

Application for Planning Permit

Planning Enquiries
 Phone: 03 9205 2200
 Web: <http://www.hume.vic.gov.au>

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#).

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) are mandatory and must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet.

Clear Form

The Land i ① Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 14	St. Name: Flinders Street
Suburb/Locality: Sunbury		Postcode: 3429

Formal Land Description * Complete either A or B.

⚠ This information can be found on the certificate of title.

A Lodged Plan Title Plan Plan of Subdivision

OR

B

If this application relates to more than one address, please click this button and enter relevant details. Add Address

The Proposal i **⚠** You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

② For what use, development or other matter do you require a permit? *

If you need help about the proposal, read:
[How to Complete the Application for Planning Permit Form](#)

The construction of two dwellings on a lot.

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📎 Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

③ Estimated cost of development for which the permit is required *

⚠ You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within **metropolitan Melbourne** (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy **must** be paid to the State Revenue Office and a current levy certificate **must** be submitted with the application. Visit www.sro.vic.gov.au for information.

Existing Conditions i

④ Describe how the land is used and developed now *

eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

A vacant lot.

📎 Provide a plan of the existing conditions. Photos are also helpful.

Title Information i

5 Encumbrances on title *

If you need help about the title, read:

[How to complete the Application for Planning Permit form](#)

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes. (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive covenants.)

Applicant and Owner Details i

6 Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Please provide at least one contact phone number *

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Name:

Title:	First Name:	Surname:
--------	-------------	----------

Organisation (if applicable): Clement-Stone Town Planners

Postal Address:

Unit No.:	St. No.: 2	St. Name: Hercules Street
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Suburb/Locality: Tullamarine State: VIC Postcode: 3043

Contact person's details *

Same as applicant (if so, go to 'contact information')

Name:

Title:	First Name:	Surname:
--------	-------------	----------

Organisation (if applicable):

Postal Address:

Unit No.:	St. No.:	St. Name:
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Suburb/Locality: State: Postcode:

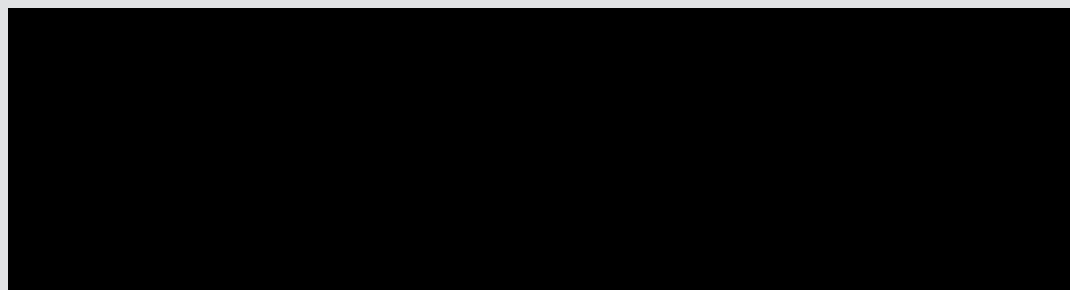
Contact information

Business Phone: 0393342060	Email: jo@townplanners.com.au
Mobile Phone: 0407400666	Fax:

Name:

Title:	First Name:	Surname:
--------	-------------	----------

Same as applicant



Declaration i

7 This form must be signed by the applicant

- ⚠** Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant, and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature:

Date: 02/08/2022

day / month / year

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Need help with the Application?

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#)
General information about the planning process is available at www.delwp.vic.gov.au/planning

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

8 **Has there been a pre-application meeting with a Council planning officer?**


No Yes

Checklist

9 **Have you:**

Filled in the form completely?

Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 **Provided all necessary supporting information and documents?**

A full, current copy of title information for each individual parcel of land forming the subject site

A plan of existing conditions.

Plans showing the layout and details of the proposal

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).

If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.

Completed the relevant Council planning permit checklist?

Signed the declaration (section 7)?

Lodgement

Lodge the completed and signed form, the fee payment and all documents with:

Hume City Council
PO Box 119 Dallas VIC 3047
Pascoe Vale Road Broadmeadows VIC 3047

Contact information:

Telephone: 61 03 9205 2200

Email: email@hume.vic.gov.au

DX: 94718

Translation: 03 9205 2200 for connection to Hume Link's multilingual telephone information service

Deliver application in person, by fax, or by post:

[Print Form](#)

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address. This is usually your local council but can sometimes be the Minister for Planning or another body.

Save Form:

[Save Form To Your Computer](#)

You can save this application form to your computer to complete or review later or email it to others to complete relevant sections.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

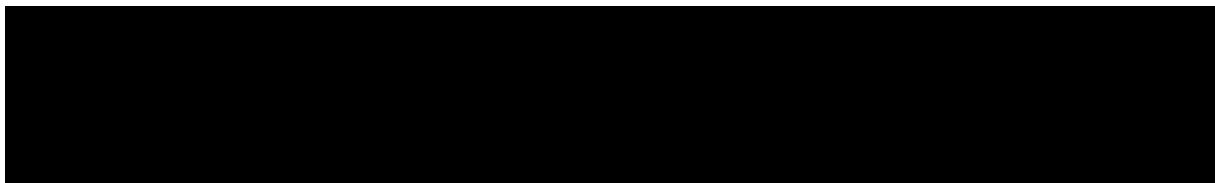
VOLUME 08358 FOLIO 153

Security no : 124099361684X
Produced 02/08/2022 12:11 PM

LAND DESCRIPTION

Lot 254 on Plan of Subdivision 051891.
PARENT TITLE Volume 08322 Folio 304
Created by instrument B267014 23/08/1961

REGISTERED PROPRIETOR



ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP051891 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 14 FLINDERS STREET SUNBURY VIC 3429

DOCUMENT END

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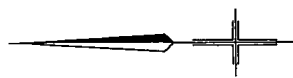
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PLAN OF SUBDIVISION
OF PART OF CROWN ALLOTMENTS 2 & 7
PARISH OF BUTTELOJRRK
COUNTY OF BOURKE

