19827	Two double storey dwellings with garages	10 Zeal Way, Craigieburn	Permit issued
P19828	Change of use to licensed food and drink premises with dispensation in car parking	55 O'Shanassy St, Sunbury	Permit issued
P19842	Two lot subdivision	9 Natural Dr, Craigieburn	Permit issued
P19848	Mezzanine level to existing building	302 Hume Hwy, Craigieburn	Permit issued
P19855	Two lot subdivision	9-11 International Dr, Westmeadows	Permit issued
P19857	Warehouse with office space	64-70 Merola Way, Campbellfield	Permit issued
P19869	Two double storey dwellings	575G Craigieburn Rd, Craigieburn	Permit issued
P19873	Double storey dwelling to the rear of an existing dwelling	9 Metropolitan Ave, Craigieburn	Permit issued
P19874	Verandah for outdoor area	360-390 Barry Rd, Coolaroo	Permit issued
P19889	Extension to existing industrial building and widening of existing crossover with reduced car parking	20-22 Ainslie Rd, Campbellfield	Permit issued
P19892	Renovations to improve existing façade, landscaping works and illuminated signage	2-16 Cuthbert St, Broadmeadows	Permit issued
P19899	Office associated with existing factory and reduction in car parking	24 Kinder St, Campbellfield	Permit issued
P19904	Warehouse and offices	64-70 Merola Way, Campbellfield	Permit issued
P19905	Change of use to allow sale of motor homes and caravans	1876-1878 Sydney Rd, Campbellfield	Permit issued
P19912	Warehouse with offices and reduction in car parking	14 Amcor Way, Campbellfield	Permit issued
P19920	Extension to existing dwelling	50 Callaway Dr, Mickleham	Permit issued
P19923	Four lot subdivision	15 Inlet St, Roxburgh Park	Permit issued
P19925	Three lot subdivision	123 Arena Ave, Roxburgh Park	Permit issued

REPORT NO: SU197 (cont.)

MATTERS DEALT WITH UNDER DELEGATION			
P19932	Signage to replace existing signage	2074-2080 Sydney Rd, Campbellfield	Permit issued
P19941	Warehouse and ancillary office space	13 Fleet St, Somerton	Permit issued
P19945	Fourty-three lot subdivision	64 Escapade Bvd, Craigieburn	Permit issued
P19953	Extension to existing motor vehicle sales showroom and signage	215 Somerton Rd, Coolaroo	Permit issued
P19954	Internally illuminated pylon sign	30 O'Herns Rd, Somerton	Permit issued
P19967	Extension to existing warehouse	10 Military Rd, Broadmeadows	Permit issued
P19974	Car rental and car sales	2/85 Hume Hwy, Somerton	Permit issued
P19979	Two lot subdivision	26 Tatura Cres, Broadmeadows	Permit issued
P19985	Warehouse with office	41 Fabio Ct, Campbellfield	Permit issued
P20000	Two lot subdivision	16 Abercarn Ave, Craigieburn	Permit issued
P20002	Extension to existing boiler facility	121-209 Camp Rd, Broadmeadows	Permit issued
P20022	Advertising signage	34 Somerton Rd, Somerton	Permit issued
P20025	Advertising signage	805 Somerton Rd, Greenvale	Permit issued
P20031	Three lot subdivision	4 Clare Bvd, Greenvale	Permit issued
P20034	Three lot subdivision	13 Selwyn Ave, Craigieburn	Permit issued
P20035	Three lot subdivision	59 Waranga Cres, Broadmeadows	Permit issued
P20040	Nlne lot subdivision	1-3 Maygar Bvd, Broadmeadows	Permit issued
P20044	Three lot subdivision	3 Everglade Cres, Roxburgh Park	Permit issued
P20073	Alterations to existing convenience restaurant and car park including signage	239-241 Mickleham Rd, Westmeadows	Permit issued
P20077	Two warehouses with offices	15 Northpark Dr, Somerton	Permit issued
P20104	Double storey dwelling in MAEO2	6 Mackay St, Greenvale	Permit issued
P20110	Use of building for school administration building	24-46 Inverloch Cres, Dallas	Permit issued
P20130	Two lot subdivision	10 Pebble Beach Ct, Sunbury	Permit issued
P20133	Major promotion sign	130-140 Melrose Dr, Tullamarine	Permit issued
P20143	Three lot subdivision	144 Widford St, Broadmeadows	Permit issued
P20144	Two lot subdivision	102 Waranga Cres, Broadmeadows	Permit issued
P20146	Buildings and works to south portion of existing school building	88-94 South Circular Rd Gladstone Park	Permit issued
P20147	Upgrade of existing drive-thru facility, including display of electronic signage	1171-1175 Pascoe Vale Rd, Broadmeadows	Permit issued
P20148	Upgrade of existing drive-thru facility, including display of electronic signage	7-11 Horne St, Sunbury	Permit issued

REPORT NO: SU197 (cont.)

MATTERS DEALT WITH UNDER DELEGATION			
P20149	Upgrade of existing drive-thru facility, including display of electronic signage	1410-1424 Sydney Rd, Fawkner	Permit issued
P20150	Upgrade of existing drive-thru facility, including display of electronic signage	256-262 Craigieburn Rd, Craigieburn	Permit issued
P20151	Upgrade of existing drive-thru facility, including display of electronic signage	173 Mickleham Rd, Westmeadows	Permit issued
P20155	Two lot subdivision	21 Gilmour Ct, Meadow Heights	Permit issued
P20162	Industry, business signage and reduction in car parking	50 Donnybrook Dr, Mickleham	Permit issued
P20191	Three lot subdivision	1/3 Lydia Ave, Campbellfield	Permit issued
S007794	Two lot subdivision	39 Carnoustie Drive, Sunbury	Plan certified on 30 November 2016
S007987	Two lot subdivision	1170 Mickleham Road, Greenvale	Plan certified on 30 November 2016
S007946	Fifty-eight lot subdivision	1-15 Beddison Road, Craigieburn	Statement of Compliance issued on 30 November 2016
S007651	Fourty lot subdivision	575 Craigieburn Road, Craigieburn	Plan re-certified on 1 December 2016
S007839	Two lot subdivision	23 Euphoria Street, Craigieburn	Plan certified with Statement of Compliance on 1 December 2016
S007758	29 lot subdivision Rosenthal Estate - Stage W1	111-143 Mitchells Lane, Sunbury	Plan re-certified on 2 December 2016
S007819	33 lot subdivision Kallo Estate - Stage 7	Lot A Icarus Drive, Kalkallo	Plan certified on 2 December 2016
S007703	15 lot subdivision	55 Aldridge Drive, Sunbury	Statement of Compliance issued on 5 December 2016
S007857	3 lot subdivision Stage 2	76A Anderson Road, Sunbury	Plan certified on 6 December 2016
S007857	3 lot subdivision Stage 2	76A Anderson Road, Sunbury	Statement of Compliance issued on 6 December 2016
S007700	17 lot subdivision Rosenthal Estate - Stage 8A	100 Vineyard Road, Sunbury	Plan re-certified on 7 December 2016
S007987	2 lot subdivision Aitken Aspect Action Plan 3	1170 Mickleham Road, Greenvale	Statement of Compliance issued on 7 December 2016
S007988	2 lot subdivision Aitken Aspect Action Plan 5	1170 Mickleham Road, Greenvale	Plan certified on 8 December 2016
S007681	43 lot subdivision Lavinia Estate - Stage M1A	1180 Mickleham Road, Greenvale	Statement of Compliance issued on 8 December 2016
S007988	2 lot subdivision Aitken Aspect Action Plan 5	1170 Mickleham Road, Greenvale	Statement of Compliance issued on 9 December 2016
S007990	32 lot subdivision Aitken Aspect Action Plan 7	1170 Mickleham Road, Greenvale	Plan certified with Statement of Compliance on 12 December 2016
S007592	85 lot subdivision Annadale Stage 7	495 Donnybrook Road, Mickleham	Statement of Compliance issued on 12 December 2016

REPORT NO: SU197 (cont.)

MATTERS DEALT WITH UNDER DELEGATION			
S007989	2 lot subdivision Aitken Aspect Action Plan 6	1170 Mickleham Road, Greenvale	Plan certified with Statement of Compliance on 12 December 2016
S007981	2 lot subdivision Dual occupancy	1 Haworth Court, Greenvale	Plan certified with Statement of Compliance on 12 December 2016
S007403	Section 24A plan of subdivision Creation of part Mt Ridley Road	2 Parkside Rise, Craigieburn	Plan certified on 14 December 2016
S007700	17 lot subdivision Rosenthal Estate - Stage 8A	100 Vineyard Road, Sunbury	Statement of Compliance issued on 14 December 2016
S007109	35 lot subdivision Trillium Estate - Stage 12 (11A)	555A Mt Ridley Road, Mickleham	Plan re-certified on 14 December 2016
S007637	39 lot subdivision Trillium Estate - Stage 23(11B)	555A Mt Ridley Road, Mickleham	Plan re-certified on 14 December 2016
S007403	Section 24A plan of subdivision Creation of part Mt Ridley Road	2 Parkside Rise, Craigieburn	Statement of Compliance issued on 14 December 2016
S007393	40 lot subdivision Kallo Estate – Stage 3	Lot A Mulgrave Boulevard, Kalkallo	Statement of Compliance issued on 14 December 2016
S007984	4 lot subdivision Multi-unit	25 McCosker Street, Sunbury	Plan certified with Statement of Compliance on 15 December 2016
S007876	Seventy-one lot subdivision	355 Donnybrook Road, Mickleham	Plan certified on 15 December 2016
S007909	Fourty-two lot subdivision	Lot C Rylite Drive, Craigieburn	Plan certified on 16 December 2016
S007871	3 lot subdivision Multi-unit	325 Camp Road, Broadmeadows	Plan certified with Statement of Compliance on 20 December 2016
S007232	Plan of subdivision Creation of Part Mt Ridley Road (Hume Anglican Grammar entry)	100 Mt Ridley Road, Craigieburn	Statement of Compliance issued on 22 December 2016
S007109	Thirty-five lot subdivision	555A Mt Ridley Road, Mickleham	Statement of Compliance issued on 22 December 2016
S007637	Thirty-nine lot subdivision	555A Mt Ridley Road, Mickleham	Statement of Compliance issued on 22 December 2016
S007811	Two lot subdivision	90 Vineyard Road, Sunbury	Statement of Compliance issued on 22 December 2016
S007949	Two lot subdivision Cloverton superlot plan (Stockland/National Pacific Land Swap)	150 Dwyer Street, Kalkallo	Plan certified with Statement of Compliance on 23 December 2016
S007641	Fifty lot subdivision	355 Donnybrook Road, Mickleham	Statement of Compliance issued on 23 December 2016
S007964	Two lot subdivision	730 Elizabeth Drive, Sunbury	Plan certified on 3 January 2017
S007730	Sixty-three lot subdivision	Lot M Ambition Drive, Greenvale	Statement of Compliance issued on 6 January 2017

REPORT NO: SU197 (cont.)

MATTERS DEALT WITH UNDER DELEGATION			
S007971	Twenty-six lot subdivision	1106 Mickleham Road, Greenvale	Plan certified on 6 January 2017
S007994	Eighty-one lot subdivision	600A Grand Boulevard, Craigieburn	Plan certified on 6 January 2017
S007809	Two lot subdivision	31 Buchan Street, Meadow Heights	Plan certified with Statement of Compliance on 9 January 2017
S007527	Two lot subdivision	6 Clacton Court, Craigieburn	Plan certified with Statement of Compliance on 10 January 2017
S007957	Five lot subdivision Multi-unit	8 Shankland Boulevard, Meadow Heights	Plan certified on 10 January 2017
S007957	5 lot subdivision Multi-unit	8 Shankland Boulevard, Meadow Heights	Statement of Compliance issued on 10 January 2017
S007967	Two lot re-subdivision (Boundary re-alignment)	32 Amstel Street, Craigieburn	Plan certified with Statement of Compliance on 10 January 2017
S007816	Twenty-four lot subdivision Multi unit – Stage 3	12-24 River Rose Street Greenvale	Plan certified on 12 January 2017
S007822	Two lot subdivision Superlot plan – Stage 9 Rosenthal Estate	100b Vineyard Road, Sunbury	Plan certified with Statement of Compliance on 12 January 2017
S008022	Fourty-three lot subdivision	425 Donnybrook Road, Mickleham	Plan certified on 13 January 2017
S007574	Three lot subdivision	32 Zakwell Court, Coolaroo	Plan certified with Statement of Compliance on 13 January 2017
S007615	Ten lot subdivision	355 Mickleham Road, Attwood	Statement of Compliance issued on 18 January 2017
S008080	Creation of easement	38 Gosford Crescent, Broadmeadows	Plan certified with Statement of Compliance on 18 January 2017
S008029	Two lot subdivision	96 Frontier Avenue, Greenvale	Plan certified with Statement of Compliance on 20 January 2017
S008028	Two lot subdivision	133 Horizon Boulevard, Greenvale	Plan certified with Statement of Compliance on 20 January 2017
S007736	Seventy-three lot subdivision	425 Donnybrook Road, Mickleham	Plan re-certified on 23 January 2017
S007294	Four lot subdivision	27 Wallace Drive, Greenvale	Statement of Compliance issued on 25 January 2017
S007769	Three lot subdivision Multi-unit	45 Jacana Avenue, Broadmeadows	Plan certified with Statement of Compliance on 27 January 2017

REPORT NO: SU197 (cont.)

MATTERS DEALT WITH UNDER DELEGATION			
S007878	Eleven lot subdivision	1170 Mickleham Road, Greenvale	Statement of Compliance issued on 27 January 2017
S007707	Fifty-four lot subdivision	745 & 765 Mickleham Road, Greenvale	Plan re-certified with Statement of Compliance on 30 January 2017
S008140	Removal of restriction	80 Carroll Lane, Greenvale	Plan certified with Statement of Compliance on 30 January 2017
S007330	Four lot subdivision	15 Sambell Road, Sunbury	Statement of Compliance issued on 31 January 2017
S007631	Neighbourhood Centre subdivision Sunbury Fields Stage 5	275 Racecourse Road, Sunbury	Plan certified on 2 February 2017
S007808	Plan of Subdivision Aitken Aspect Creation of road (Part Mietta Terrace)	1106 Mickleham Road Greenvale	Statement of Compliance issued on 3 February 2017
S007916	Thirty-nine lot subdivision	495 Donnybrook Road, Mickleham	Plan certified on 6 February 2017
S008038	Thirty-two lot subdivision Highlands Estate - Stage 288	Lot FF Whitfield Crescent, Craigieburn	Plan certified on 7 February 2017

MATTERS DEALT WITH UNDER DELEGATION WITH OBJECTIONS			
FILE	PROPOSAL	ADDRESS OF PROPERTY	ACTION TAKEN
P19082	Three double storey dwellings and three lot subdivision	2 Lichfield Ave, Jacana	Notice of Decision to Grant a Permit issued
P19619	Four double storey dwellings	48 Mitchells Lane, Sunbury	Notice of Decision to Grant a Permit issued
P19665	Two double storey dwellings	6 Dianne Dr, Tullamarine	Notice of Decision to Grant a Permit issued
P19745	Two double storey dwellings	4 Kent Way, Tullamarine	Notice of Decision to Grant a Permit issued
P19773	Four double storey dwellings	46 Broadmeadows Rd, Tullamarine	Notice of Decision to Grant a Permit issued

SECTION 173 AGREEMENTS SIGNED UNDER DELEGATION			
FILE	PROPOSAL	ADDRESS OF PROPERTY	ACTION TAKEN
P19170	Three lot subdivision	22 Geach St, Dallas	Agreement signed on 1 December 2016

VICSMART PERMITS SIGNED UNDER DELEGATION			
FILE	PROPOSAL	ADDRESS OF PROPERTY	ACTION TAKEN
P20032	Two lot subdivision	75 Langdon Cres, Craigieburn	Permit issued
P20246	Two lot subdivision	11 Yarcombe Cres, Craigieburn	Permit issued

REPORT NO:	SU198
REPORT TITLE:	Conserving our Rural Environment Grant Review for 2017-18 Program
SOURCE:	Bridie Wetzal, Land and Biodiversity Officer
DIVISION:	Sustainable Infrastructure and Services
FILE NO:	HCC14/160
POLICY:	Land and Biodiversity Plan 2015-2019
STRATEGIC OBJECTIVE:	4.1 Facilitate appropriate urban development while protecting and enhancing the City's environment, natural heritage and rural spaces.
ATTACHMENT:	1. <i>Internal & External Review - Survey Results</i>

1. SUMMARY OF REPORT:

The Conserving our Rural Environment (CoRE) grant provides support and funding to rural landowners and community environmental groups. The 2016-17 program was reviewed internally by members of the Officer Assessment Panel (OAP) and the Executive Assessment Panel (EAP), and externally with successful and unsuccessful applicants. Proposed changes to the 2017-18 program are presented in this report.

2. RECOMMENDATION:

That Council approves changes to the 2017-18 program subject to the Council budget approval including the amalgamation of the Medium Project and Large Project grant into one grant type.

3. LEGISLATIVE POWERS:

The provision of the CoRE grant program is within Council's power under the *Local Government Act 1989*.

4. FINANCIAL IMPLICATIONS:

- 4.1 Council's annual budget provides \$400,000 for the implementation of the CoRE grant program. The disbursement of this budget in 2016-17 is detailed in Table 1.
- 4.2 A total of \$30,000 was allocated to develop a CoRE on-ground monitoring program in 2016-17 (Council report SU121 - 8 February 2016) and \$50,000 for erosion mitigation works within two Council reserves (Council report SU120 - 8 February 2016).
- 4.3 Of the \$30,000 allocated for the monitoring program in 2016-17 only \$15,000 was required. As such the readjusted amount is \$15,000 with the remaining dollars allocated to the proposed Project grant.
- 4.4 The disbursement of the proposed budget allocation subject to approval of the merging of the Medium Project and the Large Project grant into one type is detailed in Table 2.
- 4.5 Council will have an opportunity to review the budget allocation during the 2017-18 budget approval process.

Table 1. Conserving our Rural Environment budget allocation for 2016-17.

Grant Type	Small Grant	Medium Project	Large Project	Monitoring Program	Erosion Works
Budget	\$70,000	\$150,000	\$100,000	\$30,000	\$50,000

Table 2. Conserving our Rural Environment proposed budget allocation for 2017-18.

Grant Type	Small Grant	Project Grant	Monitoring Program	Erosion Works
Budget	\$70,000	\$265,000	\$15,000	\$50,000

REPORT NO: SU198 (cont.)

5. ENVIRONMENTAL SUSTAINABILITY CONSIDERATIONS:

The CoRE program aims to conserve and improve rural land and the natural environmental assets on private property.

6. CLIMATE CHANGE ADAPTATION CONSIDERATIONS:

The CoRE program will assist in improving the quality and extent of native vegetation. This will improve the resilience of local ecosystems to climate change and decrease the risk of localised extinction of flora and fauna species.

7. CHARTER OF HUMAN RIGHTS APPLICATION:

In line with the *Social Justice Charter*, Council aims to ensure an equitable approach is used for assessing and approving grant applications. A three-step assessment process involving Councillors and officers ensures each application is treated in accordance with the Charter.

8. DISCUSSION:

8.1 SMALL GRANTS:

- 8.1.1 The Small grant is provided as a \$300 (excluding GST) reimbursement to the landowner following submission and approval of an application form.
- 8.1.2 A total of \$70,000 is allocated to the awarding of Small grants.
- 8.1.3 As of 3 January 2017, Council has received and approved a total of 202 applications for 2016-17 totalling \$60,600.
- 8.1.4 A panel assessment is not required for the Small grants. Applications are processed as they are received and are accepted until 31 March each year.