Measurements are in Feet & Inches
Conversion Factor
FEET X 0.3048 = METRES

VOL.8041 FOL.081



LP 51891
EDITION 1
PLAN MAY BE LODGED 9/8/60

COLOUR CODE

E-1 = BLUE
E-2 = BROWN
E-3 = PURPLE

APPROPRIATIONS

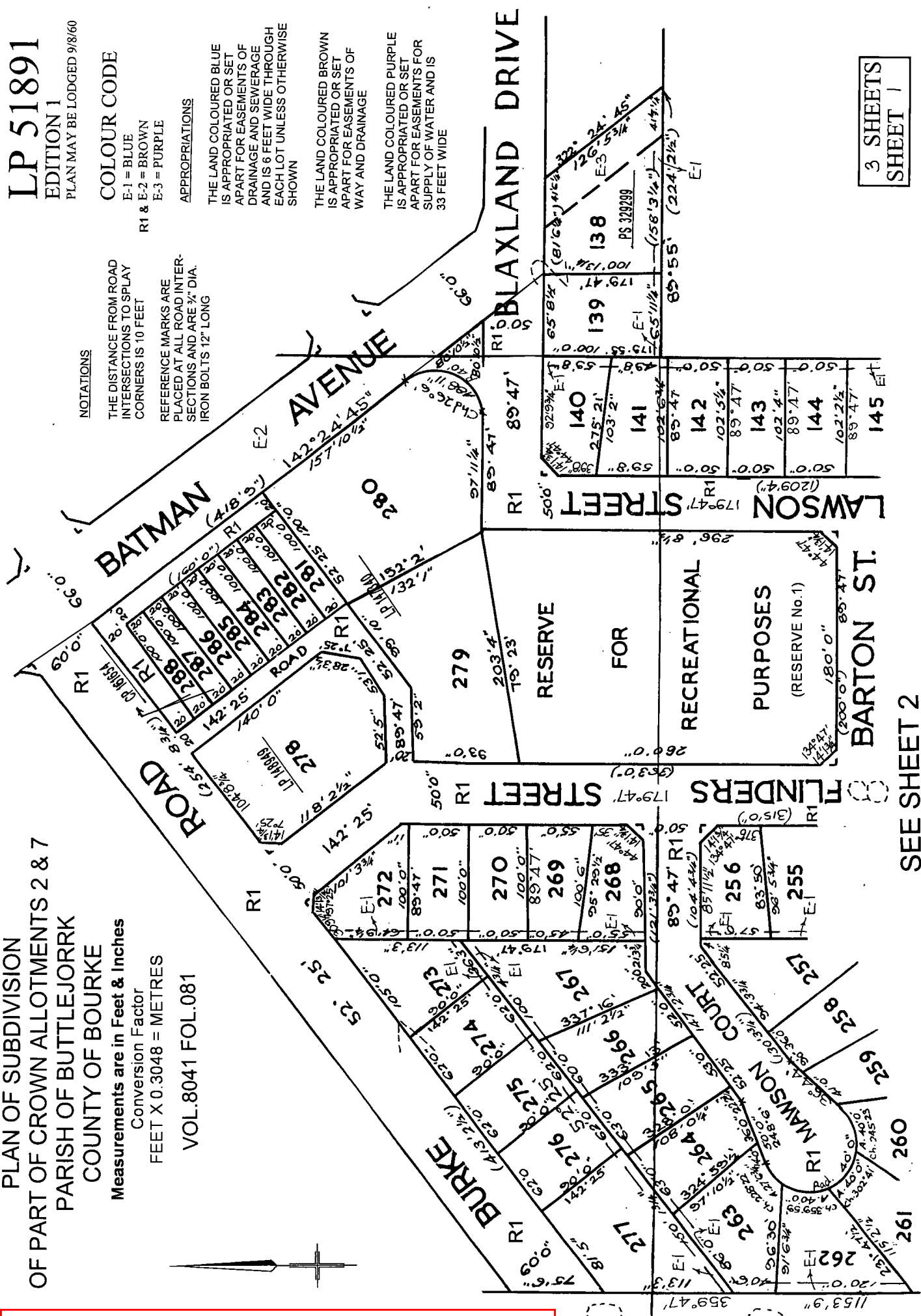
THE LAND COLOURED BLUE IS APPROPRIATED OR SET APART FOR EASEMENTS OF DRAINAGE AND SEWERAGE AND IS 6 FEET WIDE THROUGH EACH LOT UNLESS OTHERWISE SHOWN

THE LAND COLOURED BROWN IS APPROPRIATED OR SET APART FOR EASEMENTS OF WAY AND DRAINAGE

THE LAND COLOURED PURPLE IS APPROPRIATED OR SET APART FOR EASEMENTS FOR SUPPLY OF WATER AND IS 33 FEET WIDE

NOTATIONS

THE DISTANCE FROM ROAD INTERSECTIONS TO SPY CORNERS IS 10 FEET
REFERENCE MARKS ARE PLACED AT ALL ROAD INTERSECTIONS AND ARE 3/4" DIA. IRON BOLTS 12" LONG



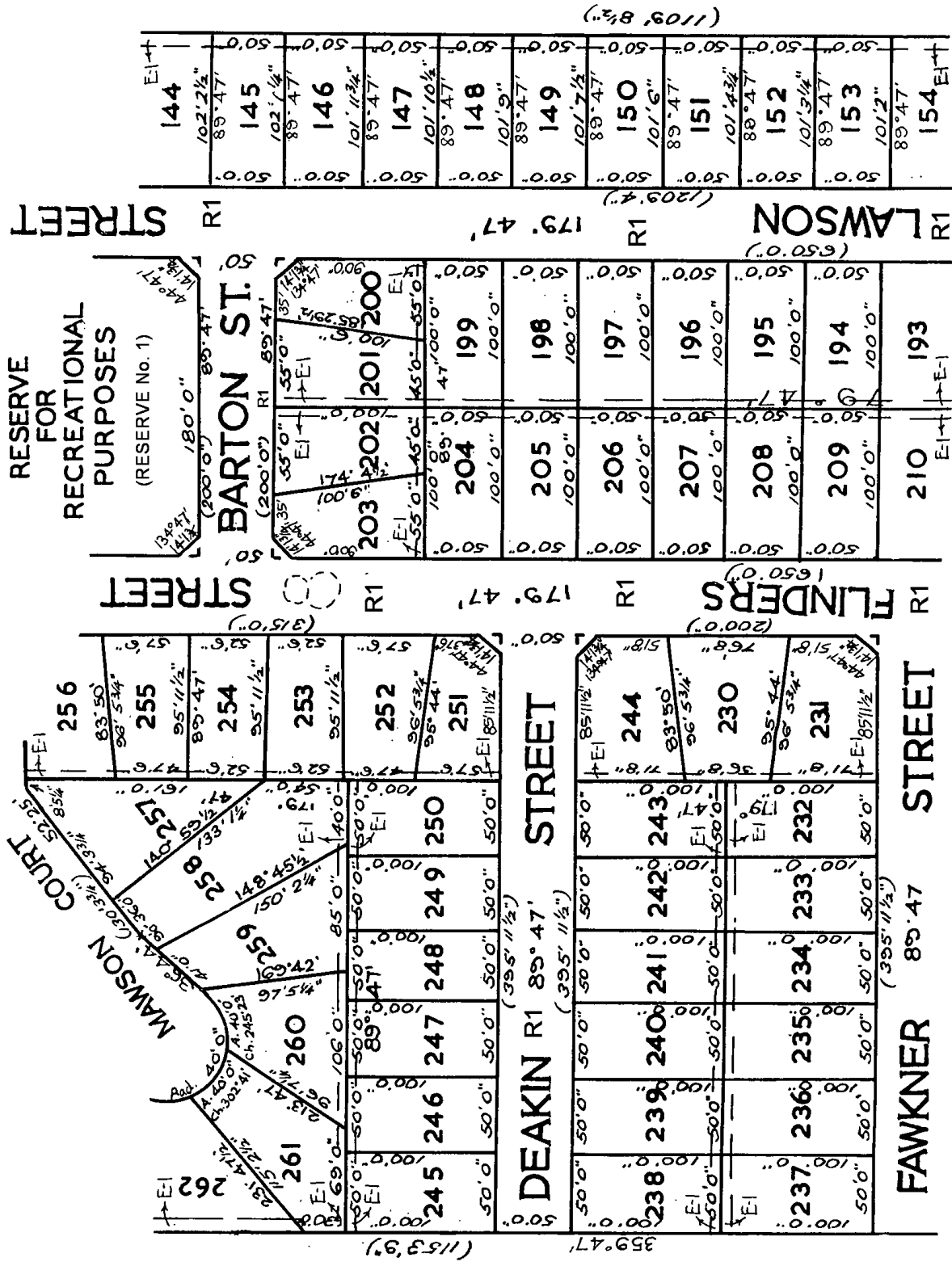
3 SHEETS
SHEET 1

SEE SHEET 2

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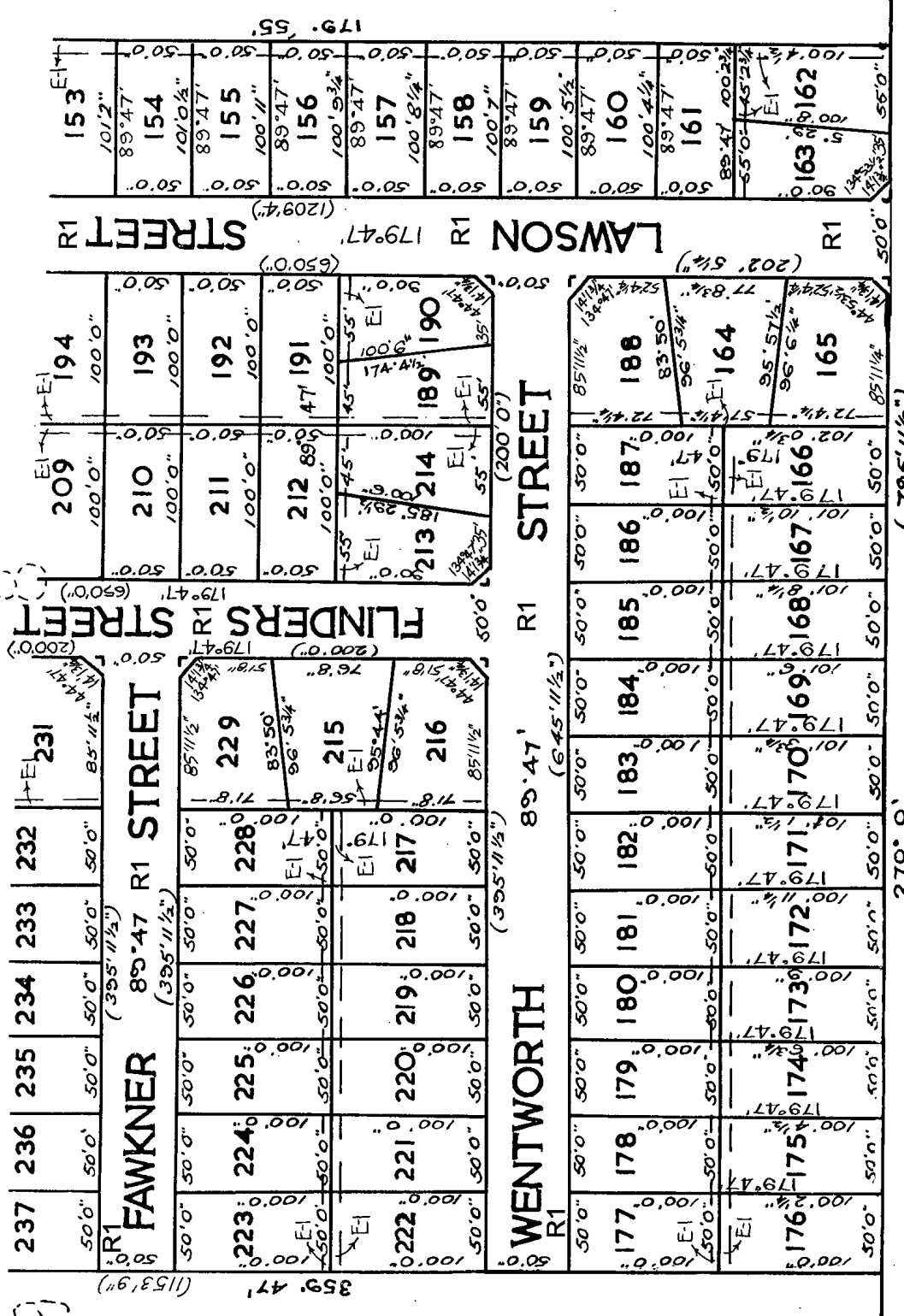
SEE SHEET 1



SEE SHEET 3

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SEE SHEET 2



LANE

MITCHELLS

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2 August 2022

Planning Manager
Hume City Council
PO Box 119
Dallas VIC 3047

Dear Sir/Madam,

PLANNING PERMIT APPLICATION:
CONSTRUCTION OF TWO (2) DWELLINGS ON A LOT.
14 FLINDERS STREET, SUNBURY VIC 3429

We act on behalf of the registered owner of the subject site in regard to the planning permit application for the proposed construction of two new dwellings. In support of the application, please find enclosed the following documentation:

- Town Planning & Urban Context Report (Clement-Stone Town Planners)
- A1 Development Plans (to scale)
- STORM report
- Arboricultural report (TMC Reports)
- Feature and Level Survey (A-Line Surveying)
- Copy of the current title and plan of subdivision

We believe that the application is worthy of support for the following reasons:

- The proposed development is in keeping with the suggested character profile of the area.
- The proposed development is complementary to existing housing stock whilst also fulfilling the recognised need for urban consolidation and housing diversity.
- All relevant provisions and design requirements have been considered and met, and the proposal satisfies Local and State policy outcomes.

For the reasons that we have set out in our submission, we believe that conditional Planning Permit should be granted.

If you have any questions please don't hesitate to contact Jack O'Neill on 03 9334 2060 or at jo@townplanners.com.au.

Yours Faithfully,



Jack O'Neill BUrb&RegPlan (Hons) MPIA, MVPELA
Senior Planner | Clement-Stone Town Planners

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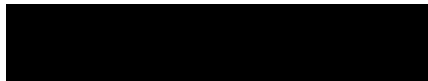
TOWN PLANNERS

CLEMENT-STONE SINCE 1989

APPLICATION FOR PLANNING PERMIT: CONSTRUCTION OF TWO NEW (2) DWELLINGS

AT: 14 FLINDERS STREET, SUNBURY VIC 3429

PREPARED ON BEHALF OF:



BY: **JACK O'NEILL** BUrb&RegPlan (Hons), MVPELA, MPIA
SENIOR PLANNER

JULY 2022

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THE PROPOSAL

Clement-Stone Town Planners act on behalf of the registered landowner in regard to the proposed development at No. 14 Flinders Street, Sunbury. We have been engaged to consider the proposed planning permit application for '*The construction of two (2) new dwellings*' and provide an assessment of the proposal against the relevant State and Local Planning Policy Framework.

This report will provide recommendations following our assessment regarding the performance of the development against the relevant ResCode and Planning Scheme requirements.

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THE SUBJECT SITE AND LOCALITY

The subject site is located on the western side of Flinders Street, Sunbury. It comprises a rectangular shaped lot, with a frontage and rear length of 16.00 metres, and side boundary lengths of 29.25 metres. The total area of the site is 468 square metres.

The subject site is within the **General Residential Zone (Schedule 1)** of the *Hume Planning Scheme*.



Figure 1 - Location, zone, and orientation of subject site.

Pursuant to **Clause 32.08**, the purpose of the **General Residential Zone (Schedule 1)** includes:

- *To implement the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*
- *To encourage development that respects the neighbourhood character of the area.*
- *To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.*
- *To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.*

The site is currently vacant and devoid of built form as the existing single-storey dwelling has recently been demolished.

It is currently unfenced to the street. It is fenced by a timber paling fencing ranging between 1.7 and 1.9 metres in height.

The site is accessed via a concrete crossover located in the south-east corner of the site.

A 1.83-metre-wide easement is located along the northern boundary of the site. The proposed development allows for appropriate clearance at this interface.

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Figure 2 - Aerial of subject site (NearMap, 2022)



Figure 3 - Subject site – existing presentation to the street – 14 Flinders Street, Sunbury (Google Maps, 2022)

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NORTH



Figure 4 - Aerial of northern interface (Landchecker, 2022)

Directly north of the subject site is 12 Flinders Street, Sunbury

The site consists of a double storey brick and weatherboard dwelling setback 7.85 metres. The site is accessed via a concrete crossover located toward the north-eastern corner of the site leading to a concrete driveway and side drive.

The SPOS area is located to the rear of the dwelling, and contains a large pergola with roof along the common boundary with the subject land.