8.2 MEDIUM AND LARGE PROJECT GRANTS:

- 8.2.1 The Medium Project grant (\$301 up to \$5,000 excluding GST) and the Large Project grant (\$5,001 up to \$10,000 excluding GST) provides support and funding to assist landowner and community environmental groups to undertake on-ground works and capacity-building or engagement activities.
- 8.2.2 A total of \$250,000 is allocated to the awarding of Medium and Large Project grants.
- 8.2.3 The Medium and Large Project grants operate under a competitive process. These grant types are demand driven. The landowner applies and the amount is determined by them obtaining quotes for their project.
- 8.2.4 A total of 36 grant applications across the Medium and Large Project grant types were awarded for 2016-17 totalling \$223,551.66.

9. GRANT GOVERNANCE:

- 9.1 Governance requirements, including the application assessment process, are modelled on Council's Community Grants program.
- 9.2 The three-step approval process involving councillors and officers from various levels of the management hierarchy ensures that each applicant is treated fairly and equitably in accordance with the *Social Justice Charter*.

10. PROGRAM REVIEW:

10.1 Internal Stakeholders

10.1.1 Officer Assessment Panel (OAP)

- (a) OAP members met on Thursday 1 December 2016 to identify and discuss issues with the 2016-17 program and identify opportunities to improve its delivery in 2017-18. The proposed changes are outlined in section 11.

REPORT NO: SU198 (cont.)

10.1.2 Executive Assessment Panel (EAP)

- (a) EAP members were invited to participate in an online survey on Monday 24 October 2016 as per Attachment 1.
- (b) The survey was emailed to the five panel members on 24 October 2016 and remained open until 7 November 2016. Three of the five panel members responded.
- (c) The survey examined the appropriateness of the grant selection criteria and processes around the information, support and time provided for the EAP meeting. The survey also included the opportunity for additional suggestions on process improvements.
- (d) The feedback provided was positive with minimal suggestions for changes. Suggestions provided will assist the new EAP to review application assessments and will be incorporated into the EAP meeting in 2017-18.
- (e) Other feedback will be investigated over the next 12 months and includes the feasibility of moving from a paper-based application process to an electronic process.

10.2 External Stakeholders

10.2.1 Successful and unsuccessful applicants

- (a) Applicants of the 2016-17 program were invited to participate in an online survey on Monday 14 November 2016 as per Attachment 1.
- (b) The survey was submitted by email and post to 45 applicants and remained open until Monday 12 December 2016. A total of 26 responses were received including four unsuccessful applicants and 1 successful applicant who withdrew from the program.
- (c) The survey examined the appropriateness of the application processes and the effectiveness of the program on applicants' awareness, ability and motivation to work with others.
- (d) The responses and raw comments provided were generally positive towards the process and the support applicants received.

10.2.2 Application process

- (a) Most applicants reported the application process to be appropriate. Applicants found the Grant Guidelines and the assessment process clear and that there was enough time for the application to be submitted.
- (b) Nearly two-thirds (64%) of the applicants preferred the application process to remain as is (e.g. paper based). However six applicants indicated they would prefer the process to be online. The application will remain as hard copy in 2017-18 but this option will be explored further in 2017.

10.2.3 Program effectiveness

- (a) The majority of applicants (83%) stated the program had increased their awareness of environmental assets on their properties and that the program had increased their ability to conserve these assets.
- (b) A number of applicants (40%) reported the amount of funding to be insufficient to carry out their project. A potential explanation for the lower rating is apparent within applicants' additional comments. Applicants tended to report that they did not receive the amount they applied for, and stated they would have preferred to receive the larger grant.

REPORT NO: SU198 (cont.)

11. PROPOSED CHANGES:

11.1 A number of improvements are proposed to the 2017-18 grant documents including the application forms and Grant Guidelines. These changes detailed in Table 3 will ensure more thorough information is provided for assessment of applications and refines the process around the request for project extensions and withdrawals from the grant.

Table 3. Improvements and proposed changes to the 2017-18 program.

	Identified Current Issues	Proposed Changes
Grant Guidelines		
Project Extensions	Project extension requests were experienced for the first time in 2016. A process to respond to these requests did not previously exist.	Offer a 30 day project extension period up until 30 June 2018 and include in the Guidelines. All requests must be made in writing to Council.
Project Withdrawals	Withdrawal requests from successful 2016-17 applicants were experienced for the first time in 2016. A process to respond to these requests did not previously exist.	Offer the opportunity to withdraw from the program and include in the Guidelines the decision to withdraw must be in writing to Council.
Grant Application		
In-kind Contributions	Previous in-kind contributions have not been clearly identified in the application form, including the geographic area it relates to.	Update the application form to include a section that clearly highlights the breakdown of hours, activities or monetary contribution. Link with the guidelines and explicitly state that in-kind relates to the project area.
Project Works Map	Previous areas of proposed project works have not been clearly identified in the application form even though maps have been provided to applicants.	Update the application form to include a section that requires either a map to be drawn or provided that identifies the proposed project works including areas, length of works and/or activities.
Grant Types		
Medium Project & Large Project	Previous assessments have combined the Medium and Large Project grant budgets to enable an even spread of projects across both types. The same selection criteria are used to assess applications.	Combine the Medium and Large grant types and have one Project grant category. All applications in this category will continue to be scored using the selection criteria and ranked according to the score. Applicants will be eligible to apply for a grant of \$301 up to \$10,000 (excluding GST).

11.2 The main proposed change as identified in the OAP review meeting includes merging the Medium Project and the Large Project grant into one Project grant type. There are a number of supporting reasons to make this change for the 2017-18 program.

11.2.1 These two grant types use the same grant application form and require the same information to be provided for assessment.

11.2.2 There will no longer be a need to recommend that an application be re-categorised from a Medium Project to a Large Project grant.

11.2.3 Assessment is based on the same grant selection criteria and historically the OAP and the EAP have used the same scoring cut off point for recommended projects.

REPORT NO: SU198 (cont.)

11.2.4 Each year the OAP and the EAP have effectively combined the Medium and Large Project grant budgets to enable an even spread of high scoring projects across grant types.

11.2.5 The proposed Project grant would be available to fund projects ranging between \$301 up to \$10,000 (excluding GST).

11.2.6 One process would be less confusing for 2017-18 applicants.

12. CONCLUSION:

12.1 The program, in its third year of implementation, continues to see increased landowner interest and participation with high quality project proposals being submitted to Council.

12.2 The annual review provides an opportunity to refine processes and ensures continuous improvement is applied to the delivery of the program and with the assessment of applications. The proposed changes will significantly improve the delivery of the program in 2017-18.



HUME CITY COUNCIL
**CONSERVING
OUR RURAL
ENVIRONMENT
PROGRAM
REVIEW 2016-17**

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Terms and Acronyms

CoRE	Conserving our Rural Environment
EOI	Expression of Interest
HCC	Hume City Council
OPE	Organisational Performance and Engagement



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1 Introduction

The Conserving our Rural Environment (CoRE) Grant program awards grants to landowners within Hume City municipality to undertake conservation works. Hume City Council (HCC) delivers the program annually. In 2016-17 there are three types of grants available:

- Small grants (\$300) that provide basic support to landowners to continue managing their land. This grant is provided as a reimbursement to the landowner via cheque following submission and approval of an application form.
- Medium Project grants (\$301 up to \$5,000) that assist landowners and community groups to undertake on-ground environmental works and capacity-building activities, or engagement initiatives. This is offered through a competitive application process.
- Large Project grants (\$5,001 up to \$10,000) that assist landowners and environmental community groups to undertake large-scale on-ground environmental works. This is offered through a competitive application process.¹

This report presents the findings from CoRE program 2016-17 grant applicants ('applicants') and Executive Assessment Panel members' ('panel members') surveys. The applicant survey targeted both applicants who were successful and unsuccessful.

1.1 Methods

The surveys for applicants and panel members were developed in collaboration with HCC's Organisational Performance and Engagement (OPE) and Sustainable Environment Departments.

1.1.1 Applicant survey design and dissemination

The applicant survey was developed and managed by OPE for the CoRE program 2016-17. The survey collected data on the appropriateness of the application processes and program, in addition to the effectiveness of the program on applicants' awareness, ability and motivation to work with others. The survey instrument is available within Appendix 1.

The survey was emailed direct to applicants (both successful and unsuccessful). Forty-two applicants received the first survey invite on Monday 14 November 2016. A reminder email (21 Nov) and final reminder (27 Nov) were subsequently sent to applicants. Another three applicants, who provided only mail addresses, were posted a hardcopy of the survey. A total of 45 applicants received a survey invite.

¹ Sourced from Hume City Council (2017) Conserving our Rural Environment grants, available at [https://www.hume.vic.gov.au/About Us Contact Details/Grants and Awards/Conserving our Rural Environment grants](https://www.hume.vic.gov.au/About_Us>Contact_Details/Grants_and_Awards/Conserving_our_Rural_Environment_grants)



The survey closing date was intended to be 29 November. However, multiple applicants requested more time. The survey was finally closed on 12 December 2016.

A total of 26 online survey responses were received, with 23 fully completed and three partially completed. No postal surveys were returned.

1.1.2 Panel member survey design and dissemination

The panel member survey was developed and managed by OPE for the CoRE program 2016-17. The panel member survey examined the appropriateness of the:

- 1) Grant selection criteria
- 2) Information, support and time provided
- 3) Executive assessment panel meeting

The survey also included the opportunity for additional suggestions on process improvements. The survey instrument is available within Appendix 2.

The survey was emailed to the five panel members on the 24 October and remained open until the 7 November 2016. Two reminders were sent for panel members to complete the survey. Three of the five panel members completed the survey.

1.1.3 Data management

The survey data was collected via Survey Gizmo and then exported into Microsoft Excel where data was analysed and used to produce tables and charts. Qualitative data was coded and clustered into themes.

1.1.4 Reporting and dissemination

This report outlines the survey findings that have been developed for the Sustainable Environment Department. The report includes the survey findings (by applicants, then panel members) and additional information in the appendices.

Findings conveyed in this report will be presented to, and considered by, relevant HCC staff.



2 CoRE applicant survey findings

2.1 The applicants

Fourteen of the 26 applicants had applied for a Large Project grant (\$5,001 up to \$10,000). The remaining twelve applicants had applied for a Medium Project grant (\$301 up to \$5,000). Figure 1 (below) represents the comparison of the grant applied for and the grant received. The range includes applicants who were successful in receiving the grant they applied for (15 applicants), received a smaller grant (5) as well as those who were unsuccessful (4), or withdrew from the program (1).

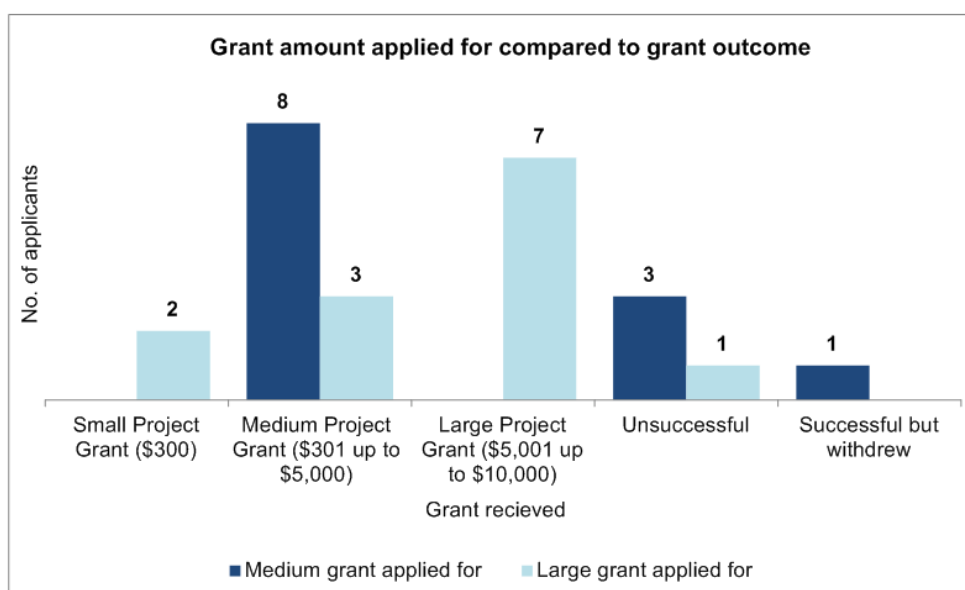


Figure 1: Comparison of type of grant applied (n=26) for versus grant received (n=25)

2.2 Awareness of CoRE program

The HCC Expression of Interest (EOI) postcard (11 of 25 respondents)² was the main mechanism raising applicants' awareness of the program. Refer to Figure 2 (below) for a full spread of responses. Of the two 'other' responses included one applicant being a past applicant and another being directly contacted by HCC staff.

² Please note that applicants could select more than one mechanism that raised their awareness of the program.

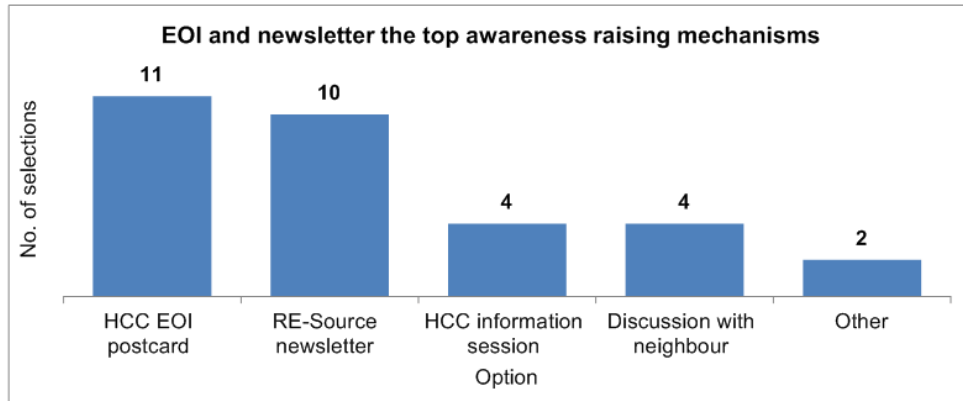


Figure 2: Mechanisms raising applicants' awareness of the CoRE program (n=25)

2.3 The CoRE application processes

Most applicants reported the CoRE application processes to be appropriate. Applicants found the Grant Guidelines clear (24 of 26 respondents), the assessment process clear and that there was enough time for the application (23 of 26, for both). Refer to Figure 3 (below) for a full spread of applicants' ratings.

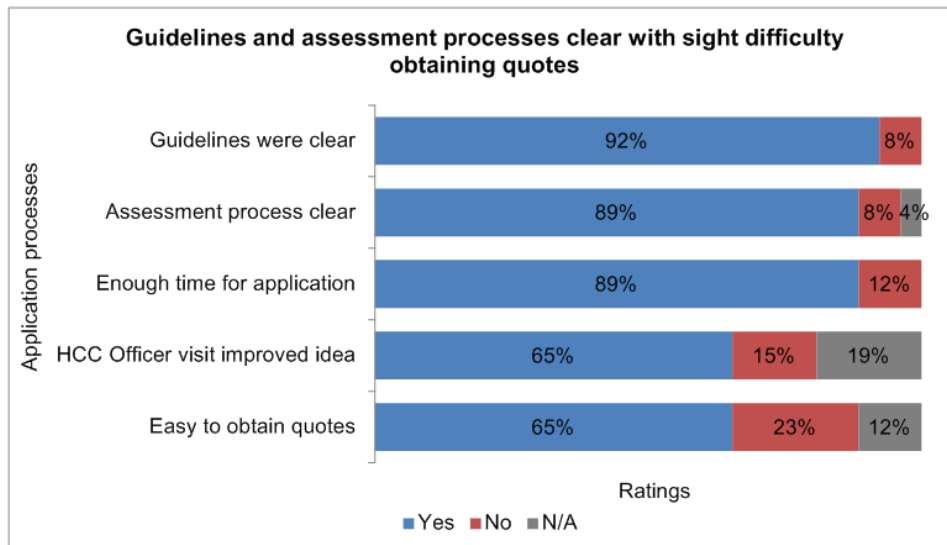


Figure 3: Applicants rating of the various CoRE application processes (n=26)

Applicants provided additional comments on the CoRE application processes, which are detailed below.



The vast majority of applicants (92%) found the Grant Guidelines clear. The six additional comments all reflected this sentiment. For example, ‘Council has made the criteria understandable and provided clear and concise instructions’ (survey respondent).³

The assessment process was also deemed clear by the majority of applicants (89%). The four comments received were mixed and potentially off-topic. For example, ‘I had help’ (survey respondent). Or the longer response of ‘clearer than Councils’ agricultural land rebate scheme - which has a lot more to do with tax gathering than agriculture’ (survey respondent).

There being enough time to complete the application was supported by the majority of applicants (89%) too. However, the three additional comments received were mixed. One comment was supportive of the five-week duration as the short timeframe motivated them to get the application done. One other reported that they needed a little more time and the other mentioned only applying due to HCC staff encouragement.

With regards to HCC staff visits to assist applicants improve their idea, not all applicants had a visit. Hence, five applicants stated ‘N/A’. Of those that had been visited, 17 out of 21 applicants reported that the visit had assisted. Similarly the additional comments reflected these positive views. For example ‘the discussions with Officers were very useful’ (survey respondent). The only suggestion was for an additional visit during the funding cycle.

Nearly two-thirds of applicants (65%) found it easy to obtain two quotes for their grant application. There were mixed additional comments provided. General comments were made that it was easy to get quotes and the list provided by HCC was useful. One applicant stated it was difficult to get fencing quotes and another stated that there were not many contractors to choose from. A suggestion was for HCC to select providers.

Fifteen comments were made about how the grant process could be made easier for landowners. Five applicants stated the process was already easy. For example:

I honestly believe that council has provided more than reasonable efforts to assist landowners with the application process. I don't think council needs to make any more adjustments (survey respondent).

The process is very simple. It is not difficult. Do not compromise your ability to make it accountable (survey respondent).

Of those applicants offering suggestions to make the process easier, these suggestions related to time, assistance and the Grant Guidelines. Suggested was for more time to complete applications, changing the program timing (due to clashing with tree planting) and

³ Of the two applicants stating the guidelines were unclear, one respondent had been unsuccessful in receiving a grant and the other had been successful but withdrew from the program. One respondent stated in a later question response ‘more clearer guidelines ...’ without elaborating further.



more assistance from HCC staff. Related were suggestions concerning contractors, including more time to get quotes or for contractors to be selected by HCC. One request was for more funds. However, how much more funding was deemed required was not stated. There were two suggestions for clearer Grant Guidelines. One applicant provided detail on the clarity they were seeking:

More about what can and can't be applied for, that is, what the exact criteria is that the council is looking for, and how many times that you are able to apply for the larger grants once you have received one before, that is if it is allowed. I do realise the council has to be fair to land owners (survey respondent).

Additional comments focused on broader critiques of state and local government roles and responsibilities in responding to environmental issues and the limited role CoRE grants have in addressing such issues.

2.4 The CoRE program

There was a range of views relating to applicants' involvement in the CoRE program (n=23). Over 80 per cent stated that they would recommend the program to others (87%) and deemed the application process appropriate to the funding available (83%). However, just 60 per cent (61%) reported the amount of funding to be sufficient to carry out their project. Refer to Figure 4 (below) for the full spread of applicants' ratings.