Figure 5 - Existing presentation to the street – 12 Flinders Street, Sunbury (Google Maps, 2022)

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SOUTH



Figure 6 - Aerial of southern interface (Landchecker, 2020)

Directly south of the subject site is 16 Flinders Street, Sunbury

The site consists of a single storey brick dwelling setback 7.60 metres. The site is accessed via a concrete crossover located toward the south-eastern corner of the site leading to a concrete driveway and carport

The SPOS area is located to the rear of the dwelling, and contains a large grassed area.



Figure 7 - Existing presentation to the street – 16 Flinders Street, Sunbury (Google Maps, 2020)

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EAST



Figure 8 - Aerial of eastern interface (Landchecker, 2020)

Directly east of the subject site is Lawson Street Reserve.

This site is Council-owned and is located within the Public Park and Recreation Zone (PPRZ)

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WEST



Figure 9 - Aerial of western interface (Landchecker, 2020)

Directly west of the subject site is 1 Mawson Court, Sunbury.

The site is an irregular shaped lot which contains an open-grassed SPOS area at the rear which directly interfaces with the subject site on a 45-degree angle.

The single-storey dwelling on the lot is setback over 10 metres from the common boundary.

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SURROUNDING AREA

Flinders Street and the surrounding neighbourhood is generally comprised of single storey brick, render, and weatherboard dwellings with pitched tiled roofs. Newer double storey and tandem unit developments are becoming apparent throughout the immediate and surrounding areas, with evidence of tandem and duplex type configurations given the sites proximity to the Sunbury Town Centre. Building materials are mixed, and contemporary design elements form part of the neighbourhood character.

The aerial map below highlights the prevailing built form and pattern of subdivision in the immediate and surrounding area.



Figure 10 - Prevailing built form in the surrounding neighbourhood (NearMap, 2019) – subject site starred

The subject site is relatively well serviced by local infrastructure and services. It is located within proximity to the Sunbury Major Activity Centre (1.2 kilometres), which is a higher order centre intending to provide a diverse range of jobs, activities, and housing. Within this precinct a large variety of transport, employment, health, shopping, justice, and education services operations.

Education facilities are prominent within the area, with a range of schools located within proximity (Sunbury West Primary School – 825 metres, Sunbury Downs College – 704 metres, Holy Trinity Catholic Primary School – 786 metres.)

The site directly adjoins the Lawson Street Reserve to the east.

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With regard to public transport, the site has good access to a range of different options. The site is just 70 metres away from bus stops on Lawson Street (route 485). The closest rail service is at Sunbury Station (1.3 kilometres) along the Sunbury Line.

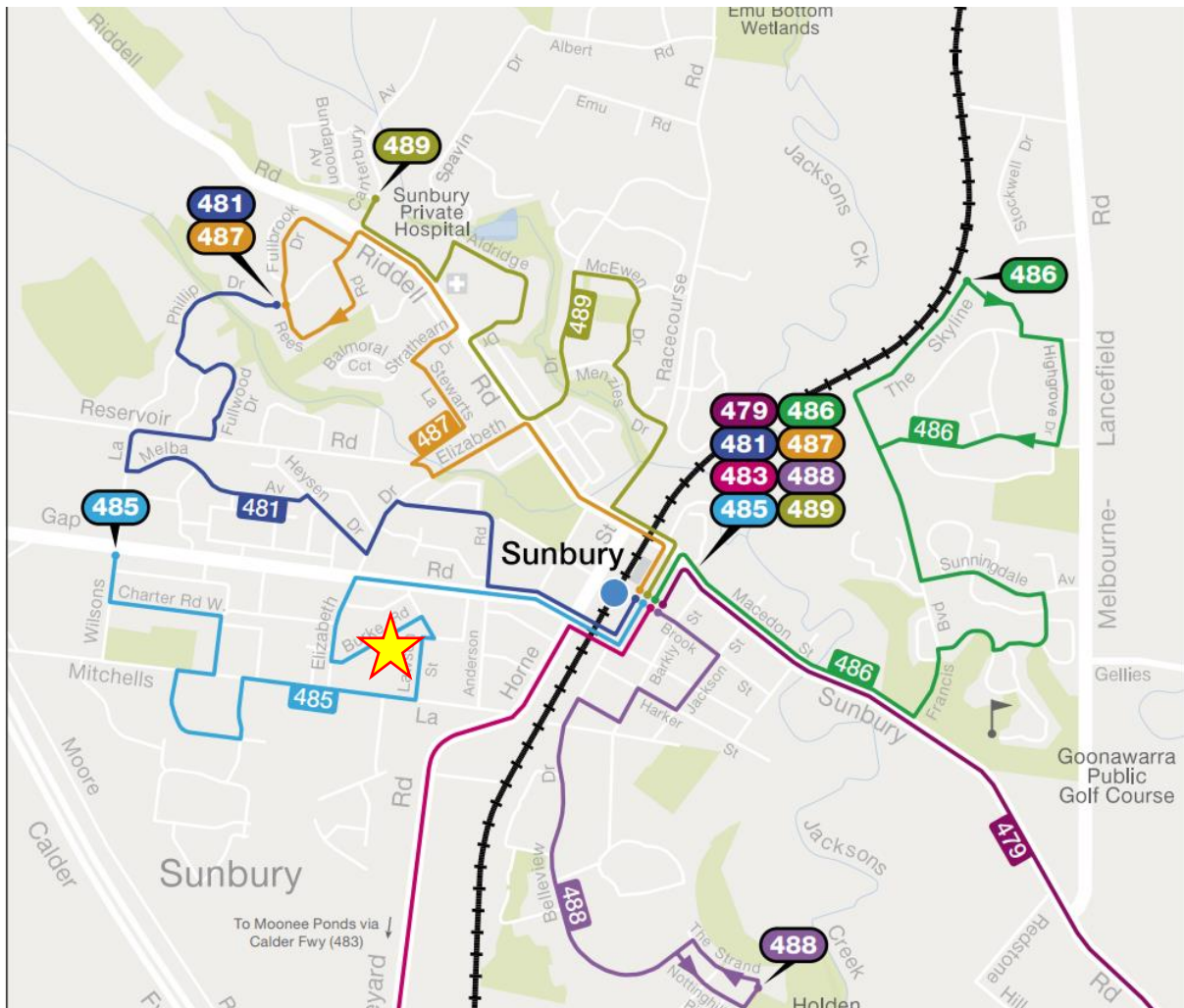


Figure 11 - Extract of PTV transport map – subject site starred

The neighbourhood is in transition, one and two storey developments are contributory character elements within the area.

The key objective within the housing framework at **Clause 21.03-2**, is as follows:

“To increase the density of housing in Hume”

Strategies to achieve this objective include:

- 4.1. *Encourage well designed infill residential development that provides smaller housing product.*
- 4.2. *Encourage the development of one- and two-bedroom dwellings.*
- 4.3. *Encourage housing that is able to be adapted for different life stages or is suitable for the needs of an ageing household.*
- 4.4. *Ensure residential subdivisions provide a mix of lot densities, including larger lots and medium density development sites to facilitate a range of housing products.*

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THE PROPOSED DEVELOPMENT

The development proposes to construct two new double-storey dwellings in a duplex configuration.

Dwelling 1 will be accessed via the existing crossover to the south-east corner of the site whilst Dwelling 2 will be accessed via a proposed crossover in the north-east corner of the site.

Each dwelling is provided with two (2) on-site car parking spaces, as per the car parking requirements outlined within **Clause 52.06**.

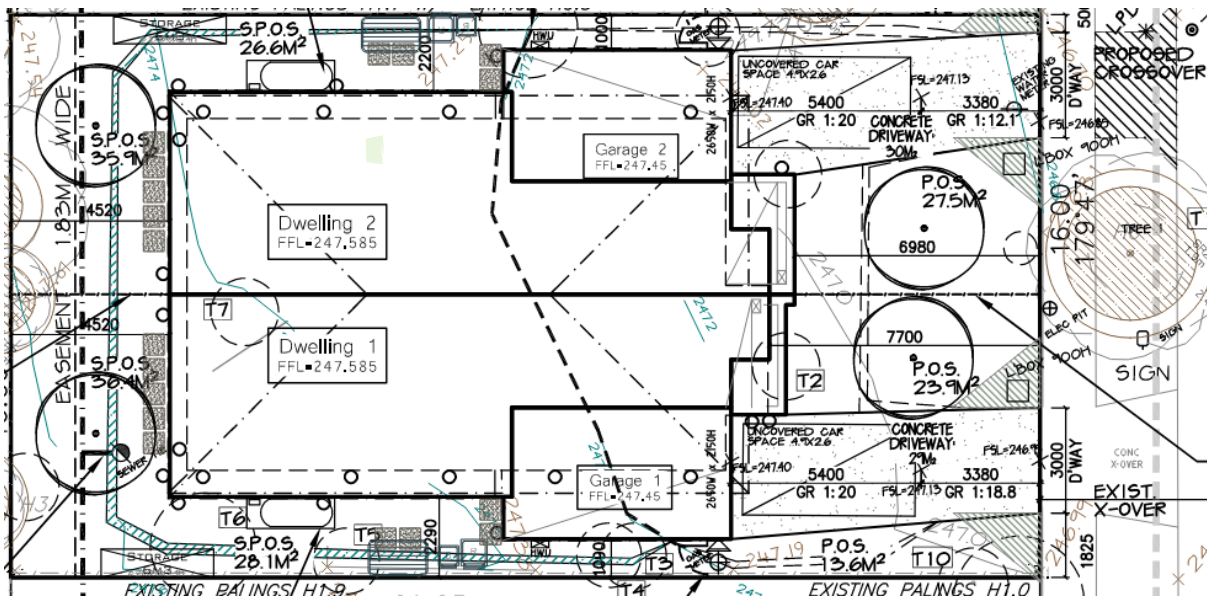


Figure 12 - Extract of design response (Sheet 2 of 5)

The front setback is proposed at 7.70 metres, demonstrating a marginal non-compliance with **Standard B6**. This is discussed within the Clause 55 section of this report.

The site will remain unfenced toward its frontage to Flinders Street

The side and rear setbacks demonstrate compliance with **Standard B17**, and are listed in *Table 1* below:

Ground Floor	First Floor
West: 4.520 metres	West: 5.005 metres
North: 2.200 metres	North: 2.950 metres
South: 2.200 metres	South: 3.040 metres

Table 1 - Side and rear setbacks

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The proposal will display appropriate built form articulation, window placement and fenestration, roof forms incorporating eaves, and softened materials to provide visual interest to the street and to neighbouring properties.

Each dwelling provides habitable room windows (Study and Bedroom 2) toward the front of the dwelling, which allows for passive surveillance and activation of the street. allowing for increased security and passive surveillance toward the street.

The presentation of porticos for each dwelling allows for a sense of personal address for each dwelling that is safe, visible, and clearly defined, as per the requirements of **Standard B12** and **Standard B26**.

The façades draw from elements that are found in the streetscape, including in its materials and design detail.

Each dwelling will consist of three bedrooms, an open plan living, dining and kitchen area and study on the ground floor.

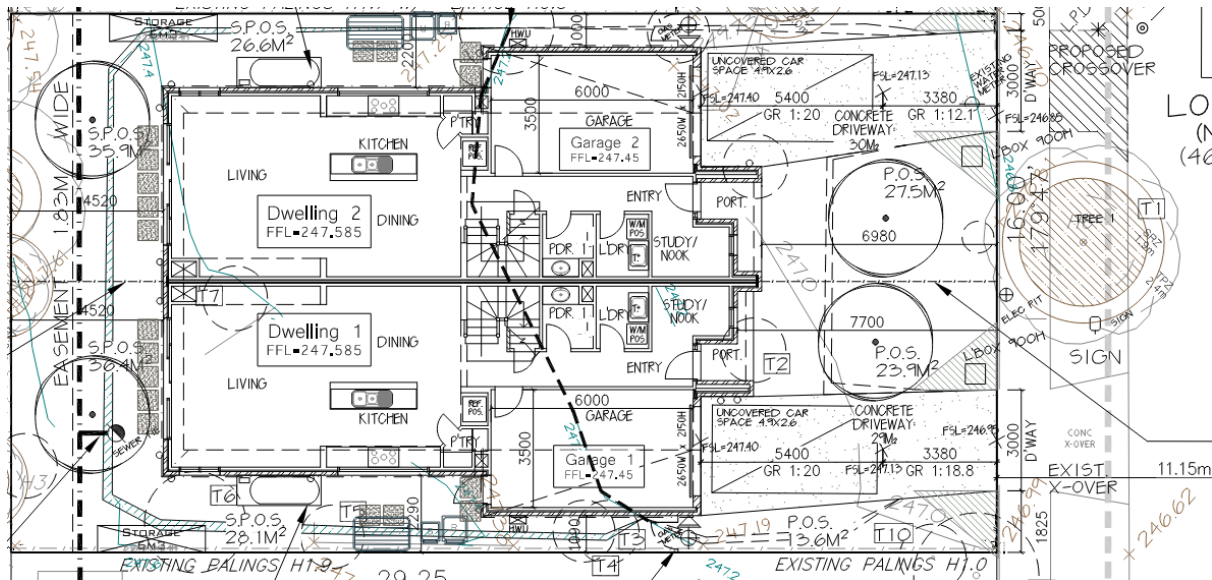


Figure 13 - Ground floor plan (Sheet 3 of 5)

Landscaping opportunity is provided for within the front and rear setbacks. Landscape buffers are provided along the edges of each driveway. There is opportunity for canopy trees within the front setback of the site. The landscaping proposed softens the appearance of impervious surfaces to the street and provides an improved landscaping outcome for the site.

The proposed SPOS areas are accessible from the living areas of each dwelling. Landscaping opportunity is provided within the rear and side setbacks, with the minimum area and widths of each SPOS area demonstrating compliance with the requirements of **Standard B28**. Ample landscaping opportunity is provided as a result of the generous SPOS area for each dwelling.

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TOWN PLANNERS

CLEMENT-STONE SINCE 1989

A full landscape concept plan can be provided by way of condition on any permit that may be issued.