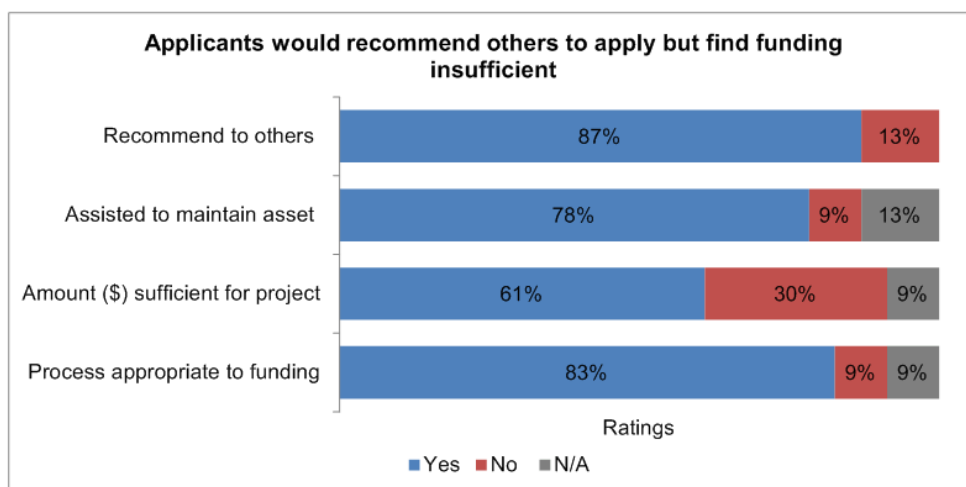


Figure 4: Applicants reflections on the CoRE program 2016-17 (n=23)



Most applicants' comments were positive about recommending the program and one already had (e.g. 'I have').⁴ Some applicants elaborated on why they would make the recommendation or suggested further avenues to promote the program. For example:

Yes if it means there is more land for conservation set aside as Sunbury's growth is encroaching on land for wildlife and open space, which is a real shame (survey respondent).

Should be more actively promoted by council (and participants) to surrounding properties once an application has been approved (survey respondent).

A potential explanation for the lower rating of the funding being sufficient (60.9%) is apparent within applicants' additional comments. Applicants tended to report that they did not receive the amount they applied for, or the scale of the conservation works required was too great. For example:

- Those applicants not receiving a grant or a smaller grant than applied for stated 'would have preferred to get the larger grant!' and 'yes if I got a grant' (survey respondents).
- Other applicants reported that their conservation works were larger than the grant could cover, for example 'all the weed management necessary on my property was not able to be completed with one funding' (survey respondent).

To further conservation efforts some applicants were leveraging additional resources to complete works.

While the funding might not have been perceived as sufficient (above), the CoRE grant was perceived by more applicants (78%) as helping to maintain environmental assets. For example

It has certainly helped us to work towards having a weed free property. We have worked at for years, but receiving this grant enabled us to get a Contractor who achieved so much more than we could (survey respondent).

A few comments represented conflicting views, stating 'not really' and 'no works carried out yet' (survey respondents).

Only three additional comments were received on the process being appropriate to the amount of funding. Despite the high agreement (83%) that the process was appropriate, the comments were neutral (e.g. 'I don't know') to negative, for example:

How would I know? Like the rate rebate scheme, it is a non-transparent process in which the involved have no effective participation (survey respondent).

⁴ There were two negative comments from unsuccessful applicants.



2.5 Changes in knowledge, ability and practices

Over 80 per cent of applicants reported that their involvement in the CoRE program had increased their awareness of the environment assets on their property (83%) and ability to conserve those assets (84%). Furthermore, over 70 per cent reported their motivation to work with others had increased (77%) and that they had undertaken additional conservation activities (73%).

Refer to Figure 5 (below) for the full spread of applicants' ratings.

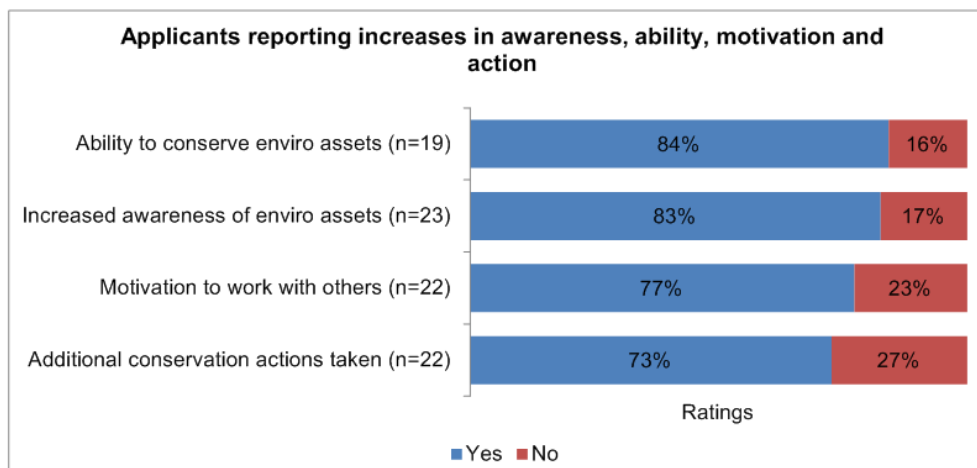


Figure 5: Applicants assessment of their increase in awareness, ability, motivation to work with others, and additional actions due to the CoRE program

The majority applicants stated the program had increased their awareness of their properties' environmental assets (83%). Comments were supportive of this increased awareness, for example 'some good advice from both council staff and contractor specialists has improved my knowledge' (survey respondent). A couple of other applicants said they already had an awareness of their properties' environmental assets. For example 'already know the problems' (survey respondent).

Over 80 per cent (84%) stated the program had increased their ability to conserve their properties' assets. However, the three additional comments mixed. One comment was supportive, for example 'couldn't get on top of it without the grant!' (survey respondent). Another cited more conservation work needing to be done. The remaining comment was simply 'no'.

Concerning applicants' motivation to work with others, six additional comments were made. The main theme was the lack of interest from neighbours. For example 'however, my neighbours weren't interested' (survey respondent). One commented on being too busy working on their own property to speak with others.



Sixteen applicants stated that they had undertaken additional conservation activities due to their involvement in the CoRE program and 15 applicants described those activities. These activities included revegetation (trees and grasses), erosion management, weed control and pasture improvements. A couple of applicants had applied for other grants, taken part in other programs, or were working with others (e.g. neighbours) to achieve conservation objectives.

2.6 Future

Nearly two-thirds of applicants preferred (64% or 14 of 22 applicants) the grant application process to remain as is (e.g. paper based). Six applicants would prefer the process to be online. The remaining two applicants stated 'other'. One 'other' comment was 'don't care' and the other cited 'previous comment', which had been negative about the program.

Twenty-two applicants opted in to receive emails from HCC on upcoming grants, workshops and related opportunities, as well as information on conserving environmental assets.⁵

Over seventy per cent (71% or 15 of 21) of applicants expressed interest in attending face-to-face conservation activities delivered by HCC. The topics applicants included:

- weed and pest management (incl. kangaroos, rabbits and foxes)
- habitat corridors and propagating native plants
- erosion control
- revegetation and pasture improvement
- water quality
- escapement management.

Added was a broader question to HCC concerning long term conservation plans.

2.7 Applicants concluding comments

Fifteen applicants provided concluding comments about the CoRE grant program for 2016-17. The majority of these comments (9) were positive about the conservation works the grants enabled to be done and HCC staff involved. For example:

It is a terrific incentive to rural landowners to receive financial assistance to help (in our case) rid the land of weeds, and try to return it to its original natural condition (survey respondent).

Only to say I have had the pleasure of working with x 3 council representatives in relation to biodiversity / land management and conservation topics. I find the youthfulness and

⁵ These details have been forwarded to the appropriate HCC Officer.



dedication of your people to be uplifting and provide me some relief to know these people genuinely care for our environment, and to them it's not just a job (survey respondent).

Two applicants expressed disappointment due to being unsuccessful in their grant applications. Both stated they had more conservation works after successfully receiving a CoRE grants in previous years. For example:

I received the 2015-2016 Grant. In order to do the works recommended, it would be useful to receive the grant again as the things recommended are a big expense and necessary to conserve the environment. At least one more year of funding would be beneficial to land owners as these are works directed from council to assist future soil conservation. I felt the first grant merely got me a plan of works I had to do over the next few years. Without the funds to do this, it may end up as merely ideas and not attainable (survey respondent).

Two applicants had suggested improvements. One suggestion was to align the timing of grants with tree planting. The other suggestion was for more feedback on unsuccessful applications.



3 CoRE panel members survey findings

3.1 Grant selection criteria

Of the three respondents, one suggested changes to each of the grant selection criterion. These suggestions have been reproduced in Table 1 (below).

Table 1: Selection criteria with respondent comments

Grant selection criteria	Suggested change
Conservation Significance	Include mapping that overlays conservation signification with each property to take any guess work out of this criterion. What level of significance are we prepared to fund? Are we clear about what each score means in terms of cons dig?
Location	Similar to previous about mapping; double check ESO etc. to avoid errors. Do we want to target specific areas for investment?
Long-term Biodiversity Outcomes	This needs some criteria - link to in-kind contribution, assessment results from previous years...
In-kind Contributions	This needs to be compulsory, costed and number of hours and activity clearly outlined.
Land/Property Management Plan or Applying	Provide a list of suppliers for quotes to ensure high level of quality. Renewal date?
Collaboration with Neighbours or Community	Should we assess "joint applications" together

One additional suggestion to improve the selection criteria was:

The second iteration of the CORE criteria was an improvement and refined the logic and weighting. I would prefer to go through another year relatively unchanged, in order to assess the criteria over two cycles.

3.2 Executive assessment panel information, support and timeframe

Concerning the information, support and timeframe to assess the grant applications prior to the Executive Assessment Panel meeting:

- All (3 out of 3) respondents agreed the information booklet contains sufficient information to inform panel members. With one additional comment stating 'no issues, any issues can be clarified during the assessment meeting'
- Two out of three respondents agreed there is enough time (two-weeks) to review the information provided. One stated there was not enough time. Two comments were left, these stated:



Sufficient time to go through, but may be an issue if we had significantly more applications across the medium and large categories

Could possibly do with another two weeks

- All (3 out of 3) respondents agreed here is sufficient additional support from HCC Officers, if needed. One respondent provided additional support, stating 'excellent support from well informed officers'.

Mixed views were received on the delivery of information to support assessment of grant applications being provided electronically. Two respondents supported electronic delivery. The remaining respondent wanted the information to continue as is and left an additional comment stating:

Prefer the paper based approach as I can read this as opportunities arise - e.g. on train, and mark it up as I go - apologies for being 'old fashioned'!

3.3 Executive assessment panel meeting

With regards to the executive assessment panel meeting processes, all respondents agreed (3) that:

- The meeting process (e.g. elected chair, agenda followed) was appropriate to reach decisions on grant applicants
- The meeting duration (one-hour) was a sufficient amount of time to reach decisions on grant applicants. However, there was a contrasting comment left stating 'need a two hour block, just in case'
- The meeting time (5.00pm to 6.00pm) suited all respondents' needs. One additional comment was left, stating 'was OK, but a longer period suggested above will definitely mean an earlier start'

3.4 Final comments

There were two additional suggestions to improve the CoRE grant application assessment process:

We need some visual images of existing conditions, and google maps of properties involved - throw them up on screen to assist in understanding the context of the applications and the scope of the proposed works.

No I think it is well covered.

There were two final additional comments about the CoRE grant application assessment process:



I would like to see feedback from the rural / farming community, to understand the process and outcomes from their perspective, over time. A deliberate survey may be required as part of the review process.

Would like to see the process done electronically to save the environment.



4 Appendices

4.1 Appendix 1: Applicant survey instrument

First email invite

As a 2016-17 Conserving our Rural Environment Grant applicant, we are interested in your experience of the grant application process and any changes that may have occurred since. Whether you were successful or unsuccessful in receiving a grant, your input is important and requested into the review of grant program.

Click here to complete the survey. The survey will close on Tuesday 29 November 2016.

The survey is voluntary and all efforts will be made to protect your confidentiality. Survey information will be managed in accordance with the *Privacy and Data Protection Act 2014 (Vic)*. If you require further information regarding this survey, please contact the Research and Community Engagement Team on 9205 2200.

If you require additional assistance or you have any queries, please contact:

Bridie Wetzel, Land and Biodiversity Officer
Sustainable Environment Department
bridiew@hume.vic.gov.au or (03) 9205 2279

Meghan Bond PhD, Research and Evaluation Officer
Organisational Performance and Engagement Department
meghanb@hume.vic.gov.au or (03) 9205 2305

Survey

Question 1: How did you first find out about the Conserving our Rural Environment (CoRE) Grant program? *Please select all that apply*

- Expression of Interest postcard from Hume City Council
- RE-Source newsletter (quarterly newsletter produced by Hume City Council)
- Hume City Council information session (e.g. field day held at Bulla)
- Discussion with neighbouring property owner(s)
- Other, please describe: _____

Question 2: Which type of grant did you apply for?

- Medium Project Grant (\$301 up to \$5,000)
- Large Project Grant (\$5,001 up to \$10,000)
- Can't remember

Question 3: Which type of grant did you receive?

- Small Project Grant (\$300)



- Medium Project Grant (\$301 up to \$5,000)
- Large Project Grant (\$5,001 up to \$10,000)
- I was unsuccessful in receiving a grant (Medium or Large Project Grant)
- I was successful in receiving a grant but withdrew from the program

Question 4: Please rate your agreement with the following statements about the CoRE Grant program application process

	options			Please comment on the option (yes or no) you selected
	Yes	No	N/A	
The grant guidelines were clear (e.g. eligibility, grant types)	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	
Two quotes from contractors were easy to obtain for my application	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	
There was enough time (five-weeks) to complete the application form	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	
The Council Officer's onsite visit assisted to improve my project idea	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	
The application assessment process was clear	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	

Question 5: What would help to make the CoRE Grant program application process easier for landowners?

Question 6: Reflecting on the CoRE Grant program, please rate your agreement with the following statements

	options			Please comment on the option (yes or no) you selected
	Yes	No	N/A	
The application process was appropriate to the amount of funding available	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	
The grant amount I received was sufficient to carry out my project	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	
Funding from the CoRE Grant program has helped me to maintain the assets on my property	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	
I would recommend other property owners apply	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	



Question 7: My involvement in the 2016-18 CoRE Grant program has increased my

	options			Please comment on the option (yes or no) you selected
	Yes	No	N/A	
Awareness of my property's environmental assets	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	
Ability to conserve my property's environmental assets	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	
Motivation to work with others (e.g. neighbours, local conservation groups) to conserve environmental assets	<input type="radio"/>	<input type="radio"/>	<input type="radio"/>	

Question 8: Have you undertaken any additional conservation activities on your property and/or with others due to participating in the 2016-17 CoRE Grant program?

- Yes No

If yes, please describe

Question 9: In future, would you prefer the CoRE Grant program application process to...

- Remain as is (e.g. paper-based application form)
- Be online (e.g. electronic application)
- Other, please describe: _____

Question 10: Would you be interested in receiving emails from Hume City Council on upcoming grants, workshops and related opportunities, as well as information on conserving environmental assets

- Yes No

If yes, to receive emails, please enter...

Name: _____

Email: _____

Question 11: Would you be interested in attending face-to-face conservation activities (e.g. field days, workshops) delivered by Hume City Council?

- Yes No

Question 12: What conservation topics would you be interested in learning more about?



Question 13: Do you have any final comments about the 2016-17 CoRE Grant program?

Thank you for taking our survey. Your response is very important to us.



4.3 Appendix 2: Panel member survey instrument

First email invite

As a member of the Executive Assessment Panel, your input is requested into the review of Conserving our Rural Environment (CoRE) grant application assessment process for 2016-17.

Click here complete the survey by Thursday 3 November 2016.

The review examines the appropriateness of (1) the grant selection criteria, (2) the information, support and time provided and (3) the Executive Assessment Panel meeting. There is opportunity to provide additional suggestions on process improvements at the end of the survey.

Attached are background documents for additional information. These documents are:

- Conservation of Rural Environments Guidelines for 2016–2017, and
- Officer Assessment Panel Grant Selection Criteria From 2016–2017

If you require additional assistance or you have any queries, please contact:

Bridie Wetzel, Land and Biodiversity Officer
Sustainable Environment Department
bridiew@hume.vic.gov.au or (03) 9205 2279

Meghan Bond PhD, Research and Evaluation Officer
Organisational Performance and Engagement Department
meghanb@hume.vic.gov.au or (03) 9205 2305

Survey

Part 1: Introduction and Grant Selection Criteria

Thank you for taking part in the review of the Conserving our Rural Environment grant application assessment process for 2016-17. Your input will assist in the continuous improvement of the process.

This section explores the selection criteria applied to the Medium and Large Project grants. These section criteria include: (1) Conservation Significance, (2) Location, (3) Long-term Biodiversity Outcomes, (4) In-kind Contributions, (5) Land/Property Management Plan or Applying, and (6) Collaboration with Neighbours or Community. Each criterion is weighted on a scale of zero to three.

For more information on the selection criteria, please refer Conservation of Rural Environments Guidelines for 2016–2017, p.2.



Question 1: Do you have any suggested changes to criterion one **Conservation Significance**?

- Yes No

If yes, please specify the suggested change with as much detail as possible

Question 2: Do you have any suggested changes to criterion two **Location**?

- Yes No

If yes, please specify the suggested change with as much detail as possible

Question 3: Do you have any suggested changes to criterion three **Long-term Biodiversity Outcomes**?

- Yes No

If yes, please specify the suggested change with as much detail as possible

Question 4: Do you have any suggested changes to criterion four **In-kind Contributions**?

- Yes No

If yes, please specify the suggested change with as much detail as possible

Question 5: Do you have any suggested changes to criterion five **Land/Property Management Plan or Applying**?

- Yes No

If yes, please specify the suggested change with as much detail as possible

Question 6: Do you have any suggested changes to criterion six **Collaboration with Neighbours or Community**?

- Yes No

If yes, please specify the suggested change with as much detail as possible

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Question 7: Do you have any other suggestions (incl. new criteria) for the application selection criteria? *Please describe the suggested changes, the weighting, AND how it would assist the assessment process or increase conservation outcomes*

Part 2: Executive Assessment Panel information, support and timeframe

This section explores the information, duration of time and support provided prior to the Executive Assessment Panel Meeting to assist panel members reach informed decisions. Two-weeks prior to the meeting, panel members are provided with an information booklet; including Grant Guidelines, Officer Assessments, etc. HCC Officers are also available during this time, if additional information is required.

Question 8: Please rate your agreement to the following statements about the information, support and time available to assess the grant applications

	Options		Please provide additional information on the options (yes or no) you selected
	Yes	No	
The information booklet contains sufficient information to inform panel members	<input type="radio"/>	<input type="radio"/>	
There is enough time (two-weeks) to review the information provided	<input type="radio"/>	<input type="radio"/>	
There is sufficient additional support from HCC Officers, if needed	<input type="radio"/>	<input type="radio"/>	

Question 9: Would you prefer the delivery of information to support assessment of grant applications to

- continue as is (paper-based and supplied in a single folder)
- be provided electronically
- Other, please describe _____

Question 10: Do you have any comments or suggested improvements about the information, time and/or support provided?



Part 3: Executive Panel Assessment Meeting

This section examines the appropriateness of the Executive Assessment Panel meeting. A HCC Officer schedules the face-to-face meeting for panel members. The meeting was held on a Monday between 5.00pm to 6.00pm at the Broadmeadows Office. There was the opportunity for an additional meeting, if required.

Question 11: Please rate your agreement to the following statements:

	Options		Please provide additional information on the options (yes or no) you selected
	Yes	No	
The meeting process (e.g. elected chair, agenda followed) was appropriate to reach decisions on grant applicants	<input type="radio"/>	<input type="radio"/>	
The meeting duration (one-hour) was a sufficient amount of time to reach decisions on grant applicants	<input type="radio"/>	<input type="radio"/>	
The meeting time (5.00pm to 6.00pm) suited my needs	<input type="radio"/>	<input type="radio"/>	

Question 12: Do you have any comments and/or suggested improvements about the Executive Panel Assessment meeting?

Part 4: Final comments

Question 13: Do you have any additional suggestions to improve the Conserving our Rural Environment grant application assessment process?

Question 14: Do you have any final comments about the Conserving our Rural Environment grant application assessment process?

Thank you for taking our survey. Your response is very important to us.



4.5 Appendix 3: Applicant survey – raw comments

Table 2: The grant guidelines were clear (e.g. eligibility, grant types) – Raw comments

Council has made the criteria understandable and provided clear and concise instructions.
Detail was sufficient.
Good
Great support provided by council to help understand.
I was assisted buy the land care advisor from last year.
This being our third year of applying makes it easier as we move forward.