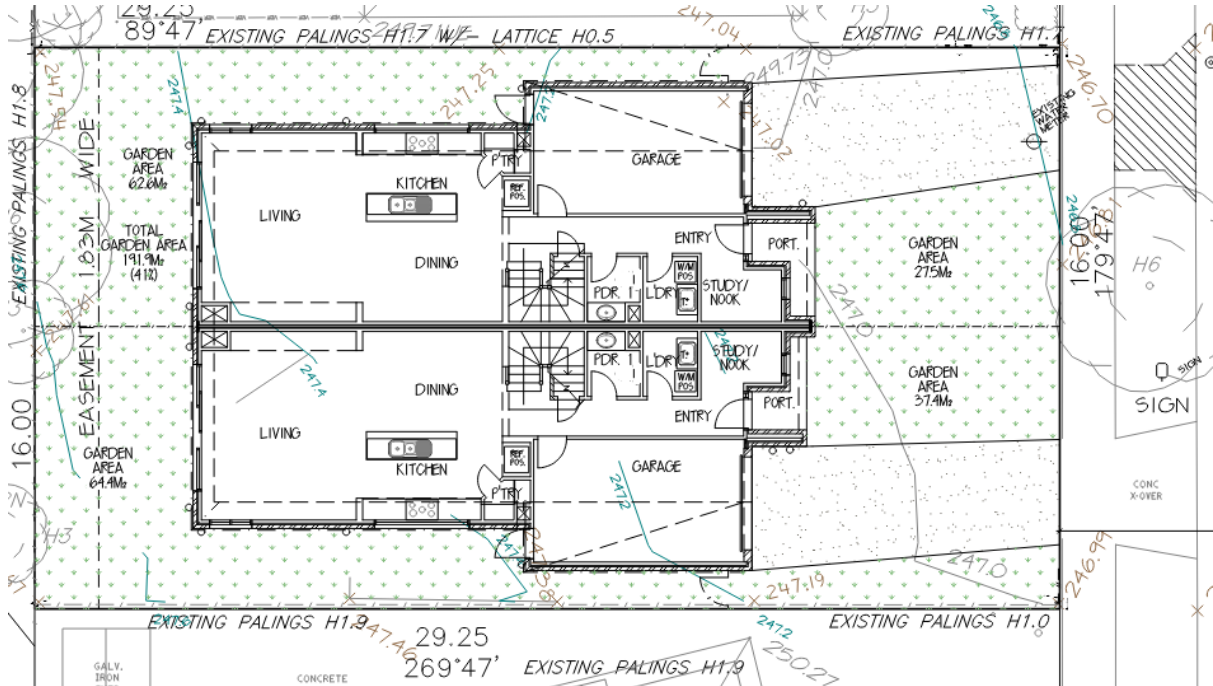


Figure 14 - Garden Area plan (Sheet 3a of 5)

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Schedule of Areas		
No. of Proposed Dwellings	2	
Area Analysis		
Site Area	468 m ²	
Site Coverage	210.7 m ²	45.0%
Driveway	59.0 m ²	12.6%
Permeability Analysis		
Permeable Area	198.3 m ²	42.4%
Garden Area	191.9 m ²	41.0%
Dwelling 1		
Areas	Ground Floor (Building Footprint)	105.0 m ² 22.4%
	First Floor	80.8 m ²
	Bedrooms	4
	Allocated Car Parking	2
	S.P.O.S. & P.O.S.	102 m ²
Dwelling 2		
Areas	Ground Floor (Building Footprint)	105.7 m ² 22.6%
	First Floor	77.0 m ²
	Bedrooms	4
	Allocated Car Parking	2
	S.P.O.S. & P.O.S.	90

Figure 15 - Area analysis and POS table (Sheet 3a of 5)

The site coverage is proposed at 45%, demonstrating compliance with **Standard B8**.

Permeability is proposed at 42.4%, exceeding the requirements with **Standard B9**.

The total area of the site is 468 m², which triggers a requirement for a minimum garden area of 25%, pursuant to **Clause 32.08-4**. The total garden area proposed is approximately 191.9 m² (41%), which exceeds the minimum garden area requirements.

The development is for two double-storey dwellings, with a maximum building height of 7.825 metres, demonstrating compliance with the requirements of the mandatory height requirement for dwellings, pursuant to **Clause 32.08-10**.

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The development will utilise materials and design details – such as brick on the ground floor and render on the upper floor accompanied by a pitched roof form with eaves – visible within the area.

The use of softened materials and finishes will ensure the proposal sits comfortably within the existing streetscape. Neutral and muted tones will be selected to ensure the proposal is consistent with the existing streetscape.

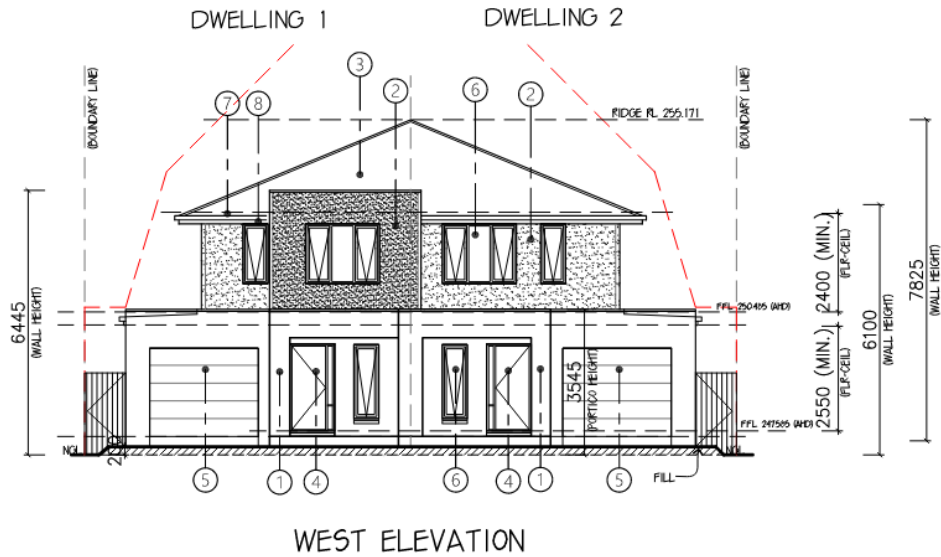


Figure 16 – West elevation (streetscape) (Sheet 5 of 6)

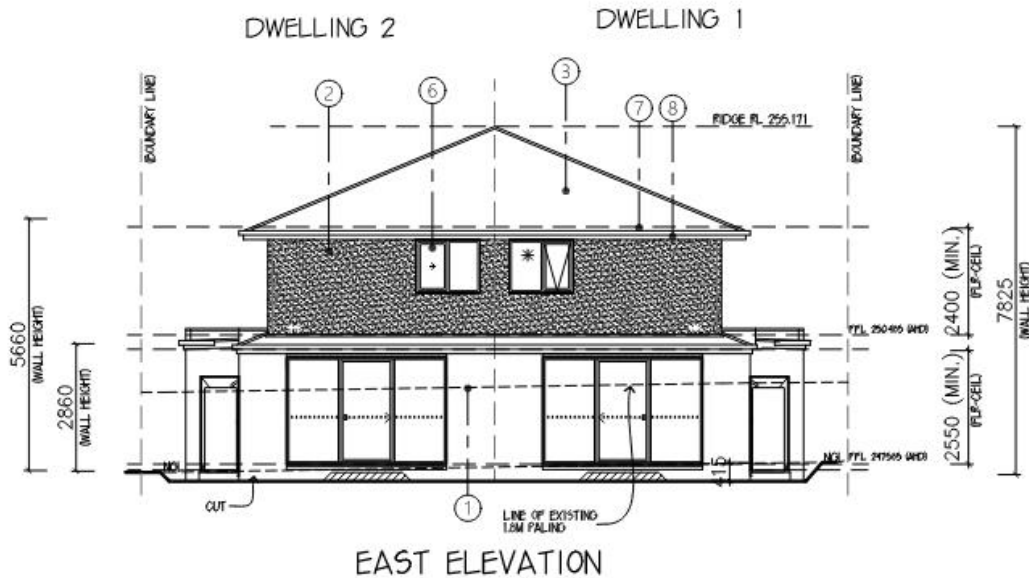


Figure 17 – East elevation (Sheet 5 of 6)