Table 3: Two quotes from contractors were easy to obtain for my application - Raw comments

Can't see why Hume City Council doesn't select the providers
Getting fencing quotes is difficult
List provided, so was very easy
No problem getting quotes
The Contractor list supplied by Council helped to select some suitable contractors
Landcare supervisor took care of this.
Not too many contractors to choose
We already had preferred contractor's endorsed by council

Table 4: There was enough time (five-weeks) to complete the application form – Raw comments

Having a short timeframe made me action it rather than forget
I did not particularly want the grant, but applied following discussions with Council environment officer
Needed to have a little more time for discussion and to put it all together in the presentation.

Table 5: The Council Officer's onsite visit assisted to improve my project idea – Raw comments

Always very informative
Expert knowledge was important in assisting a viable approach
Shame he left!!!
The discussions with Officers were very useful
This was not my first grant and onsite support has always been provided by council as well as follow up
Told me what would work best
Last year they did that is why applied again this year to finish what was started.

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No visit.
Visits during funding cycle would be appreciated.

Table 6: The application assessment process was clear - Raw comments

Again, discussions with Council Officers helped clarify anything I needed to know
Clearer than Councils' agricultural land rebate scheme - which has a lot more to do with tax gathering than agriculture.
I had help.
Disappointed as grant was approved last year.

Table 7: What would help to make the CoRE Grant program application process easier for landowners? – Raw comments

Having to get one quote especially when we are getting the same contractors in to do the work
I felt it was fairly straight forward
I have no concerns or complaints
I honestly believe that council has provided more than reasonable efforts to assist landowners with the application process. I don't think council needs to make any more adjustments
More about what can and can't be applied for, that is, what the exact criteria is that the council is looking for, and how many times that you are able to apply for the larger grants once you have received one before, that is if it is allowed. I do realize the council has to be fair to land owners.
More assistance from officers
More clearer guidelines. More time to obtain quotes as contractors are busy working. More time speaking to council Officers getting a handle on the process.
More funds available
Not sure each year seems to be different parameters but now with our land management plan it is easier. because of our cultural heritage issues on the site it does make it more difficult for council and ourselves, I'm not sure everyone at council is aware of the heritage act 2007 so that creates some difficulty when new staff are processing applications
Not sure that it should be made easier, believe it is important to know that landowners are as committed to the process and its benefits as the council is
Once the LMP has been ratified why don't the council then choose which contractors to use?
Site visit by council officer would be helpful
The Grant Program is a scam. It is a cover-up to avoid facing the real environmental problems in Hume. The grants are pathetic, misdirected, drops in the bucket. The money should be directed to the State Government (where the legislated environment control exists, I believe, but no funds are available). Huge (broad scale) environmental problems exist in the Maribyrnong Valley and elsewhere (noxious weeds and feral animals) and our native heritage is being raped. Meanwhile the

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Council and State Government hide behind each other's skirts. Each blames the other, while the recalcitrant landholders that instigate and perpetuate the environmental problems do not receive even mild discouragement. As far as I am concerned, the Grants are simply a means of providing some pea brains in the Council with the feeling that they have high moral ground, but those living in the affected areas know otherwise. The Grants are a pathetic immoral waste of money.
The process is very simple. It is not difficult. Do not compromise your ability to make it accountable
Timing is dreadful for tree planting projects. Change application time line

Table 8: The application process was appropriate to the amount of funding available – Raw comments

How would I know? Like the rate rebate scheme, it is a non-transparent process in which the involved have no effective participation
I don't know.
Too hard to organise not enough time

Table 9: The grant amount I received was sufficient to carry out my project – Raw comments

All the Weed Management necessary on my Property, was not able to be completed with one funding
It cost the Council a bloody site more than it would have for me to do the work - but I suppose it provides jobs for the 'environmental' cronies.
Not sufficient on its own but
Time will tell
With in-kind contribution
Would have preferred to get the larger grant!
Yes if I got a grant
Planned/completed works always exceed the funding
Project incomplete as fail to gain grant this year
There is still erosion to sort out

Table 10: Funding from the CoRE Grant program has helped me to maintain the assets on my property – Raw comments

Absolutely I couldn't do the work without the funding it is very much appreciated
I'm disappointed I didn't apply earlier
It has certainly helped us to work towards having a weed free property. We have worked at for years, but receiving this grant enabled us to get a Contractor who achieved so much more than we could
No work carried out yet
Not really



Yes if I got a grant
To a point with the work that has been done already

Table 11: I would recommend other property owners apply – Raw comments

I felt I wasted my time
I have
See previous responses.
Should be more actively promoted by council (and participants) to surrounding properties once an application has been approved.
To keep the area weed free.
Will mention this with my neighbours to help them reduce weed infestation on their properties
With the money from the Grant, a Contractor can do so much more in less time than individuals can on large properties as they have the manpower and equipment
Only if they are committed
Yes if it means there is more land for conservation set aside as Sunbury's growth is encroaching on land for wildlife and open space, which is a real shame.

Table 12: Awareness of my property's environmental assets – Raw comments

I have had a lifelong interest in the environment
LMP team were fantastic at identifying the native flora for me
Some good advice from both council staff and contractor specialists has improved my knowledge officers
The timbered area and open grasslands are an environmental asset
Already know the problems
An area of my land would not sustain wall to wall housing and I would like to see it maintained for conservation

Table 13: Ability to conserve my property's environmental assets – Raw comments

Couldn't get on top of it without the grant!
Although more work needs to be done to prevent erosion and encourage more native trees to grow.
no



Table 14: Motivation to work with others (e.g. neighbours, local conservation groups) to conserve environmental assets – Raw comments

Has given us neighbours something to talk about
However, my neighbours weren't interested
Maintaining our property doesn't give us much time to work with others
Already demonstrated by attending field day i.e. fire awareness
Other neighbours do nothing to
Yes but most of the neighbours around my area are hanging out for wall to wall housing.

Table 15: Have you undertaken any additional conservation activities on your property and/or with others due to participating in the 2016-17 CoRE Grant program? – Raw comments

Continued with works recommended by grant from previous year
Fence out a dam and plant trees around it
Further planting and conservation fencing
Further work near the river and weed control in other areas of property
General pest/weed control and maintenance now that I know there's going to be extra help available to get to the areas that I can't/don't have time to get to.
Have begun improving pastures
I applied for a grant with Melbourne Water as well.
Million trees program with Port Phillip catchment authorities
On my property by myself I have been - caring for trees planted with grant 2015-2016. Laying logs, soil and mulch over areas with no soil at all to try and stop erosion. Poisoning weeds using water friendly poisons.
Planting of trees to re-establish native habitat for wildlife. Planting of trees to stop the wind blowing seeds.
Planting forbs, direct seeding grasses, many, many hours of additional weed control works
Removal of weeds & revegetating my property.
We have out laid more \$ ourselves to carry out works not included in areas covered by the Grant.
Worked with neighbour to fence off sensitive areas from horses.
Working closely with Salesian College to enhance each other's work. As always we have undertaken weed and pest control above what is required under the CoRE grant and will continue to do so with or without funding



Table 16: What conservation topics would you be interested in learning more about? – Raw comments

Any available
Any Rural based activities are of interest
Creating habitat corridors between neighbouring properties for both birds and animals
Erosion, wind breaks and the stop of seeds blowing across paddocks.
Escarpment management
How to propagate native trees and shrubs from seed. Plant and secure native trees from marauding kangaroos (though at the rate the area is growing we won't have to worry soon they will be all wiped out along with the lizards etc.) Erosion prevention. Maintaining water quality in dams.
Identifying grasses methods to reduce rabbits and foxes
Nothing specific at this stage, would depend on topics and circumstances, very broad question
Revegetation using native grasses erosion prevention use of "selective" herbicides
Weed control, pasture improvement
Weed management- burning?
What the Council is doing to control kangaroos? What effective actions are being undertaken by Council to reduce the Paterson's Curse, Artichoke Thistle and the plethora of other noxious weeds on unmanaged land? What action the Council Environmental and Planning Departments are doing to instil some respect amongst landholders of green wedge land and other rural land, for example: discouraging motor cycle tracks, wrecking yards, machinery and truck storage facilities, soil dumping etc. What are Councils long term plans and why will they be effective?

Table 17: Do you have any final comments about the 2016-17 CoRE Grant program? – Raw comments

Disappointing not to receive stage two of the grant
Grant application timeline is abysmal for tree planting projects that are best carried out in winter. Funding is not announced until it is too late to order trees and plant them
Great program. Has assisted me greatly in rehabilitating my property
Hume City council has been wonderful to deal with throughout the entire process. Thank you
I received the 2015-2016 Grant. In order to do the works recommended, it would be useful to receive the grant again as the things recommended are a big expense and necessary to conserve the environment. At least one more year of funding would be beneficial to land owners as these are works directed from council to assist future soil conservation. I felt the first grant merely got me a plan of works I had to do over the next few years. Without the funds to do this, it may end up as merely ideas and not attainable.
It is a terrific incentive to rural landowners to receive financial assistance to help (in our case) rid the land of weeds and try to return it to its original natural condition.
Keep up the good work we can only do so much volunteer work this funding allows us to achieve a much more visual aspect to our neighbours so that they gain an appreciation of what we are trying to achieve

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Nil
Only to say I have had the pleasure of working with x council representatives in relation to biodiversity / land management and conservation topics. I find the youthfulness and dedication of your people to be uplifting and provide me some relief to know these people genuinely care for our environment, and to them it's not just a job.
Pathetically (criminally?) Ineffective. A sign of hopelessness.
Thank you it's great
The council employees involved in the grant dept. Were very helpful
What a fantastic idea. My only regret is that I hadn't applied earlier. I think it should be vigorously promoted.
When rejecting grant applications instead, of sorry you didn't meet the criteria, it might be constructive to the applicant to let them know what part of the criteria wasn't met. I know the council has to be fair to everyone, but people if they go through the process of applying, should be informed of what the shortfall was.
Will attend field days if I have time. Managing/restoring native grasslands is a difficult, time consuming process the assistance given is invaluable.

Hume City Council
1079 Pascoe Vale Road, Broadmeadows
PO Box 119, Dallas, Victoria 3047
Telephone: 03 9205 2200 Facsimile: 03 9309 0109
email@hume.vic.gov.au
www.hume.vic.gov.au

REPORT NO:	GE173
REPORT TITLE:	S173 Agreements - Building Over Easement - 1 October 2016 - 31 December 2016
SOURCE:	Peter Jolly, Municipal Building Surveyor
DIVISION:	Planning and Development
FILE NO:	90.02.0002
POLICY:	Construct Buildings Over Easements
STRATEGIC OBJECTIVE:	5.3 Provide responsible and transparent governance, services and infrastructure which responds to and supports community needs.
ATTACHMENT:	1. <i>S173 Agreements - 1 October 2016 - 31 December 2016</i>

1. SUMMARY OF REPORT:

This report details agreements entered into under Section 173 of the *Planning and Environment Act 1987* (the Act). 45 Section 173 Agreements relating to consent to build over easements granted with conditions were entered into during the period 1 October 2016 to 31 December 2016. This report advises Council of the signing of the Agreements under Council delegation. The signing of the listed agreements finalises these consents.

2. RECOMMENDATION:

That Council notes the listing of all Agreements under Section 173 of the *Planning and Environment Act 1987* dealt with under delegation between 1 October 2016 and 31 December 2016 (Attachment 1).

3. LEGISLATIVE POWERS:

3.1 *Building Regulations 2006.*

3.2 *S173 of the *Planning and Environment Act 1987*.*

4. DISCUSSION:

4.1 Proposal

4.1.1 Regulation 310 (1) of the *Building Regulations 2006* requires the consent and report of a Council and other service authorities to an application for a Building Permit to construct a building over an easement vested in the Council or a service authority.

4.1.2 Section 173 of the *Planning and Environment Act 1987* enables a Responsible Authority to enter into an agreement with a landowner for an area covered by a planning scheme for which it is the responsible authority.

4.1.3 Council has received applications to construct buildings over drainage easements and can consent to these proposals pursuant to Regulation 310(1) of the *Building Regulations 2006*.

4.1.4 The Municipal Building Surveyor has delegated authority to consent to construction over a drainage easement.

4.1.5 Council has adopted the *Construct Buildings over Easements Policy*, which guides staff in assessing such applications where easements are vested in Council. The procedure for assessing such applications is as follows:

REPORT NO: GE173 (cont.)

- (a) Plans of the proposal, together with a copy of the property title and relevant service authority comments (if available), are referred to the Traffic and Civil Design teams for comment.
- (b) If the application is to be approved, the owner is required to enter into an agreement, made pursuant to Section 173 of *the Planning and Environment Act 1987*, which preserves Council's interests in the easement.
- (c) When the agreement is completed, the consent is granted and a building permit can be issued.
- (d) Council must execute the completed agreement. The signed agreement is lodged with the Office of Titles for registration on the certificate.

5. CONCLUSION:

This report provides details of Section 173 Agreements signed under Council delegation. The signing of the listed agreements finalises these consents.

Ref.	Address
BRC20160173	1023 Lot 535 Pascoe Vale Rd., Jacana, Vic. 3047
BRC20160180	107 Lot 201 Horizon Blvd., Greenvale, Vic. 3059
BRC20160200	47 Lot 652 Meredith St., Broadmeadows, Vic. 3047
BRC20160217	181 Lot 91 Greenvale Drive, Greenvale, Vic. 3059
BRC20160225	5 Lot 640 Athena Close, Tullamarine, Vic. 3043
BRC20160237	10 Lot 106 Collyer Ct., Attwood, Vic. 3049
BRC20160238	28 Lot 1339 Calibre Ave., Craigieburn, Vic. 3064
BRC20160242	39 Lot 645 Mallacoota Way, Craigieburn, Vic. 3064
BRC20160252	141 Lot 22 Hawkstowe Parade, Sth Morang, Vic. 3752
BRC20160235	19 Lot 485 Castlehill Ave., Greenvale, Vic. 3059
BRC20160254	25 Lot 11 Pascoe Street, Westmeadows, Vic. 3049
BRC20160268	20 Lot 302 Charm Road, Greenvale, Vic. 3059
BRC20160275	6 Lot 15309 Tussock Road, Craigieburn, Vic. 3064
BRC20160278	39 Lot 393 Kitchener Street, Broadmeadows, Vic. 3047
BRC20160280	20 Lot 35 Amstel Street, Craigieburn, Vic. 3064
BRC20160281	5 Lot 5 Broadmeadows Road, Tullamarine, Vic. 3043
BRC20160305	18 Lot 15 Brechin Ct, Greenvale, Vic. 3059
BRC20160308	270 Lot 15334 Newbury Blvd., Craigieburn, Vic. 3064
BRC20160309	70 Lot 242 The Circuit, Gladstone Park, Vic. 3043
BRC20160314	16 Lot 5 Barwick Road, Sunbury, Vic. 3429
BRC20160315	69 Lot 170 Wattleglen Street, Craigieburn, Vic. 3064
BRC20160316	4 Lot 270 Flinders Street, Sunbury, Vic. 3429
BRC20160318	4 Lot 174 Laureate Close, Sunbury, Vic. 3429
BRC20160319	2 Lot 28029 Echelon Street, Craigieburn, Vic. 3064
BRC20160324	3 Lot 1169 Ormsby Close, Gladstone Park, Vic. 3043
BRC20160325	149 Lot CP164402Q Widford St., Broadmeadows, Vic. 3047
BRC20160327	8 Lot 1403 Primrose Cr., Mickleham, Vic. 3064
BRC20160330	29B Lot 1 Geach Street, Dallas, Vic. 3047
BRC20160331	29A Lot 2 Geach Street, Dallas, Vic. 3047
BRC20160332	27B Lot 3 Geach Street, Dallas, Vic. 3047
BRC20160333	27A Lot 4 Geach Street, Dallas, Vic. 3047
BRC20160334	132 Lot 182 Greenvale Drive, Greenvale, Vic. 3059
BRC20160336	9 Lot 451 Morwell Cr., Dallas, Vic. 3047
BRC20160340	7 Lot 57 Bateman Street, Attwood, Vic. 3049
BRC20160352	10 Lot 7 Frog Court, Craigieburn, Vic. 3064

BRC20160356	17 Lot 391 Beechville Place, Craigieburn, Vic. 3064
BRC20160359	2 Lot 7 Cimberwood Drive, Craigieburn, Vic. 3064
BRC20160361	5 Lot 147 Bloom Ave., Greenvale, Vic. 3059
BRC20160368	1 Lot 1622 Distinction Ave., Craigieburn, Vic. 3064
BRC20160376	17 Lot 62 Queensferry Place, Greenvale, Vic. 3059
BRC20160379	371 Lot 118 Craigieburn Road, Craigieburn, Vic. 3064
BRC20160383	49 Lot 1526 Corringa Way, Craigieburn, Vic. 3064
BRC20160385	11 Lot 36 Bainbridge Close, Craigieburn, Vic. 3064
BRC20160389	90 Lot 3 Wilsons Lane, Sunbury, Vic. 3429
BRC20160393	2A Lot 2 May Street, Tullamarine, Vic. 3043

REPORT NO:	GE174
REPORT TITLE:	Building Control Services Delegations Report - 1 October 2016 - 31 December 2016
SOURCE:	Peter Jolly, Municipal Building Surveyor
DIVISION:	Planning and Development
FILE NO:	90.01.0001
POLICY:	-
STRATEGIC OBJECTIVE:	5.3 Provide responsible and transparent governance, services and infrastructure which responds to and supports community needs.
ATTACHMENT:	1. <i>Approvals Granted 1 October 2016 - 31 December 2016</i>

1. SUMMARY OF REPORT:

- 1.1 Council has discretionary powers under the *Building Act 1993 'Act'* and the *Building Regulations 2006 'Regulations'* to approve building proposals that do not comply with the “deemed to satisfy” Rescode provisions of the regulations.
- 1.2 Council also has discretionary powers to approve other siting matters such as constructing buildings over easements, on land not sewered, on flood prone land and on designated land.
- 1.3 Places of Public Entertainment are required to comply with requirements for Occupancy Permits.
- 1.4 The siting and erection of Prescribed Temporary Structures require approval as set out in the Act and the Regulations.
- 1.5 This report provides Council with a summary of the 111 approvals granted during the period 1 October 2016 to 31 December 2016.

2. RECOMMENDATION:

- 2.1 That this report be received and noted.

3. LEGISLATIVE POWERS:

- 3.1 *Building Act 1993*
- 3.2 *Building Regulations 2006*

4. DISCUSSION:

- 4.1 Council is responsible for the administration and enforcement of the *Building Act 1993* and the *Building Regulations 2006* within the municipal district. The legislation gives discretionary powers to Council to approve building proposals that do not meet the “deemed to satisfy” provisions in the regulations. Such applications are processed and decided under delegation from Council.
- 4.2 Part 4 of the regulations (which mirrors Rescode in the Planning Scheme) controls the siting and design of single dwellings and associated outbuildings on allotments of area greater than 300m². A person may apply to Council for approval of a building design that does not comply with the standard (deemed to satisfy) siting provisions. The legislation refers to such approval as being the “Report and Consent” of Council. Such approval must be granted to facilitate the issue of a Building Permit.
- 4.3 It should be noted that Building Regulations ‘Rescode’ siting requirements do not apply to multi dwelling developments or single dwellings on allotments with a site area less than 300m²; and do not override Planning Permit siting requirements. For example, the minimum street setback applying to a dual occupancy development is determined by ‘Rescode’ under the Planning scheme and administered through the relevant Planning Permit. The Building Regulations do not apply.

REPORT NO: GE174 (cont.)

- 4.4 The Municipal Building Surveyor has delegated authority from Council to decide such applications. The powers are exercised in accordance with the Planning Minister's Guideline MG/12 and Council's instrument of delegation. Part 4 of the regulations controls 23 separate building siting and design matters as follows:
- 4.4.1 Regulation 408 - Maximum street setback
 - 4.4.2 Regulation 409 - Minimum street setback
 - 4.4.3 Regulation 410 - Building height
 - 4.4.4 Regulation 411 - Site coverage
 - 4.4.5 Regulation 412 - Permeability
 - 4.4.6 Regulation 413 - Car parking
 - 4.4.7 Regulation 414 - Side and rear setbacks
 - 4.4.8 Regulation 415 - Walls on boundaries
 - 4.4.9 Regulation 416 - Daylight to existing habitable room
 - 4.4.10 Regulation 417 - Solar access to existing north-facing windows
 - 4.4.11 Regulation 418 - Overshadowing of recreational private open space
 - 4.4.12 Regulation 419 - Overlooking
 - 4.4.13 Regulation 420 - Daylight to habitable room windows
 - 4.4.14 Regulation 421 - Private open space
 - 4.4.15 Regulation 422 - Siting of Class 10a buildings
 - 4.4.16 Regulation 424 - Front fence height
 - 4.4.17 Regulation 425 - Fence setbacks from side and rear boundaries
 - 4.4.18 Regulation 426 - Fences on or within 150mm of a side or rear boundary
 - 4.4.19 Regulation 427 - Fences on street alignments
 - 4.4.20 Regulation 428 - Fences and daylight to windows in existing dwellings
 - 4.4.21 Regulation 429 - Fences and solar access to existing north-facing habitable room windows
 - 4.4.22 Regulation 430 - Fences and overshadowing of recreational private open space
 - 4.4.23 Regulation 431 - Masts, poles etc.
- 4.5 Council also has powers to approve (give Report and Consent) the construction of buildings in other circumstances. Such applications are decided under delegation by the Municipal Building Surveyor in consultation with other relevant departments. Such approval must be granted to facilitate the issue of a Building Permit. The relevant regulatory provisions are:
- 4.5.1 Regulation 310(1) prohibits the construction of a building over an easement unless the Report and Consent of the service authority has been granted. Council is the service authority where an easement is vested in the Council. Council has adopted the Policy No. CP2006/05/72 to guide the administration of such applications.
 - 4.5.2 Regulation 801 prohibits the construction of a building on land that does not have connection to sewerage unless the Report and Consent of Council has been granted.

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- 4.5.3 Regulation 802 prohibits the construction of buildings on land designated as being flood prone unless the Report and Consent of Council has been granted.
- 4.5.4 Regulation 806 prohibits the construction of buildings on land designated under Part 10 of the *Water Act* 1989 unless the report and Consent of Council has been granted.
- 4.6 Places of Public Entertainment (*POPE*) are subject to requirements in the legislation for Occupancy Permits. Events involving the gathering of a large number of people, such as Concerts, Festivals, Fairs, Carnivals and Shows, are covered by the requirement for an Occupancy Permit, whether held on public or privately owned land.
- 4.7 Section 57 of the Act requires that the Municipal Building Surveyor approve the siting and erection of any Prescribed Temporary Structure on any land within the municipal district. This requirement applies to structures such as circus tents, large marquees, concert stages and the like, whether they are associated with a POPE or a private event.
- 4.8 Council has adopted the Policy No. CP2006/03/65 “Building Control Policy for Places of Public Entertainment and Prescribed Temporary Structures” which guides Council’s Building Surveyors in the assessment and approval of such applications. The purpose of the policy is to ensure that permits and approvals are granted taking into account public safety and amenity.
- 4.9 There were 111 of these various matters approved during the period 1 October 2016 to 31 December 2016 as shown in Attachment 1.

5. CONCLUSION:

Council has various discretionary powers under building legislation to approve building siting and design proposals to facilitate the issue of a Building Permit. These powers are exercised by Council officers under delegation. Policy and procedures have been put in place to ensure that permits and approvals for Places of Public Entertainment and Prescribed Temporary Structures take into account public safety and amenity. This report provides Council with a summary of the approvals granted within the three month period to 31 December 2016.

Application Ref:	Approval Date:	Property Address:	Application Approval Description:
BRC20150277	23/12/2016	191 MITCHELLS LANE SUNBURY VIC 3429	Regulation 412 to allow 93 percent of the allotment to be covered by impermeable surfaces, in lieu of a maximum of 80 percent.
BRC20150376	17/10/2016	3 HUNTER AVE ROXBURGH PARK VIC 3064	Regulation 415, to allow a combined length of walls adjacent the eastern side boundary to be 25920mm in lieu of 15750mm.
BRC20150377	11/10/2016	3 HUNTER AVE ROXBURGH PARK VIC 3064	Regulation 420, to allow six habitable room windows to face a Carport which is not open for a third of its perimeter.
BRC20160022	12/10/2016	6 UNDERHILL CT SUNBURY VIC 3429	Regulation 414, to allow a Verandah to be sited on a splay with the western side allotment boundary with a setback which varies between 150mm and 420mm in lieu of 500mm.
BRC20160023	12/10/2016	6 UNDERHILL CT SUNBURY VIC 3429	Regulation 415, to allow a combined length of walls adjacent the western side boundary to be 22700mm in lieu of 18070mm.
BRC20160024	12/10/2016	6 UNDERHILL CT SUNBURY VIC 3429	Regulation 420, to allow habitable room windows serving bedroom 2 and the meals area to face a Verandah not open for one third of its perimeter.
BRC20160056	21/10/2016	48 VAUGHAN ST SUNBURY VIC 3429	Regulation 310(1), Garage constructed over an easement.
BRC20160179	7/10/2016	159-161 BLAIR ST DALLAS VIC 3047	Regulation 604(4), to allow the erection of hoarding over the street alignment.
BRC20160180	3/10/2016	107 HORIZON BVD GREENVALE VIC 3059	Regulation 310(1), Pool Fence and Verandah constructed over an easement.
BRC20160193	2/11/2016	15 HOOD CRES SUNBURY VIC 3429	Regulation 414, to allow a 3300mm high Shed to be setback 600mm from the north eastern allotment boundary in lieu of 1000mm.
BRC20160216	19/10/2016	11 ALLURE DR GREENVALE VIC 3059	Regulation 427, to allow a fence within 9000mm of a point of intersection of street alignments to be 1800mm high, in lieu of 1000mm.
BRC20160225	2/11/2016	5 ATHENA CL TULLAMARINE VIC 3043	Regulation 310(1), Garage constructed over an easement.
BRC20160226	25/10/2016	7 MULGRAVE BVD KALKALLO VIC 3064	Regulation 415, to allow a Garage wall adjacent the eastern allotment boundary to have an average wall height of 3521mm in lieu of 3200mm.

BRC20160232	4/11/2016	19 CASTLEHILL AVE GREENVALE VIC 3059	Regulation 411, to allow site coverage of 64.0 percent of the allotment area in lieu of 60 percent.
BRC20160234	21/10/2016	19 CASTLEHILL AVE GREENVALE VIC 3059	Regulation 415, to allow a combined length of walls adjacent the northern side boundary to be 13250mm in lieu of 11500mm.
BRC20160237	12/10/2016	10 COLLYER CT ATTWOOD VIC 3049	Regulation 310(1), Shed constructed over an easement.
BRC20160241	3/10/2016	75 MCKELL AVE SUNBURY VIC 3429	Regulation 409, to allow a Garage to be setback 300mm from the side street alignment boundary in lieu of 2000mm.
BRC20160242	16/11/2016	39 MALLACOOTA WAY CRAIGIEBURN VIC 3064	Regulation 310(1), Swimming Pool Safety Barrier constructed over an easement.
BRC20160244	6/10/2016	72 WARANGA CRES BROADMEADOWS VIC 3047	Regulation 414, to allow a Shed to have a tapered setback of between 220mm and 600mm from the north eastern side boundary, in lieu of 0mm or 1000mm.
BRC20160246	27/10/2016	193/236-238 WATERVIEW BVD CRAIGIEBURN VIC 3064	Regulation 420, to allow habitable room windows to face a Verandah that is not open for one third of its perimeter.
BRC20160248	27/10/2016	176/236-238 WATERVIEW BVD CRAIGIEBURN VIC 3064	Regulation 420, to allow habitable room windows to face a Verandah that is not open for one third of its perimeter.
BRC20160256	21/10/2016	41 TRUMPINGTON TCE ATTWOOD VIC 3049	Regulation 414, to allow the proposed Dwelling wall to be constructed to a maximum height of 7680mm with a side setback from the western boundary of 2140mm in lieu of a side setback of 2780mm.
BRC20160257	20/10/2016	41 TRUMPINGTON TCE ATTWOOD VIC 3049	Regulation 409, to allow a Stairway exceeding 800mm in height to be setback 6519mm from the front street alignment boundary in lieu of 8461mm.
BRC20160258	20/10/2016	41 TRUMPINGTON TCE ATTWOOD VIC 3049	Regulation 424, to allow a Front Fence to be constructed to a height of 2500mm in lieu of 1500mm.
BRC20160259	20/10/2016	41 TRUMPINGTON TCE ATTWOOD VIC 3049	Regulation 415, to allow a Dwelling wall adjacent the western boundary to have a maximum height of 5160mm in lieu of 3600mm.

BRC20160269	27/10/2016	72 GREENVALE DR GREENVALE VIC 3059	Regulation 415, to allow a Dwelling addition adjacent the eastern allotment boundary to have a maximum average height of 3475mm in lieu of 3200mm.
BRC20160270	9/11/2016	23 TORINO AVE GREENVALE VIC 3059	Regulation 415, to allow a Garage wall adjacent the southern allotment boundary to have a maximum height of 3769mm in lieu of 3600mm and an average height of 3496mm in lieu of 3200mm.
BRC20160273	5/10/2016	33 LYNTON CT GREENVALE VIC 3059	Regulation 424, to allow a fence to be constructed within 3.0m of the street alignment at the front of an allotment to a height of 2400mm in lieu of 1500mm.
BRC20160275	5/10/2016	6 TUSOCK RD CRAIGIEBURN VIC 3064	Regulation 310(1), Dwelling Foundation Element cut, constructed over an easement.
BRC20160278	26/10/2016	39 KITCHENER ST BROADMEADOWS VIC 3047	Regulation 310(1), Dwelling (U3) Carport constructed over an easement.
BRC20160279	8/11/2016	10 INVERNESS MEWS GREENVALE VIC 3059	Regulation 424, to allow a Front Fence to be constructed to a height of 1800mm in lieu of 1500mm.
BRC20160280	24/10/2016	20 AMSTEL ST CRAIGIEBURN VIC 3064	Regulation 310(1), Garage (U2) constructed over an easement.
BRC20160283	28/10/2016	16 DALKEITH CT SUNBURY VIC 3429	Regulation 414, to allow a Shed to be set back 600mm from the north western rear boundary in lieu of 0mm or 1000mm.
BRC20160284	17/10/2016	70 THE CIRCUIT GLADSTONE PARK VIC 3043	Regulation 410, to allow a Garage wall sited within 1000mm of the side of the allotment title boundary to be 3814mm high in lieu of 3600mm.
BRC20160285	17/10/2016	70 THE CIRCUIT GLADSTONE PARK VIC 3043	Regulation 414, to allow a 3814mm high Shed to be setback 500mm from the southern and eastern allotment boundaries in lieu of 1064mm.
BRC20160287	24/10/2016	23 TORINO AVE GREENVALE VIC 3059	Regulation 417, to allow a Dwelling wall to be sited 1880mm from the southern side allotment boundary in lieu of 2560mm.
BRC20160288	20/10/2016	35 STEWARTS LANE SUNBURY VIC 3429	Regulation 415, to allow the Shed wall adjacent the south-western allotment boundary to have a maximum average wall height of 3470mm in lieu of 3200mm, and to allow the Shed wall adjacent the south eastern allotment boundary to have a maximum height of 3770mm in lieu of 3600mm.

BRC20160290	6/10/2016	20 HAWKINS CT SUNBURY VIC 3429	Regulation 425, to allow a Fence of 2300mm in height being sited 0.0mm from eastern side boundary in lieu of being setback 1000mm.
BRC20160291	24/11/2016	35 STEWARTS LANE SUNBURY VIC 3429	Regulation 310(1), Shed constructed over an easement.
BRC20160294	17/10/2016	2/4 TINDALE CT ATTWOOD VIC 3049	Regulation 412, to allow permeability of 11 percent of the area of the allotment in lieu of 20 per cent.
BRC20160305	5/10/2016	18 BRECHIN CT GREENVALE VIC 3059	Regulation 310(1), Pool Fence constructed over an easement.
BRC20160307	25/10/2016	40 ST GEORGES BVD MICKLEHAM VIC 3064	Regulation 417, to allow a Garage to be sited 200mm from the southern side allotment boundary in lieu of 1000mm, where on the adjoining allotment, and within 3000mm of the common boundary, there is a north facing habitable room window facing the proposed garage.
BRC20160308	11/10/2016	270 NEWBURY BVD CRAIGIEBURN VIC 3064	Regulation 310(1), Dwelling Foundation Element Fill constructed over an easement.
BRC20160309	18/10/2016	70 THE CIRCUIT GLADSTONE PARK VIC 3043	Regulation 310(1), Shed constructed over an easement.
BRC20160310	20/12/2016	2 SELKIRK WAY MICKLEHAM VIC 3064	Allow a Verandah to be sited 500mm from the side street alignment boundary in lieu of 2000mm.
BRC20160311	20/10/2016	3 PLANTE CT SUNBURY VIC 3429	Regulation 415, to allow a combined length of walls adjacent the southern side boundary to be 17100mm in lieu of 16135mm.
BRC20160313	26/10/2016	50 MCNABS RD KEILOR VIC 3036	Regulation 802, to allow a Dependant Persons Unit to be constructed on the land designated as being liable to flooding.
BRC20160314	7/10/2016	16 BARWICK RD SUNBURY VIC 3429	Regulation 310(1), Retaining Wall constructed over an easement.
BRC20160315	28/11/2016	69 WATTLEGLEN ST CRAIGIEBURN VIC 3064	Regulation 310(1), Shed constructed over an easement.
BRC20160316	11/10/2016	4 FLINDERS ST SUNBURY VIC 3429	Regulation 310(1), Shed constructed over an easement.
BRC20160317	3/10/2016	11 BELLBRAE CT MEADOW HEIGHTS VIC 3048	Regulation 415, to allow a combined length of walls adjacent the southern side allotment boundary to be 22395mm in lieu of 17320mm.
BRC20160318	4/10/2016	4 LAUREATE CL SUNBURY VIC 3429	Regulation 310(1), Shed constructed over an easement.

BRC20160319	10/10/2016	2 ECHELON ST CRAIGIEBURN VIC 3064	Regulation 310(1), Dwelling Foundation Element cut constructed over an easement.
BRC20160321	12/10/2016	15 CALLERY PEAR ST GREENVALE VIC 3059	Regulation 417, to allow a Garage to be sited abutting the southern side allotment boundary in lieu of 1000mm, where on the adjoining allotment, and within 3000mm of the common boundary, there is a north facing habitable room window facing the proposed Garage
BRC20160322	28/11/2016	35 PHILLIP DR SUNBURY VIC 3429	Regulation 415, to allow a Shed sited within 150mm of south side of the allotment boundary to have a total wall length of 19000mm (combined with existing carport) in lieu of 16650mm.
BRC20160323	21/10/2016	13 CRATHE CL ROXBURGH PARK VIC 3064	Regulation 409, to allow a Dwelling to be setback 1840mm from the front street alignment boundary in lieu of 4800mm.
BRC20160326	24/10/2016	3 ORMSBY CL GLADSTONE PARK VIC 3043	Regulation 409, to allow a Dwelling to be setback 4000mm from the front street alignment boundary in lieu of the required 7750mm as normally allowed, and as the depicted in the lodged plan.
BRC20160327	3/11/2016	8 PRIMROSE CRES MICKLEHAM VIC 3064	Regulation 310(1), Shed constructed over an easement.
BRC20160328	3/11/2016	4 STREETLY CL TULLAMARINE VIC 3043	Regulation 419, to allow overlooking of recreational private open space of the land on the adjoining allotment (Lot 42) to the north, from the upper storey bedroom 4.
BRC20160329	24/10/2016	19 COOPER ST BROADMEADOWS VIC 3047	Regulation 310(1), Shed (U3) constructed over an easement.
BRC20160330	19/10/2016	29B GEACH ST DALLAS VIC 3047	Regulation 310(1), Dwelling (U6) Eave constructed over an easement.
BRC20160331	19/10/2016	29A GEACH ST DALLAS VIC 3047	Regulation 310(1), Dwelling (U6) Eave constructed over an easement.
BRC20160332	19/10/2016	27B GEACH ST DALLAS VIC 3047	Regulation 310(1), Dwelling (U5) Eave constructed over an easement.
BRC20160333	19/10/2016	27A GEACH ST DALLAS VIC 3047	Regulation 310(1), Dwelling (U5) Eave constructed over an easement.
BRC20160334	26/10/2016	132 GREENVALE DR GREENVALE VIC 3059	Regulation 310(1), Carport constructed over an easement.
BRC20160336	14/12/2016	9 MORWELL CRES DALLAS VIC 3047	Regulation 310(1), Swimming Pool Safety Barrier constructed over an easement.

BRC20160337	21/10/2016	48 VAUGHAN ST SUNBURY VIC 3429	Regulation 415, to allow a Garage wall adjacent the northern allotment boundary to have a maximum height of 4200mm in lieu of 3600mm and an average height of 4200mm in lieu of 3200mm.
BRC20160338	21/10/2016	48 VAUGHAN ST SUNBURY VIC 3429	Regulation 424, to allow a Front Fence to be constructed to a height of 2055mm in lieu of 1500mm.
BRC20160339	21/10/2016	48 VAUGHAN ST SUNBURY VIC 3429	Regulation 408, to allow a Dwelling to be setback 19500mm from the front street alignment boundary in lieu of 16800mm.
BRC20160340	22/11/2016	7 BATEMAN ST ATTWOOD VIC 3049	Regulation 310(1), Decking constructed over an easement.
BRC20160341	14/11/2016	23 TORINO AVE GREENVALE VIC 3059	Regulation 410, to allow a section of parapet wall to be constructed to a height of between 3677mm and 4141mm in lieu of 3600mm when located 1000mm from the southern side boundary.
BRC20160345	10/10/2016	35 CRADLE MOUNTAIN DR CRAIGIEBURN VIC 3064	Regulation 411, to allow site coverage of 68.5 per cent of the allotment area in lieu of 60 per cent.
BRC20160348	21/11/2016	52 THE SKYLINE SUNBURY VIC 3429	Regulation 427, to allow a brick fence within 9000mm of a point of intersection of street alignments to be a height of 1800mm in lieu of 1000mm
BRC20160350	31/10/2016	40B FLEETWOOD DR GREENVALE VIC 3059	Regulation 415, to allow a Dwelling wall to be constructed adjacent the southern allotment boundary where the combined length of wall will be 23182mm in lieu of 15872mm.
BRC20160351	2/11/2016	20 COOKES RD YUROKE VIC 3063	Section 57 Municipal Building Surveyor Siting consent Prescribed Temp Structure - 2016 Buddhist Spring Festival
BRC20160352	21/10/2016	10 FROG CT CRAIGIEBURN VIC 3064	Regulation 310(1), Retaining Wall constructed over an easement.
BRC20160353	21/11/2016	10 HEVERSHAM GR GREENVALE VIC 3059	Regulation 420, to allow three (3) habitable room windows to face a Carport which is not open for a third of its perimeter.
BRC20160356	22/11/2016	17 BEECHVILLE PL CRAIGIEBURN VIC 3064	Regulation 310(1), Garage constructed over an easement.
BRC20160357	25/11/2016	11 DELSON WAY MICKLEHAM VIC 3064	Regulation 415, to allow a combined length of walls adjacent the northern side boundary to be 18000mm in lieu of 16660mm.