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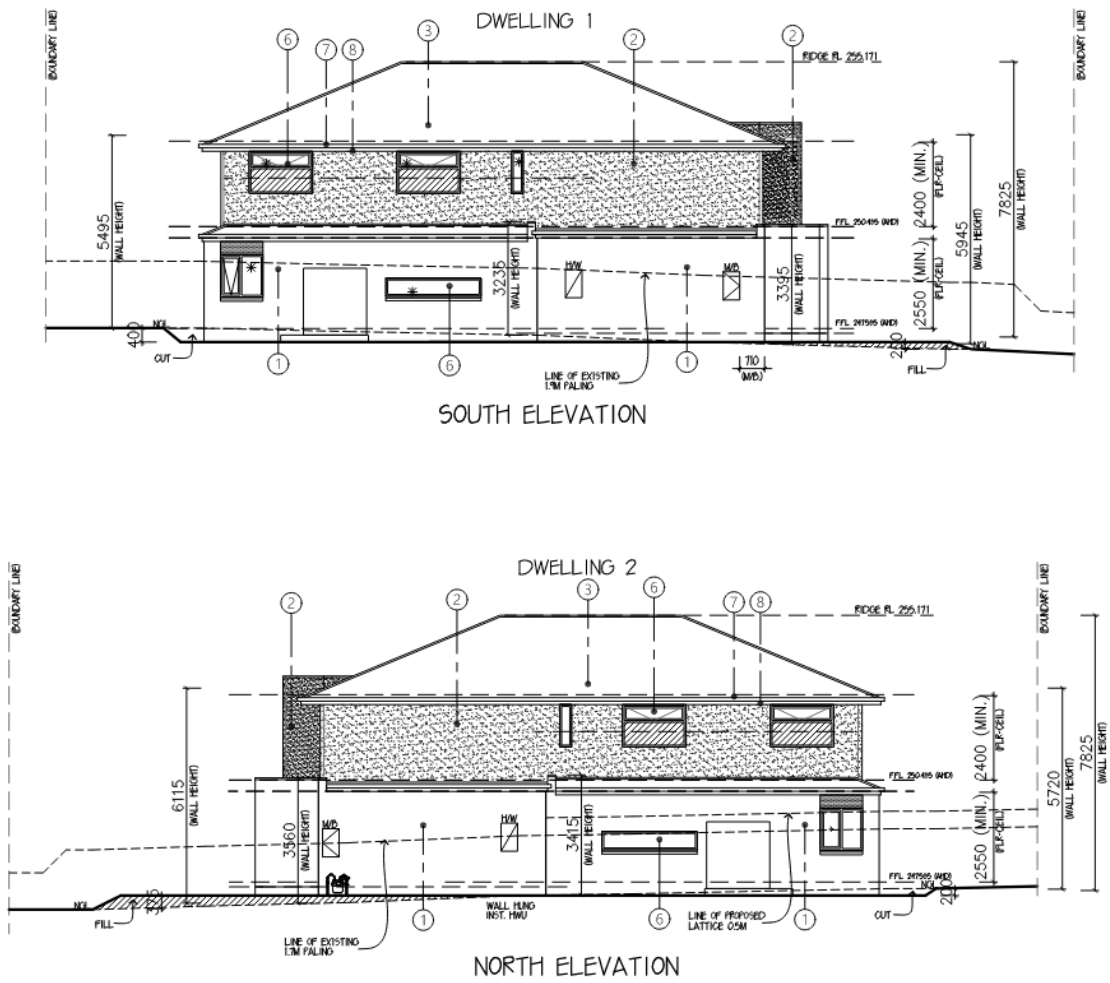


Figure 18 – North and south elevation (Sheet 5 of 6)

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PLANNING PERMIT REQUIREMENT

Under Clause **32.08-6** General Residential Zone, a permit is required to construct two or more dwellings on a lot. Further, a development must meet the requirements of Clause 55.

Within the **Clause 32.08-12** Decision guidelines, amongst other considerations, Dwellings and residential buildings, the Responsible Authority must consider, as appropriate:

- *For the construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings, the objectives, standards and decision guidelines of Clause 55. This does not apply to an apartment development of five or more storeys, excluding a basement.*

Schedule 1 to Clause 32.08 does not vary the requirements of Clause 55.

Pursuant to **Clause 32.08-10**, the maximum building height requirements are as follows:

If no maximum building height or maximum number of storeys is specified in a schedule to this zone:

- *the building height must not exceed 11 metres; and*
- *the building must contain no more than 3 storeys at any point.*

Pursuant to **Clause 32.08-4**, the minimum garden area for lots between 400 m² and 500 m² is 25%.

As assessed against the relevant provisions, a planning permit is required for:

'The construction of two (2) new dwellings'

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RELEVANT PLANNING POLICIES

In deciding an application, the Responsible Authority must consider the following planning policy frameworks and incorporated documentation as they are relevant within the Hume Planning Scheme:

Planning Policy Framework (PPF)

- **Clause 11** **Settlement**
- **Clause 15** **Built Environment and Heritage**
- **Clause 16** **Housing**
- **Clause 18** **Transport**

Municipal Strategic Statement (MSS)

- **Clause 21.03** **Liveable Neighbourhoods and Housing**
 - o 21.03-2 Housing Growth
- **Clause 21.04** **Built Environment and Heritage**
 - o 21.04-1 Urban Design

Zones

- **Clause 32.08** **General Residential Zone**
 - o 32.08 Schedule 1 to the General Residential Zone

Particular Provisions

- **Clause 52.06** **Car Parking**
 - o 52.06-4 Number of car parking spaces required under Table 1
 - o 52.06-8 Design standards for car parking
 - o 52.06-9 Decision Guidelines
- **Clause 55** **Two of more dwellings on a lot and residential buildings**
 - o 55.01-05 ResCode

General Provisions

- **Clause 65** **Decision Guidelines**
 - o 65.01 Approval of an application or plan

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ASSESSMENT

PLANNING POLICY FRAMEWORK

Clause 11 Settlement

This proposal meets the objectives of **Clause 11.02-1S**, allowing for increased land supply that is available for residential uses and intensification in an existing urban area whilst still remaining sensitive to the predominant neighbourhood character.

Housing consolidation in the form of two dwellings on a lot in an established urban area responds to State and local policy which plans to accommodate projected population growth over at least a 15-year period and provide clear direction on locations where growth should occur. The population of Greater Melbourne is projected to increase from 4.5 million in 2015 to 8.0 million in 2051. Making some allowance for vacancy rates, an additional 2.2 million dwellings are expected to be required to accommodate the projected population by 2051¹.