BRC20160358	22/11/2016	1/37 STEWARTS LANE SUNBURY VIC 3429	Regulation 418, to allow overshadowing of private open space on the adjoin allotment at 37 Stewarts Sunbury.
BRC20160359	18/11/2016	2 CIMBERWOOD DR CRAIGIEBURN VIC 3064	Regulation 310(1), Shed constructed over an easement.
BRC20160360	7/12/2016	18 PRISTINE DR GREENVALE VIC 3059	Regulation 417, Garage wall 0mm from boundary in lieu of 1000mm,
BRC20160361	25/11/2016	5 BLOOM AVE GREENVALE VIC 3059	Regulation 310(1), Dwelling foundation element cut constructed over an easement.
BRC20160364	3/11/2016	5 DESIGN WAY KALKALLO VIC 3064	Regulation 415, to allow a Garage wall adjacent the eastern allotment boundary to have an average height of 3480mm in lieu of 3200mm.
BRC20160365	1/12/2016	583 ELIZABETH DR SUNBURY VIC 3429	Regulation 417, to allow a Carport to be sited 500mm from the south side allotment boundary in lieu of 1000mm where on the adjoining allotment and facing the Carport there is a north facing habitable room window within 3000mm of the common boundary.
BRC20160366	4/11/2016	3 PRIMROSE CRES MICKLEHAM VIC 3064	Regulation 411, to allow a Dwelling and Garage to have maximum total site coverage of 62.2 percent of the allotment area in lieu of 60 percent.
BRC20160368	18/11/2016	1 DISTINCTION AVE CRAIGIEBURN VIC 3064	Regulation 310(1), Shed and Eave (U3) constructed over an easement.
BRC20160371	23/11/2016	16 CHAMBLY DR MICKLEHAM VIC 3064	Regulation 415, to allow a combined length of walls adjacent the southern allotment boundary to be 23030mm in lieu of 15000mm.
BRC20160373	8/11/2016	9 KINGS COLLEGE CT ATTWOOD VIC 3049	Regulation 424, to allow a Front Fence to be constructed to a height of 1800mm in lieu of 1500mm.
BRC20160374	15/12/2016	2 BISHOPS WAY SUNBURY VIC 3429	Regulation 419, to allow overlooking of recreational private open space from a raised terrace onto the adjoining allotments at No. 1 Earlington Cresnet Sunbury and No. 3 Earlington Cresnet Sunbury.
BRC20160375	29/11/2016	33 STEWARTS LANE SUNBURY VIC 3429	Regulation 310(1), Verandah constructed over an easement.
BRC20160376	2/12/2016	17 QUEENSFERRY PL GREENVALE VIC 3059	Regulation 310(1), Fence constructed over an easement.

BRC20160378	18/11/2016	17 BEECHVILLE PL CRAIGIEBURN VIC 3064	Regulation 415, to allow a Shed sited 200mm from the northern allotment boundary to have a maximum average height of 3532mm in lieu of 3200mm and a maximum height of 3865mm in lieu of 3600mm,
BRC20160379	23/11/2016	371 CRAIGIEBURN RD CRAIGIEBURN VIC 3064	Regulation 310(1), Verandah constructed over an easement.
BRC20160381	22/11/2016	2 KINGDOM CT ROXBURGH PARK VIC 3064	Regulation 411, to allow site coverage of 60.5 percent of the allotment area in lieu of 60 percent.
BRC20160382	30/11/2016	49 CORRINGA WAY CRAIGIEBURN VIC 3064	Regulation 411, to allow buildings to occupy 65.3 percent of an allotment area in lieu of 60 percent.
BRC20160383	24/11/2016	49 CORRINGA WAY CRAIGIEBURN VIC 3064	Regulation 310(1), Verandah constructed over an easement.
BRC20160384	2/12/2016	29 GREENHAVEN DR GREENVALE VIC 3059	Regulation 310(1), Dwelling eave constructed over an easement.
BRC20160385	8/12/2016	11 BAINBRIDGE CL CRAIGIEBURN VIC 3064	Regulation 310(1), Garage constructed over an easement.
BRC20160388	1/12/2016	1A CREEKWOOD DR CRAIGIEBURN VIC 3064	Regulation 415, to allow the Shed adjacent the south-western allotment boundary to have a maximum average wall height of 3432mm in lieu of 3200mm, and to allow the Shed adjacent the south eastern allotment boundary to have a maximum height of 3765mm in lieu of 3600mm.
BRC20160389	5/12/2016	90 WILSONS LANE SUNBURY VIC 3429	Regulation 310(1), Carport constructed over an easement.
BRC20160392	22/12/2016	464 BROOKFIELD BVD MICKLEHAM VIC 3064	Regulation 310(1), Dwelling stormwater drainage system constructed over an easement.
BRC20160393	19/12/2016	2A MAY ST TULLAMARINE VIC 3043	Regulation 310(1), Garage constructed over an easement.
BRC20160399	14/12/2016	1/158 HOTHLYN DR CRAIGIEBURN VIC 3064	Regulation 414, to allow a 2430mm high Verandah to be setback 150mm from the western allotment boundary in lieu of 500mm.
BRC20160401	2/12/2016	9 VALLEY CT CRAIGIEBURN VIC 3064	Regulation 310(1), Carport (U2) constructed over an easement.

BRC20160403	2/12/2016	1-71 MARATHON BVD CRAIGIEBURN VIC 3064	Pope Occupancy Permit & Section 57 MBS siting consent for Prescribed Temporary Structure - Carols By Candlelight 2016
BRC20160404	8/12/2016	35 CRADLE MOUNTAIN DR CRAIGIEBURN VIC 3064	Regulation 310(1), Verandah constructed over an easement.
BRC20160406	5/12/2016	9 KIRBY CL GREENVALE VIC 3059	Regulation 310(1), Carport constructed over an easement.
BRC20160422	15/12/2016	16 EMILY ST GREENVALE VIC 3059	Regulation 420, to allow habitable room windows serving the Dining Room and the Kids Retreat to face an Alfresco with a 0.0mm wide light court in lieu of 1000mm.
BRC20160443	14/12/2016	34 PYMBLE GDNS ROXBURGH PARK VIC 3064	Regulation 415(3)(a), to allow the Carport adjacent the eastern allotment boundary to have a maximum average wall height of 3670mm in lieu of 3200mm, and Regulation 415(3)(b), to allow the Carport adjacent the eastern allotment boundary to have a maximum height of 3800mm in lieu of 3600mm.

REPORT NO:	GE175
REPORT TITLE:	Quarterly Financial Report - December 2016
SOURCE:	Fadi Srour, Manager Finance and Property Development
DIVISION:	Corporate Services
FILE NO:	HCC16/217
POLICY:	-
STRATEGIC OBJECTIVE:	5.3 Provide responsible and transparent governance, services and infrastructure which responds to and supports community needs.
ATTACHMENT:	1. <i>Quarterly Financial Report</i>

1. SUMMARY OF REPORT:

The quarterly financial report provides information to the community and stakeholders on the financial performance and position of Council as at 31 December 2016, as required on a quarterly basis under section 138 – Quarterly Statements of the *Local Government Act, 1989*.

2. RECOMMENDATION:

That the Finance Report for the six months ended 31 December 2016 be received and noted.

3. FINANCIAL IMPLICATIONS:

3.1 Reports

3.1.1 The financial statements consist of three main reports:

1. The Income Statement;
2. The Balance Sheet; and
3. The Statement of Cash Flows.

3.1.2 Two additional reports have also been included that show the level of payments that Council directly makes to businesses, community groups, individuals and employees within Hume.

3.1.3 From a governance and accountability perspective, Council receives quarterly reports on key financial data with detailed commentary on variance analysis and actions being undertaken. The reporting of this key financial data on a quarterly and annual basis adds to the commitment Council has made to govern in an open manner and be accountable to residents for the management of resources and funding.

4. KEY FINANCIAL INFORMATION:

4.1 Income Statement [*Attachment 1*]

4.1.1 The Income Statement measures how well Council has performed from an operating or recurrent nature. It reports revenues and expenditure from the activities and functions undertaken with the net effect being the resulting surplus figure.

4.2 Attachment 1 identifies that Council has generated \$184.5m in revenue and \$96.8m in expenses. This has resulted in a surplus of \$87.7m which is \$22.7m above budget for the six months ended 31 December 2016. This favourable variance is largely due growth in the municipality resulting in additional contributions non-monetary assets of \$16.2m, supplementary rates income of \$1.6m and statutory and user fees of \$1.5m. In addition, grants-recurrent income is favourable by \$1.8m due to higher utilisation and unbudgeted ratio supplement income for pre-school and childcare and additional grant income received for personal care, supporting Early Years Hubs and Maternal and Child Health programs.

REPORT NO: GE175 (cont.)

4.2.1 Council's Revenue Base

- (a) The majority of Council's revenue is derived from rates and charges. During the financial year ended 30 June 2016, rates income was \$149.3m. This equated to 42% of Council's total revenue of \$352.2m.
- (b) For the six months ended 31 December 2016, rates revenue was \$81.8m which equates to 44% of total revenue. Therefore, Council continues to be reliant on its rates revenue as a major source of income.

4.2.2 For the six months ended 31 December 2016, the major items of revenue earned by Council include:

(a) Rates and charges	\$81.8m
(b) Contribution - non- monetary assets	\$42.5m
(c) Contribution – monetary	\$11.7m
(d) User and Statutory fees	\$17.7m
(e) Grants – recurrent	\$21.0m

4.2.3 Council's Expense Base

- (a) The majority of Council's expenses relates to employee benefits. During the financial year ended 30 June 2016, employee benefits were \$97m. This equated to 44% of Council's total expenses of \$220.2m.
- (b) For the six months ended 31 December 2016, employee benefits were \$46.2m which equates to 48% of total expenditure.

4.2.4 For the six months ended 31 December 2016, the major items of expenditure incurred by Council include:

(a) Employee benefits	\$46.2m
(b) Materials and services	\$26.9m
(c) Depreciation	\$18.8m

4.3 Balance Sheet [*Attachment 2*]

4.3.1 The Balance Sheet is a statement at a point in time which shows all the resources controlled by Council and the obligations of Council. The aim of the Balance Sheet is to summarise the information contained in the accounting records relating to assets, liabilities and equity in a clear and intelligible form.

4.3.2 The major item on the Balance Sheet consists of property, infrastructure, plant and equipment. These fixed assets made up 93% of Council's total asset base in 2015/16 – a total of \$2.44b. As at 31 December 2016, fixed assets made up 93% of Council's total asset base – a total of \$2.52b.

4.3.3 The impact of sound financial management can be seen in the ratepayer equity of \$2.43b which reflects the strong financial position of Council. The information contained within the Balance Sheet also demonstrates that liquidity is strong as demonstrated by the favourable cash balance. Council assets are increasing, which is largely due to developer contributed assets and a substantial capital works program. All of these factors have led to favourable key ratios as identified in this report.

4.4 Statement of Cash Flows [*Attachment 3*]

4.4.1 The Statement of Cash Flows shows what was actually received and paid by Council, not what was owed or what was recorded. This is largely why it is different to the Income Statement which shows what income was raised and payments incurred during the same period.

REPORT NO: GE175 (cont.)

- 4.4.2 For example, Council may make a purchase of some goods/services today but may not make payment for those goods/services for another 30 days (in accordance with Council's credit terms). However, as the goods/services have already been provided, the accounting standards require that the cost of these goods/services be recorded in the Income Statement as soon as they have been provided.
- 4.4.3 Another reason for the difference between the surplus figure reported in the Income Statement and the Cash Flow Statement is the significant level of non-monetary developer contributed assets recorded as income, \$42.5m at 31 December 2016, (in the Income Statement) with no resulting cash receipts.
- 4.4.4 For the six months ended 31 December 2016, Council's cash position is \$121m which is \$48m favourable to budget. This is largely due to commencing the year with a higher than expected cash balance primarily as a result of unbudgeted capital works income and a larger than expected carry forward in the capital works program as well as a favourable operating position.

4.5 Buying Local *[Attachment 4]*

- 4.5.1 The Buying Local report highlights the level of payments made by Council to businesses, community groups and individuals within the municipality. The report includes payments for grants and contributions, materials and services, building and utility costs and contractor and other services. For the six months ended 31 December 2016, Council made payments to local suppliers totalling \$10.3m. Significantly, the level of local expenditure as a proportion of Council's total payments (including capital works) was 8% as at 31 December 2016.
- 4.5.2 It should be noted that the report only includes payments to suppliers whose mailing address is listed within Hume. There is therefore the possibility that the level of payments to local suppliers is in fact higher.

4.6 Employees Residing within Hume *[Attachment 5]*

- 4.6.1 The Employees Residing within Hume report highlights the level of salaries paid to employees who reside within Hume and also the number of employees who reside within Hume.
- 4.6.2 For the six months ended 31 December 2016, Council paid salaries to employees residing within Hume totalling \$19.4m, representing 42% of total employee benefits. Also for the six months ended 31 December 2016, there were 850 employees residing within Hume representing 56% of total employees.

4.7 Financial Ratios

- 4.7.1 The following financial ratios are required to be included in Council's financial report at year-end. Although their value may be limited as key financial indicators, they do provide information on trends.

Ratios	Six Months to 31-Dec-16 2016/17	Six Months to 31-Dec-15 2015/16	Twelve Months to 30-Jun-16 2015/16
Debt Servicing Ratio (Target < 3%)			
This ratio measures the extent to which long-term debt is impacting on the annual total income of Council and identifies the capacity of	0.04%	0.45%	1.30%

REPORT NO: GE175 (cont.)

Ratios	Six Months to 31-Dec-16 2016/17	Six Months to 31-Dec-15 2015/16	Twelve Months to 30-Jun-16 2015/16
Council to service outstanding debt. The ratio expresses the amount of interest paid as a percentage of Council's total revenue. (The lower the ratio the better).			
<u>Debt Commitment Ratio (Target < 15%)</u> This ratio identifies Council's debt redemption strategy and expresses the percentage of rate revenue utilised to pay interest and redeem debt principal. (The lower the ratio the better). During the month of March 2016, Council repaid borrowings in full resulting in an unusually high ratio.	0.36%	1.71%	20.10%
<u>Revenue Ratio (Target 65% - 70%)</u> This ratio identifies Council's reliance on rates as a source of income. (The lower the ratio the better).	44.35%	50.75%	42.40%
<u>Debt Exposure Ratio</u> This ratio identifies Council's exposure to debt and expresses the total indebtedness to total realisable assets. (The lower the ratio the better).	6.58%	9.35%	7.90%
<u>Working Capital Ratio (Target 100% - 150%)</u> This ratio identifies Council's ability to meet current liabilities and enables an assessment of Council's liquidity and solvency. The ratio compares the current assets to current liabilities. (The higher the ratio the better).	367.99%	274.61%	220.16%

5. ENVIRONMENTAL SUSTAINABILITY CONSIDERATIONS:

Environmental Sustainability has been considered and the recommendations of this report give no rise to any matters.

6. CHARTER OF HUMAN RIGHTS APPLICATION:

The Charter of Human Rights and Responsibility has been considered and the recommendations of this report give no rise to any matters.

7. CONCLUSION:

The quarterly report has been prepared on an accrual basis and in accordance with accounting practices, including an Income Statement, Balance Sheet and Statement of Cash Flows. Council's financial performance is ahead of expectations.

Attachment 1

INCOME STATEMENT

For the six months ended 31 December 2016

	Six months to 31/12/2016 ACTUAL 2016/17 \$'000	Six months to 31/12/2016 BUDGET 2016/17 \$'000	Twelve months to 30/06/2016 ACTUAL 2015/16 \$'000
Income			
Rates and charges	81,818	80,158	149,312
Statutory fees and fines	6,918	5,875	12,497
User fees	10,818	10,308	23,614
Grants - recurrent	20,984	19,215	29,304
Contributions - monetary	11,686	11,265	25,410
Property rental	1,113	1,114	1,545
Interest	1,056	574	3,391
Fair value adjustment on investment property	-	-	942
Total income	134,393	128,509	246,015
Expenses			
Employee benefits	46,207	48,462	97,034
Materials and services	26,942	27,774	66,362
Utility costs	2,129	2,327	5,195
Grants, contributions and donations	1,170	1,142	4,121
Bad and doubtful debts	333	-	763
Depreciation and amortisation	18,805	19,430	38,191
Finance costs	65	56	5,721
Other expenses	1,181	1,318	2,781
Total expenses	96,832	100,509	220,168
Underlying surplus	37,561	28,000	25,847
Net gain on disposal of property, plant, equipment and infrastructure	223	-	434
Net gain on property development	525	550	1,049
Contributions - non-monetary assets	42,513	26,318	95,743
Grants - capital	6,871	10,094	8,948
Surplus for the year	87,693	64,962	132,021
Other comprehensive income			
Net asset revaluation increment	-	-	(11,461)
Comprehensive result	87,693	64,962	120,560

Attachment 2

BALANCE SHEET

As at 31 December 2016

	Six months to 31/12/2016 ACTUAL 2016/17 \$'000	Six months to 31/12/2015 ACTUAL 2015/16 \$'000	Twelve months to 30/06/2016 ACTUAL 2015/16 \$'000
Assets			
Current assets			
Cash and cash equivalents	120,971	119,323	101,201
Trade and other receivables	14,161	11,610	21,473
Non-current assets classified as held for sale	7,207	111	8,095
Other assets	-	2,320	2,179
Total current assets	142,339	133,365	132,948
Non-current assets			
Trade and other receivables	306	306	306
Property, infrastructure, plant and equipment	2,331,445	2,201,582	2,272,041
Investment property	31,382	30,866	31,382
Financial assets	310	310	310
Non-current assets classified as held for sale	9,629	20,176	9,629
Total non-current assets	2,373,071	2,253,241	2,313,668
Total assets	2,515,411	2,386,605	2,446,616
Liabilities			
Current liabilities			
Trade and other payables	4,231	8,229	25,775
Interest-bearing loans and borrowings	1,366	15,841	1,147
Provisions	24,029	24,495	23,295
Development fee obligation	9,054	-	10,169
Total current liabilities	38,680	48,565	60,386
Non-current liabilities			
Interest-bearing loans and borrowings	633	12,576	1,083
Provisions	27,199	23,656	27,114
Trust funds and deposits	4,732	3,647	1,556
Development fee obligation	12,097	24,600	12,097
Total non-current liabilities	44,661	64,479	41,850
Total liabilities	83,341	113,044	102,236
Net assets	2,432,070	2,273,560	2,344,380
Equity			
Accumulated surplus	1,392,323	1,245,640	1,302,929
Other reserves	1,039,747	1,027,920	1,041,451
Total equity	2,432,070	2,273,560	2,344,380

Attachment 3

STATEMENT OF CASH FLOWS

For the six months ended 31 December 2016

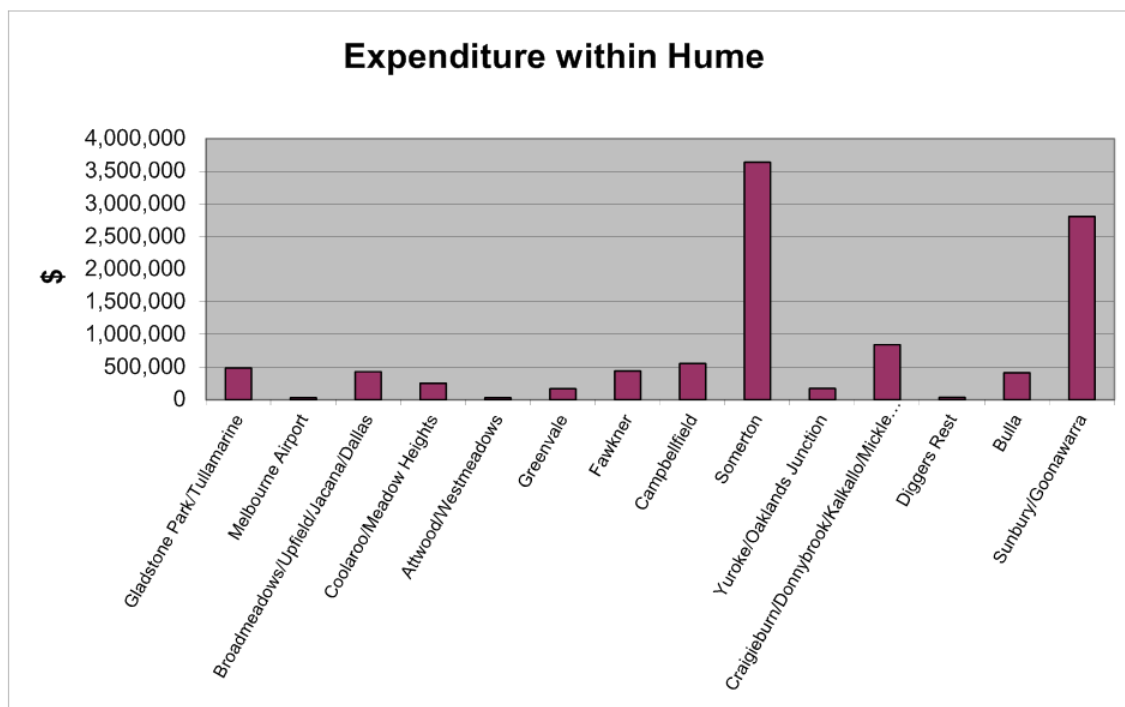
	Six months to 31/12/2016 ACTUAL 2016/17 \$'000	Six months to 31/12/2016 BUDGET 2016/17 \$'000	Twelve months to 30/06/2016 ACTUAL 2015/16 \$'000
Cash flows from operating activities			
Receipts			
General rates	85,639	84,258	147,268
Grants - operating	20,984	19,215	29,415
Grants - capital	6,535	10,094	11,055
User fees	11,632	10,251	26,918
Statutory fees and fines	6,426	5,805	11,672
Property rental	874	1,114	1,523
Interest	727	574	3,142
Net trust funds and deposits	-	-	1,123
Contributions - monetary	11,865	11,265	24,553
Net GST refund	-	-	11,279
	144,682	142,576	267,948
Payments			
Payments to employees	(48,476)	(49,537)	(94,782)
Materials and services	(30,941)	(36,950)	(88,619)
Other expenses	(1,180)	(1,318)	(2,778)
Grants, contributions and donations	(1,170)	(1,142)	(4,121)
	(81,767)	(88,948)	(190,300)
Net cash provided by operating activities	62,916	53,629	77,649
Cash flows from investing activities			
Payments for property, plant, equipment and infrastructure	(43,770)	(55,675)	(52,911)
Proceeds from sale of property, plant, equipment and infrastructure	625	400	2,325
Proceeds from sale of financial assets	-	-	63,200
Proceeds from property development	298	270	572
Net cash used in investing activities	(42,848)	(55,005)	13,186
Cash flows from financing activities			
Finance costs	(65)	(63)	(3,214)
Repayment of interest bearing loans and borrowings	(232)	(203)	(26,794)
Net cash used in financing activities	(297)	(266)	(30,008)
Net increase/(decrease) in cash and cash equivalents	19,771	(1,643)	60,827
Cash and cash equivalents at the beginning of the period	101,201	75,097	40,374
Cash and cash equivalents at the end of the period	120,971	73,454	101,201

Attachment 4

**Buying Local
Expenditure by Locality**

As at 31 December 2016

Postcode	Suburb	Amount \$
3043	Gladstone Park/Tullamarine	486,671
3045	Melbourne Airport	29,177
3047	Broadmeadows/Upfield/Jacana/Dallas	427,831
3048	Coolaroo/Meadow Heights	252,471
3049	Attwood/Westmeadows	29,128
3059	Greenvale	168,886
3060	Fawkner	438,926
3061	Campbellfield	554,200
3062	Somerton	3,638,760
3063	Yuroke/Oaklands Junction	171,841
3064	Craigieburn/Donnybrook/Kalkallo/Mickleham/Roxburgh Park	841,763
3427	Diggers Rest	33,193
3428	Bulla	410,987
3429	Sunbury/Goonawarra	2,805,510
Total		10,289,344



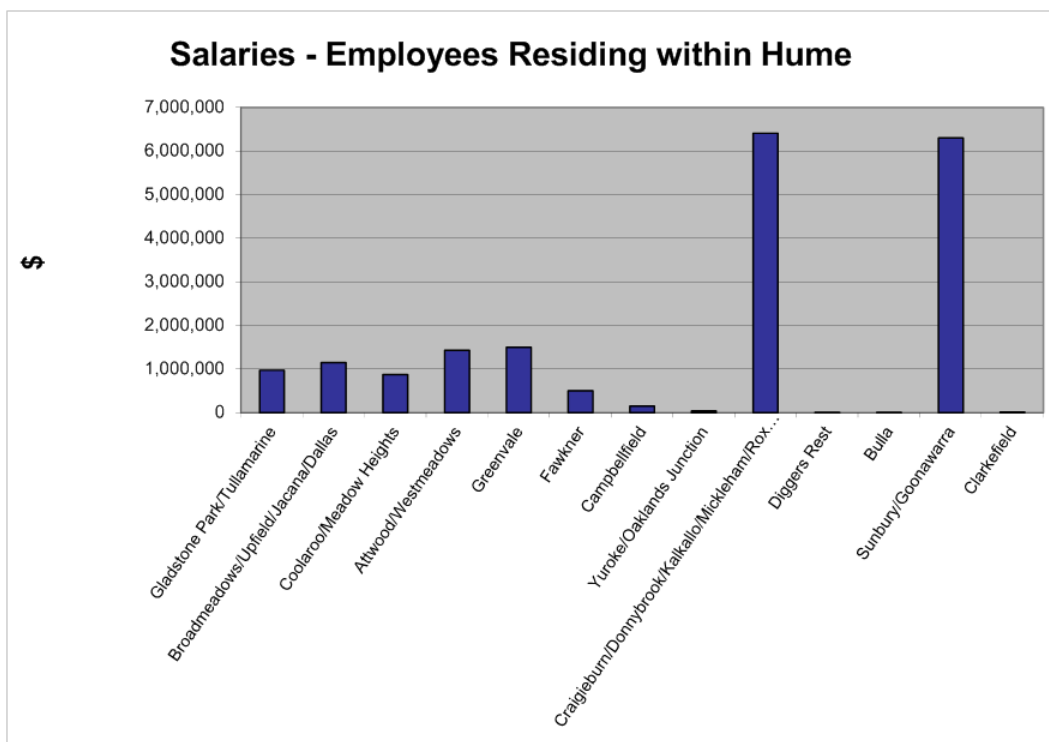
Attachment 5

Employees Residing within Hume

As at 31 December 2016

Postcode	Suburb	Gross Salaries \$
3043	Gladstone Park/Tullamarine	975,499
3047	Broadmeadows/Upfield/Jacana/Dallas	1,153,949
3048	Coolaroo/Meadow Heights	874,519
3049	Attwood/Westmeadows	1,434,336
3059	Greenvale	1,499,790
3060	Fawkner	503,418
3061	Campbellfield	151,714
3063	Yuroke/Oaklands Junction	37,532
3064	Craigieburn/Donnybrook/Kalkallo/Mickleham/Roxburgh Park	6,412,371
3427	Diggers Rest	1114
3428	Bulla	574
3429	Sunbury/Goonawarra	6,302,888
3430	Clarkefield	17,665
Total		19,365,369

Total number of employees paid that reside within Hume was **850**.



REPORT NO:	GE176
REPORT TITLE:	General Valuation 2018
SOURCE:	Fadi Srour, Manager Finance and Property Development
DIVISION:	Corporate Services
FILE NO:	HCC15/93
POLICY:	-
STRATEGIC OBJECTIVE:	5.3 Provide responsible and transparent governance, services and infrastructure which responds to and supports community needs.
ATTACHMENT:	1. <i>Statutory Declaration 2018</i>

1. SUMMARY OF REPORT:

This report recommends that Council formally resolve to conduct a General Valuation (Revaluation) of all rateable properties in accordance with Section 11 of the *Valuation of Land Act 1960* (the Act).

2. RECOMMENDATION:

That Council:

- 2.1 in accordance with Section 11 of the *Valuation of Land Act 1960* (the Act) resolves to conduct a General Valuation of all rateable and leviable properties to be returned on or before 30 June 2018.**
- 2.2 gives notice of this resolution to the Valuer-General and to every other rating authority interested in the General Valuation as required by Section 6 of the Act.**
- 2.3 in accordance with Section 13 DA(1) of the Act appoint Mr Bill Katsianis, Council's Senior Valuer who is a Certified Practising Valuer and Associate of the Australian Property Institute, Member No 62961, to return the General Valuation.**
- 2.4 notes the making of the statutory declaration by Mr Bill Katsianis for the purposes of Section 13 DH (2).**

3. LEGISLATIVE POWERS:

- 3.1 The power to conduct a General Valuation is provided in Section 6 of the Act.
- 3.2 Mr Bill Katsianis is appointed under Section 13DA of the Act to make and return the valuations.
- 3.3 A statutory declaration is required under Section 13DH(2) of the Act.

4. FINANCIAL IMPLICATIONS:

- 4.1 The effect of the General Valuation will be the redistribution of the amount paid in rates by Council's ratepayers in a fair and equitable manner by using current valuations.
- 4.2 In addition to the redistribution of Council rates, the General Valuation data is also purchased by the State Revenue Office to assess land tax. Revenue from the State Revenue Office for the 2018 General Valuation will be received in the 2018/19 financial year.

5. ENVIRONMENTAL SUSTAINABILITY CONSIDERATIONS:

Environmental Sustainability has been considered and the recommendations of this report give no rise to any matters.

6. CHARTER OF HUMAN RIGHTS APPLICATION:

The Charter of Human Rights and Responsibility has been considered and the recommendations of this report give no rise to any matters.

REPORT NO: GE176 (cont.)

7. COMMUNITY CONSULTATION:

- 7.1 Ratepayers will be advised of the General Valuation through articles published in the local papers and on Council's website early in 2018.
- 7.2 Further information regarding general trends and shifts in property values across the municipality will be presented in a report to Council in mid-2018.

8. DISCUSSION:

- 8.1 In accordance with the legislative requirements of the Act, Council is required to return a General Valuation of all rateable properties within the municipality by 30 June 2018. The Valuer General has also advised that 1 January 2018 will be the date for the General Valuation for all properties within Hume.
- 8.2 Before any General Valuation and return is made, the person appointed to make the return must make a declaration that the valuation and return will be impartial and true to the best of that person's judgement.
- 8.3 A copy of the statutory declaration made by Mr Bill Katsianis is attached. Mr Bill Katsianis is a qualified valuer and holds the qualifications and experience specified in the Act.
- 8.4 The below indicative timetable is outlined in the Valuer General's Best Practice Specification Guidelines:

Stage	Key Task	Completion Date
	Notification to adjoining Councils of pending General Valuation for 2018	February 2017
1	General preparation and statistical analysis of 2016 Revaluation	28/02/2017
2	Prepare preliminary valuations of all residential and rural properties	31/10/2017
3	Determine final valuations for all non-residential, non-rural and specialist properties	28/02/2018
4	Determine final valuations for residential and rural properties	31/03/2018
5	Valuation Return, Valuer's Final Report and provision of database	30/04/2018

9. CONCLUSION:

In accordance with the Act, this report recommends that Council resolves to conduct a General Valuation of all rateable and leviable properties. This is to be returned to Council by 30 June 2018 with the relevant date being 1 January 2018.



1079 PASCOE VALE ROAD
BROADMEADOWS
VICTORIA 3047

Postal Address:
PO BOX 119
DALLAS 3047

Telephone: 03 9205 2200
Facsimile: 03 9309 0109
www.hume.vic.gov.au

STATUTORY DECLARATION

I, Bill Katsianis, of Hume City Council, 1079 Pascoe Vale Rd, Broadmeadows, Victoria and holding the position of Senior Valuer for Hume City Council, do solemnly and sincerely declare pursuant to Section 13DH(2) of the *Valuation of Land Act 1960* that the valuation and return I make on behalf of Hume City Council will be impartial and true to the best of my judgement.

AND I make this solemn declaration believing the same to be true and by virtue of the provisions of an Act of Parliament of Victoria rendering persons making false declarations punishable for wilful and corrupt perjury.

DECLARED at Hume City Council
Municipal Offices, Broadmeadows
In the State of Victoria this 30th
day of January, 2017

)
) 
)
)

Before me



FADI SROUR
A senior officer of Council as defined in the
Local Government Act 1989

REPORT NO:	GE177
REPORT TITLE:	Council Meeting Schedule (April 2017 to June 2017)
SOURCE:	Gavan O'Keefe, Manager Governance
DIVISION:	Corporate Services
FILE NO:	HCC04/13
POLICY:	-
STRATEGIC OBJECTIVE:	5.3 Provide responsible and transparent governance, services and infrastructure which responds to and supports community needs.
ATTACHMENT:	Nil

1. SUMMARY OF REPORT:

- 1.1 A Council meeting schedule has been developed for the period April 2017 to June 2017 which continues Council's current format of scheduling an Ordinary Council Meeting on the second Monday of each month and an Ordinary (Town Planning) Council Meeting on the fourth Monday of each month.
- 1.2 The attached schedule provides for the holding of a Council meeting in each of the three major centres in Hume being Broadmeadows, Craigieburn and Sunbury.

2. RECOMMENDATION:

- 2.1 That the Council Meeting schedule for April 2017 to June 2017, as follows, be adopted:

DATE	MEETING TYPE	VENUE
Monday 10 April 2017	Ordinary	Sunbury Council Chamber
Monday 24 April 2017	Ordinary (Town Planning)	Broadmeadows Council Chamber
Monday 8 May 2017	Ordinary	Craigieburn Global Learning Centre
Monday 22 May 2017	Ordinary (Town Planning)	Broadmeadows Council Chamber
Tuesday 13 June 2017	Ordinary	Broadmeadows Council Chamber
Monday 26 June 2017	Ordinary (Town Planning)	Broadmeadows Council Chamber

- 2.2 That the Council meeting dates be advertised in the Hume and Sunbury Leader newspapers and be placed on Council's website.

3. LEGISLATIVE POWERS:

Sections 83(a), 83(b), and 89 of the *Local Government Act 1989* ('the Act') relating to the conduct of Council Meetings.

4. ENVIRONMENTAL SUSTAINABILITY CONSIDERATIONS

Environmental Sustainability has been considered and the recommendations of this report give no rise to any matters.

REPORT NO: GE177 (cont.)

5. CLIMATE CHANGE ADAPTATION CONSIDERATIONS:

Climate change adaptation has been considered and the recommendations of this report give no rise to any matters.

6. CHARTER OF HUMAN RIGHTS APPLICATION:

The Charter of Human Rights and Responsibility has been considered and in accordance with Council's Social Justice Charter, the recommendations of this report promote Participatory Rights of residents (Clause 4.2 *Hume Social Justice Charter 2007*) by the holding of open and accessible Council Meetings, that are well advertised and at times/places that are accessible.

7. DISCUSSION:

Council Meeting Venues

7.1 As part of Council's commitment to open and accessible government, Council has previously held Council Meetings at three locations across the municipality, the objective being to provide accessibility to Council Meetings for the whole community. The three locations previously used and recommended for continued use are:

- (a) Hume Global Learning Centre, Broadmeadows;
- (b) Hume Global Learning Centre, Craigieburn; and
- (c) Sunbury Council Chamber.

7.2 The meeting schedule proposed in this report continues the practice of holding the second meeting of the month, being Council's Ordinary (Town Planning) Meetings, at the Broadmeadows Council Chamber (Hume Global Learning Centre). This allows for the utilisation of the visual technology available at the venue to display plans, aerial photographs and Melways maps relevant to town planning application assessments.

7.3 The location of the first meeting of the month, being Ordinary Council Meetings, is rotated between venues at the major municipal centres of Broadmeadows, Sunbury and Craigieburn in keeping with the objective of maximizing community accessibility.

7.4 On dates when the Monday is a public holiday, the Council meeting will be held on the next available working day.

8. CONCLUSION:

The fixing of dates for Council's Ordinary meetings will enable adequate preparation time, notice and forward planning to occur.

REPORT NO:	GE178
REPORT TITLE:	Correspondence received from or sent to Government Ministers or Members of Parliament - December 2016 / January 2017
AUTHOR:	Paul White, Coordinator Knowledge Management
DIVISION:	Corporate Services
FILE NO:	HCC04/13
POLICY:	-
STRATEGIC OBJECTIVE:	5.3 Provide responsible and transparent governance, services and infrastructure which responds to and supports community needs.
ATTACHMENTS:	<ol style="list-style-type: none">1. <i>Growing Suburbs Fund</i>2. <i>Emu Bottom - Evacuation Plans</i>3. <i>Congratulations on appointed as Parliamentary Secretary for Roads</i>4. <i>Invitation to visit tourism heritage and sporting fields in Hume</i>5. <i>Sunbury South Station</i>6. <i>John McMahon Recreation Reserve Concept Plan - Submission</i>7. <i>Approval for the Major Development Plan (MDP) for Melbourne Airport - Site 2 (Airport Drive)</i>8. <i>Community Meeting and Rally</i>9. <i>Hume Planning Scheme Amendment C176</i>

1. SUMMARY OF REPORT:

This report presents a summary of correspondence relating to Council resolutions or correspondence that is considered to be of interest to Councillors received from and sent to State and Federal Government Ministers and Members of Parliament.

2. RECOMMENDATION:

That Council notes this report on correspondence sent to and received from Government Ministers and Members of Parliament.

3. DISCUSSION:

There is a range of correspondence sent to and received from State and Federal Government Ministers and Members of Parliament during the normal course of Council's operations. Correspondence of this nature registered in the Council recordkeeping system during December 2016 / January 2017 that is considered to be of interest to Councillors are summarised in the table below and copies of the documents are provided as attachments to this report.

REPORT NO: GE178 (cont.)

CORRESPONDENCE RELATING TO COUNCIL RESOLUTIONS OR OF INTEREST TO COUNCILLORS						
Direction	Subject	Minister or Member of Parliament	Date Received / Sent	Responsible Officer	Council Minute Reference	Attachment
Inwards	Growing Suburbs Fund – Approved Grants <ul style="list-style-type: none"> • Hume Global Learning Centre Sunbury • Aston Recreation Reserve Development • Boardman Reserve Upgrade • Community Facility Accessibility Upgrades • Sunbury Lawn Tennis Club Letter of congratulations	Minister for Local Government Member for Sunbury	19/12/2016 9/12/2016	Manager Communications & Events		1
Outwards	Evacuation plans for Emu Bottom in event of fire this summer in area	Member for McEwen	21/12/2016	CEO		2
Outwards	Congratulations on being appointed as Parliamentary Secretary for Roads	Member for Yuroke	21/12/2016	Mayor		3
Outwards	Invitation to the Minister for Tourism and Major Events to visit tourism, heritage and sporting fields in Hume	Minister for Tourism and Major Events	21/12/2016	Manager Economic Development		4
Outwards	General Business - Sunbury South Station	Minister for Public Transport	21/12/2016	Manager Strategic Planning	MED191	5
Inwards	Letter regarding draft John McMahon Recreation Reserve concept plan	Joshua Bull	30/12/2016	Manager Leisure Centres & Sports		6
Inwards	Approval for the Major Development Plan (MDP) for Melbourne Airport Business Park Warehouse - Site 2 (Airport Drive)	Minister for Infrastructure and Transport	17/01/2017	Manager Strategic Planning		7

REPORT NO: GE178 (cont.)

CORRESPONDENCE RELATING TO COUNCIL RESOLUTIONS OR OF INTEREST TO COUNCILLORS						
Direction	Subject	Minister or Member of Parliament	Date Received / Sent	Responsible Officer	Council Minute Reference	Attachment
Inwards	Establishment of Immigration Detention Centre in Broadmeadows - Community meeting and rally coordination - Alternative uses of land - Strategy identifying unspent money from Automotive Transformation Scheme	Member for Broadmeadows	18/01/2017	CEO		8
Inwards	Hume Planning Scheme Amendment C176 - Request for an exemption from a requirement of Ministerial Direction No.15	Minister for Planning	31/01/2017	Manager Strategic Planning		9



Hon Natalie Hutchins MP
Minister for Local Government
Minister for Aboriginal Affairs
Minister for Industrial Relations

1 Spring Street
Melbourne, Victoria 3000
Telephone: 03 8392 6125
DX2102928

Cr Drew Jessop
Mayor
Hume City Council
P O Box 119
Dallas VIC 3047

Dear Cr Jessop

HUME CITY COUNCIL
19 DEC 2016
DOCUMENT No: HCC14387
FILE No:
REFERRED: J. Kimber
COPIES TO: Louis McFarlane

(M)

The 2016-17 Growing Suburbs Fund application process generated a very strong response from interface councils with a great range of projects delivering outstanding benefits to communities. A total of 95 projects sought more than \$133 million in state government funding.

cc Paul White

I am delighted to advise that the applications listed below will receive a grant from the Growing Suburbs Fund. I have asked the Department of Environment, Land, Water and Planning (DELWP) to prepare a funding agreement for your signature as soon as possible.

Project name	Amount approved
Hume Global Learning Centre Sunbury	\$3,000,000
Aston Recreation Reserve Development	\$2,000,000
Boardman Reserve Upgrade	\$490,000
Community Facility Accessibility Upgrades	\$230,000
Sunbury Lawn Tennis Club	\$400,000

This funding decision may be the subject of an event and media release arranged in consultation with the department. Council must not disclose to any person any information about the grant, or names of successful or unsuccessful projects, until after I or an authorised representative have made this information publicly available. This information is being provided in confidence and the grant is contingent upon this condition being honoured. Please liaise with DELWP regarding any events or announcements that council are planning.

Lorna Mathieson, Senior Program Manager is the primary contact for any questions or follow up in relation to events, announcements or funding agreements. Lorna can be contacted by telephone 9948 8563, 0427 608 365 or email lorna.mathieson@delwp.vic.gov.au.

Yours sincerely

HON NATALIE HUTCHINS MP
Minister for Local Government

Cc: Domenic Isola, Chief Executive Officer, Hume City Council

15 DEC 2016



Josh Bull MP

STATE MEMBER FOR SUNBURY



HUME CITY COUNCIL

- 9 DEC 2016

DOCUMENT No:
FILE No:
REFERRED:
COPIES TO:

20 November 2016

Cr Drew Jessop
Mayor – Hume City Council
PO Box 119, Dallas, Victoria, 3047

Dear Mayor,

I am writing to you in regards to the recent funding announcements as part of the Andrews Labor Governments Growing Suburbs Fund.

It was fantastic to join yourself, the Minister for Local Government the Hon. Natalie Hutchins, Deputy Mayor Cr Ann Potter and fellow Councillors as well as members of the Sunbury community last Saturday to announce more than \$6 million dollars for the City of Hume.

The Growing Suburbs Fund is part of the Andrews Labor Government's commitment to ensuring that growing communities like Sunbury have services that maintain a high level of quality as our region grows.

This is an exciting time for Sunbury Little Athletics, Sunbury Lawn Tennis Club, the soon to be built Global Learning Centre and the Sunbury community as a whole.

I would like to commend the efforts of Hume City Council for your work in putting forward these important projects for consideration.

Yours sincerely,

Josh Bull MP
State Member for Sunbury

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POSTAL: PO Box 635, Sunbury 3429

P: 9740 4091 **F:** 9740 4978 **E:** josh.bull@parliament.vic.gov.au



Our File: HCC16/841 (IN2016/51536)
Enquiries: Danny Eaton
Telephone:



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Tuesday, 13 December 2016

Mr Rob Mitchell MP
Member for McEwen
SHOP E00 – 4B Craigieburn Central Shopping Centre
340 Craigieburn Road
CRAIGIEBURN VIC 3064

Dear Mr ~~Mitchell~~ *Rob*,

**RE: EVACUATION PLAN FOR EMU BOTTOM IN THE EVENT OF A FIRE
EMERGENCY – RACECOURSE ROAD, SUNBURY**

I refer to your letter dated 21 November 2016 and reaffirm to you the advice previously given to your office by Council's Manager Waste, Mr Danny Eaton (copy attached), that both Hume City Council and CFA representatives met on site on Wednesday 16 November 2016 upon becoming aware of various concerns about Racecourse Road construction works in Sunbury.

During the meeting it was agreed that modifications would be made to the site including:

- The relocation of traffic lights to allow a passing bay for emergency services vehicles;
- Reducing the number of road barriers to minimise the distance of restricted roadway;
- Removing guide posts / temporary markers on the east side of the road;
- Widening of the road shoulder to allow room for a vehicle layby; and
- Ensuring that there will be two way traffic accesses along Racecourse Road from 24 December 2016 to 8 January 2017 while construction works are on hold during the Christmas /New Year break.

In respect of duty of care and responsibilities in an emergency incident, incident management is the responsibility of the response control agency (i.e. for fire - CFA) and Victoria Police has coordination responsibilities.

Victoria Police have been contacted and have advised that in an emergency situation, Police would assume responsibility for traffic flow and movements throughout the Emu Bottom area and that they would manage traffic movements to ensure that unauthorised entry would be prohibited and priority given to residents exiting the estate.

.../2

- 2 -

The commitment that "There will be two way traffic allowed on Racecourse Road between 24 December 2016 to 8 January 2017" has been reinforced to the construction company as being non-negotiable.

I also reiterate that there may be alternative exit points via Emu Road, Winilba Road, Sambell Road and Spavin Drive which are all two-lanes and in good condition or via Albert Road and Spavin Drive which, although there is a section of Albert Road that is only a single lane sea, sight distance is good on this section and motorists would need to use the gravel shoulder if there is an oncoming vehicle.

Residents should prepare their fire plan in advance of a fire emergency situation and carry out works on their properties to reduce fire risk and monitor media, radio etc. to be up to date on fire risks on days of high fire danger. Ms Kelly should also seek information from the CFA on the following link <http://www.cfa.vic.gov.au/plan-prepare/before-and-during-a-fire/>

Yours sincerely



**DOMENIC ISOLA
CHIEF EXECUTIVE OFFICER**

Encl

From: Danny Eaton
Sent: Thursday, 24 November 2016 11:43 AM
To:

Subject: FW: Emergency Management and impacts of Racecourse Road Construction Works
IN2016/50575/51066/50182/50181/48826

As addressed

As stated in correspondence sent Monday, I advised that CFA feedback and support from the developer works construction company would be sought to the proposal presented to improve the accessibility and egress from Emu Bottom due to the intersection works currently in progress.

Yesterday CFA advised that in consideration of the restraints posed by construction works that they agree to the following works being enacted to improve the current site restrictions:

- On the southern approach, traffic lights will be marginally relocated to allow a pull in bay to be provided for emergency services vehicles to allow sight distance improvement through the restricted area
- On the northern approach the length of the barriers will be reduced so that there is a lesser distance of restricted roadway which shall occur within two weeks upon completion of drainage works.
- The reduced site construction area should allow vehicles at either end to be able to sight each other.
- Guide posts / temporary markers on the east side of the road will be removed; and the road shoulder widened to allow room for a vehicle layby. This increase in width will allow emergency vehicles to pass if necessary

I have also been in contact with VicPol who advise that in an emergency situation Police where safe to do so would assume responsibility for traffic flow and movements throughout the Emu Bottom area and are likely to manage traffic movements such that unauthorised entry would be prohibited and priority given to residents exiting the estate.

The commitment that "There will be two way traffic allowed on Racecourse Road between 24 December 2016 to 8 January 2017" has been reinforced to the Construction company as being non-negotiable. Whilst Council has some powers over the construction works arrangements, there is no power in place to compel the company to perform their works in a specific manner. The timelines are an agreement which Council will be holding the company to adhere to.

I would also seek to reiterate that there may also be alternative exit points via Emu Road, Winilba Road, Sambell Rd and Spavin Drive which is all two-lane and good condition.

Or via Albert Roads and Spavin Drive which although there is a section of Albert Road that is only a single lane seal, sight distance is good on this section and motorists would need to use the gravel shoulder if there is an oncoming vehicle.

Danny Eaton
MANAGER WASTE / Municipal Emergency Management Resources Officer

Our File: HCC05/804
Enquiries: Joel Kimber
Telephone:



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Friday 2 December 2016

Ms Ros Spence MP
State Member for Yuroke
Parliamentary Secretary for Public Transport
Parliamentary Secretary for Roads
PO Box 132
CRAIGIEBURN, VIC 3064

Dear Ms Spence *Ros*

On behalf of Hume City Council, I wish to congratulate you on your recent appointment as Parliamentary Secretary for Roads.

As one of Hume's local Members of Parliament, you have always been willing to listen to the concerns of Council and the community which was evident through your recent efforts to secure funding for the business case for the duplication of Craigieburn Road.

Hume City Council and the wider Hume community are extremely fortunate to have you representing Hume in the Parliament. Council looks forward to continuing our strong working relationship with you in the years to come.

Once again, congratulations.

Yours sincerely

A handwritten signature in blue ink, appearing to read 'Drew', is written over a faint circular stamp.

**CR DREW JESSOP
MAYOR**

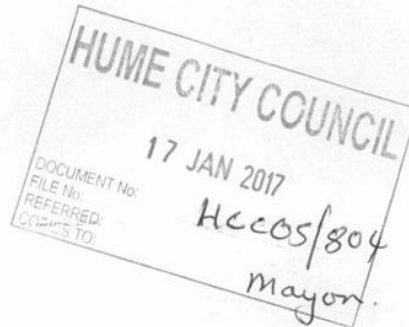
Ros Spence MP

STATE MEMBER FOR YUROKE



15 December 2016

Cr Drew Jessop
Mayor – Hume City Council
PO Box 119
DALLAS VIC 3047



Dear Mayor

Thank you for your correspondence dated 2 December 2016 noting my appointment as the Parliamentary Secretary for Roads in the Andrews Labor Government.

As with a wide variety of other issues, I look forward to continuing to work with council on transport projects that will improve our community.

Hume City Council has always been a strong advocate for improved road infrastructure and as a former Mayor and Councillor at Hume I know the importance of this advocacy.

Please express my sincere thanks to all at Council for your well wishes.

Yours sincerely

Ros Spence MP
State Member for Yuroke
Parliamentary Secretary for Public Transport
Parliamentary Secretary for Roads

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POSTAL: PO Box 132, Craigieburn, VIC 3064

P: 9305 7177 **F:** 9305 7362 **E:** ros.spence@parliament.vic.gov.au



Our File: HCC04/307
Enquiries: George Osborne
Telephone:



Friday 2 December 2016

Mr John Eren MP
Minister for Tourism and Major Events
Level 36, 121 Exhibition Street
MELBOURNE VIC 3000

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Dear Minister

**RE: INVITATION TO VISIT TOURISM, HERITAGE AND SPORTING SITES
IN HUME**

Thank you for taking the time to speak to me at last week's Tourism Awards ceremony.

I wish to follow this conversation with an invitation for you to visit Hume, in particular to visit the following sites and activities:

- The "Living Legends" tourism destination at Woodlands Historic Park, a heritage homestead where famous retired racehorses are housed and on show for the public;
- "Marnong" homestead in Mickleham, where Hume has recently approved a significant first stage development for a restaurant and accommodation facility with breathtaking views to Macedon Ranges; and
- "Splash", the \$35m regional Aquatic facility being built in Craigieburn.

I would be delighted if you could spare some time in your busy schedule to meet with us in this historically significant, vibrant and fast growing area of Melbourne. As such, I have attached a draft timetable for your consideration. I look forward to the opportunity of showcasing some of these important sporting, cultural and tourist focused developments within Hume at a mutually convenient time.

Should you wish to accept my invitation, please ask your office to contact Council's Economic Development Manager, Mr George Osborne on _____ or via email at _____ to make arrangements for the visit.

I will also be in contact with Ms Ros Spence MP, Member for Yuroke to coordinate and have Ms Spence join us on the visit to Marnong and Splash.

Yours sincerely

A handwritten signature in blue ink, appearing to read 'Drew Jessop', written over a circular stamp.

**CR DREW JESSOP
MAYOR**

Encl

Our File: HCC14/529 (HCC-CM16/544)
Enquiries: Michael Sharp
Telephone:



Friday 9 December 2016

The Hon Jacinta Allan MP
Minister for Public Transport
Department of Transport, Planning and Local Infrastructure
GPO Box 2797
MELBOURNE VIC 3001

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Dear Minister

RE: PROPOSED SUNBURY SOUTH TRAIN STATION

Hume City Council at its meeting of 5 December 2016 resolved:

"That Council write to the Minister for Public Transport, The Hon. Jacinta Allan MP, and ask the following:

- A) *When will the Sunbury South Station be commenced?*
- B) *How many carpark spaces will there be at the site?*
- C) *Whether the Minister has given consideration to terminating Metro services to minimise traffic delays on Station Street, Sunbury?"*

As you may be aware, the Victorian Planning Authority has recently released the Sunbury South and Lancefield Road Precinct Structure Plans (PSPs) for public consultation. The two PSPs will provide for the development of approximately 20,000 homes for more than 52,000 people.

The Sunbury South PSP provides for a second train station in Sunbury, south of the existing station. The identification of land for a second station within the PSP has been well received by the community, who have raised a number of questions in relation to the timing of delivery and parking capacity of this station.

The development of a second train station in Sunbury is needed to alleviate existing congestion and car parking constraints at the existing Sunbury Town Centre Station, and to provide capacity to accommodate the significant level of growth proposed for Sunbury.

Council seeks an update from the State Government on its commitment to, and timing for, the delivery of the Sunbury South Station, including details of how many car parks would be provided for at this station. Further to this, Council would like to know if any consideration has been given to terminating metro services at the future Sunbury South Station in order to minimise the traffic delays resulting from the boom gates at the existing level crossing on Station Street.

Should you require further information in relation to this matter, please do not hesitate to contact Council's Manager Strategic Planning, Mr Michael Sharp on

Yours sincerely

A handwritten signature in blue ink, appearing to read "Drew Jessop", is written over a circular blue stamp. Below the signature, the text "CR DREW JESSOP" and "MAYOR" is printed in a bold, black, sans-serif font.

CR DREW JESSOP
MAYOR

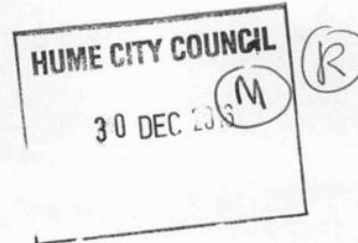
Josh Bull MP

STATE MEMBER FOR SUNBURY



16 December 2016

Dominic Isola
CEO Hume City Council
PO Box 119
Dallas VIC 3429



cc P. White

Dear Dominic,

Recently I met with representatives from East Sunbury Sporting Group regarding the "draft John McMahon Recreation Reserve Concept Plan."

As you are aware this plan has arisen due to significant growth experienced by the club, growth that will only continue with the growth of the Sunbury Electorate.

I am aware this design has been done in partnership with Hume City Council, attached are the documents I have received and I wish to express my full support for this expansion and its prompt delivery.

I am of the view that this is a worthy project and welcome Hume City Councils support through the State Governments community sports infrastructure fund.

Should you wish to discuss this further please don't hesitate to contact me or my staff on 9740 4091

Kind regards,

Josh Bull
State Member for Sunbury

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P: 9740 4091 **F:** 9740 4978 **E:** josh.bull@parliament.vic.gov.au



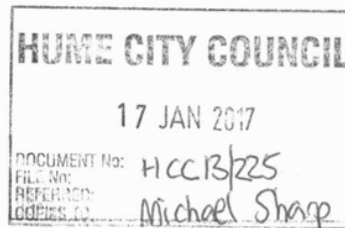


The Hon Darren Chester MP
Minister for Infrastructure and Transport
Deputy Leader of the House
Member for Gippsland

PDR ID: MS16-001590

31 DEC 2016

Mr Domenic Isola
Chief Executive Officer
Hume City Council
PO Box 119
DALLAS VIC 3047



Dear Mr Isola *Domenic*

cc Paul White

I am writing to advise I have approved the Major Development Plan (MDP) for the Melbourne Airport Business Park Warehouse – Site 2 (Airport Drive), in accordance with section 94 of the *Airports Act 1996* (the Act).

In making my decision, I recognise Melbourne Airport's significant role in supporting Australia's freight network. I am satisfied the proposed warehouse is in line with the airport's strategic plan for the Business Park as a growing freight and logistics hub.

While the development is located entirely on Commonwealth land with limited interface with surrounding areas, I appreciate Hume City Council's input and overarching support for this MDP throughout the referral and consultation process.

Publication of the final MDP is required within 50 business days of my approval, in accordance with section 96 of the Act.

Yours sincerely

DARREN CHESTER



Frank McGuire MP
Member for Broadmeadows

Mail: PO Box 3213, Broadmeadows VIC 3047 | Tel: 9300 3851 | Fax: 9300 3915 | frank.mcguire@parliament.vic.gov.au

Mr Domenic Isola & Cr Drew Jessop
Chief Executive Officer & Mayor
Hume City Council
PO Box 119
DALLAS 3047

Dear Domenic and Drew,

Having alerted you to tomorrow's deadline for submissions concerning the Australian Government's plan to establish an Immigration Detention Centre for "higher risk" detainees in Broadmeadows, including paedophiles, drug traffickers and members of outlaw bkie gangs, I want to coordinate a community meeting and rally to oppose such an inappropriate proposal as a matter of urgency. Please let me know the Council's willingness to coordinate a joint community meeting.

Also, what are alternative uses of this land for vitally needed economic development, given the Australian Government's proposed willingness to invest at least \$29 million in our community.

In my strategy, *Creating Opportunity: Postcodes of Hope*, I have also identified an unspent \$1.324 billion from the Automotive Transformation Scheme and written to Prime Minister, Malcolm Turnbull, asking how much he will reinvest in collaboration with the Victorian Government and the private sector to honour his "jobs and growth" election promise where it is needed most.

I have not received a reply to my letter to the Prime Minister and then Industry Minister, Greg Hunt, emailed on 5 December 2016. I have also previously requested Hume City Council to allocate time for me to present my strategy at a public council meeting. Please respond to all of these issues as matters of utmost urgency.

Yours faithfully,

A handwritten signature in blue ink that reads 'Frank McGuire'.

FRANK McGUIRE, MP
Member for Broadmeadows
Parliamentary Secretary for Medical Research
Parliamentary Secretary for Small Business & Innovation

18/01/2017

Our File: HCC12/77-03
Enquiries: James Ingemann
Telephone:



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Wednesday, 25 January 2017

Hon Richard Wynne MP
Minister for Planning
c/o planning.amendments@dtpli.vic.gov.au

Dear Minister

**HUME PLANNING SCHEME
AMENDMENT C176
REQUEST FOR AN EXEMPTION FROM A REQUIREMENT OF MINISTERIAL
DIRECTION NO. 15**

I refer to Amendment C176 to the Hume Planning Scheme that was authorised on 3 May 2016.

Council requests an exemption from the need to comply with the following requirement of Ministerial Direction No. 15:

Decision on amendment by a planning authority

- make a decision to abandon or adopt an amendment within 40 business days of the date the planning authority receives the Panel's report.

Council considers that an exemption is appropriate for the following reasons:

- The Panel report was provided to Council on 20 December 2016. More time is required to consider the Panel report given the recent Christmas and New Year break period.

Council has reviewed the timelines for this amendment and it is expected that the amendment will be considered by Council at a meeting in March.

If you have any queries regarding this matter please contact Sarah Kernohan, Senior Strategic Planner of Hume City Council by e-mail or on

Yours faithfully

A handwritten signature in black ink, appearing to read 'Michael Sharp', written over a faint circular stamp.

**MICHAEL SHARP
MANAGER STRATEGIC PLANNING**