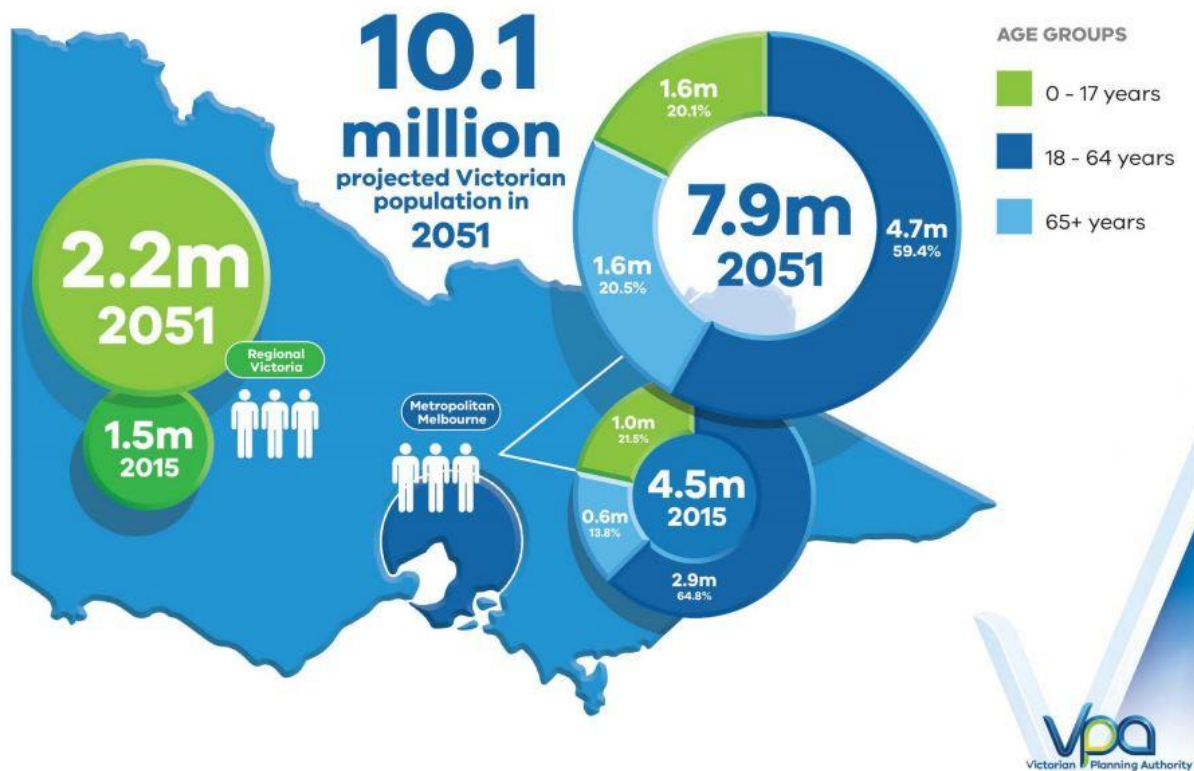


Figure 2 Projected population for Victoria and Greater Melbourne (VIF, 2016)

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¹ Victoria in Future 2016, Department of Environment, Land, Water and Planning (DELWP), 2016

Clause 15 Built Environment and Heritage

The built form design achieves the strategies outlined within **Clause 15.01-2S** as it responds and contributes to the strategic context of its location. Additionally, any detrimental impacts on neighbouring properties, the public realm and the natural environment have been minimised.

The site is within proximity of the Sunbury Activity Centre which offers a range of local services and infrastructure. It has access to a variety of public open spaces, education facilities, and other amenities and services. This assists the development in upholding the ideal of a 20-minute neighbourhood, as per **Clause 15.01-4R**.

Pursuant to **Clause 15.01-5S**, neighbourhood character, cultural identity, and sense of place is to be recognised, supported, and protected. The proposed development maintains the sense of place and identity prevalent within the existing area as well as upholding and contributing positively to the local urban character without detracting from it.

Clause 16 Housing

The proposal contributes to the ideal of a 20-minute neighbourhood, while also responding to **Clause 16.01-1S** as it facilitates with the promotion of a housing market that meets community needs. The development increases the supply of housing in an existing urban area by facilitating increased housing yield in appropriate locations, including under-utilised urban land.

The proposal is for two new dwellings on a lot which provides for higher density housing and housing growth in an area located close to jobs, public transport, and amenities and services, as per **Clause 16.01-2S**. The site exhibits good access to the aforementioned activity centres, providing an opportunity for increased residential density to help consolidate urban areas able to accommodate growth.

Clause 16.01-3S calls for a range of housing types to meet diverse needs. The provision of three new dwellings provides the option of smaller and more easily maintained lots, satisfying the need for an increase in diverse housing stock. The development respects the existing neighbourhood character, whilst also taking advantage of the areas access to infrastructure.

The delivery of affordable housing closer to jobs, transport and services is the objective of **Clause 16.01-4S**. The development improves housing affordability by increasing choices in housing type, tenure, and cost, in order to meet the needs of households as they move through life cycle changes and to support diverse communities.

The proposed construction of two dwellings on a lot represents an incremental housing growth responsive to the zone, and assists with providing additional housing stock needed to accommodate future growth.

Clause 18 Transport

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The proposed development maximises potential travel choices by being well located to public transport, without overloading the current infrastructure or leading to any adverse impacts on existing travel networks. The promotion of increased development close to high-quality public transport routes aligns with the objective of **Clause 18.02-2S**.

MUNICIPAL STRATEGIC STATEMENT (MSS)

Clause 21.03 Liveable Neighbourhoods and Housing

Pursuant to **Clause 21.03-2**, there is acknowledgement within the scheme that Hume's housing stock is overwhelmingly dominated by large detached dwellings. The Hume housing market is primarily aimed at delivering homes for family households. While there is an expectation and an assumption that this will continue to remain true for new housing in the growth areas, there is a need for greater housing diversity. This includes demands for an increasing number of smaller households to house and ageing population and the community's aspirations of being able to age in their local community.

Key issues are recognised here, and within Hume's Housing Diversity strategy set to be implemented in 2020, these include reducing the mismatch between Hume's current housing supply and the demand for different types of housing generated by an increase in smaller, older and more diverse households, and the current limited provision of one and two bedroom dwellings across the municipality.

Related to Housing, Objective 4 within **Clause 21.03-2** calls to increase the diversity of housing in Hume, this will be achieved by:

- *Encouraging well designed infill residential development that provides smaller housing product*
- *Encourage the development of one and two bedroom dwellings*
- *Encourage housing that is able to be adapted for different life stages of is suitable for the needs of an ageing household.*
- *Ensure residential subdivisions provide a mix of lot densities, including larger lots and medium density development site to facilitate a range of housing products.*

The subject site is atypical of where growth around providing infill residential development and smaller housing would be appropriate with its proximity to local infrastructure and services within walking distance. The proposal provides a diverse in housing products for ageing populations in line with Council's objectives for housing growth.

Clause 21.04 Built Environment and Heritage

Pursuant to **Clause 21.04-1**, Urban Design plays a key role in shaping the layout, appearance and function of the built environment. It seeks to ensure that development responds to its context and that buildings, streets and public spaces are designed to work together to create a liveable city that supports a healthy, prosperous, and sustainable community.

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Objective 3, within the Urban Design clause is to enable well designed medium and higher density residential development that protects the amenity of existing residents and sensitively responds to identified preferred neighbourhood character.

The relevant strategies to achieve this include the following:

- *Ensure that buildings are sited and designed to follow the natural landform and minimise the need for cut and fill in areas of slope.*
- *Encourage and support well designed infill residential development in areas characterised by single and double storey detached dwellings.*
- *Encourage infill development to retain the backyard realm in areas characterised by large backyard spaces.*
- *Encourage front fencing that is low and/or permeable.*

The proposal responds to the preferred urban design objectives surrounding the provision of medium and higher densities of development. The proposed two dwellings are double storey in form which are designed to incorporate into the existing detached form in the immediate vicinity of the site including generous areas for landscaping and private open space. These dwellings respond positively in protecting the amenity of existing residents.

GENERAL RESIDENTIAL ZONE

Clause 32.08 General Residential Zone

As per **Clause 32.08-6** a permit is required to construct two dwellings on a lot, pursuant to the requirements of **Clause 55**.

The proposed development fulfils the purpose of the GRZ; meeting State and Local Planning Policy Frameworks, including the Municipal Strategic Statement and local planning policies, as per the following:

- Appropriately responds to the single and double storey residential development of the area.
- Proposes a minimal increase in density, and efficient consolidation of the site.
- Sufficiently responds to and incorporates the adopted neighbourhood character policy guidelines in regard to gardens & landscaping, siting, sensitive landscape environs, building height and form, and materials & design detail.

Pursuant to **Clause 32.08-4**, the minimum garden area for lots in excess of 650 m² is 35%. With a garden area of 48.10%, the proposal satisfies the mandatory minimum garden area requirements.

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Pursuant to Clause **32.08-10**, the maximum building height must not exceed 11 metres, and be no higher than 3 storeys at any point. The development is for three single storey dwellings, with a maximum building height of 7.800 metres.

Access to services and infrastructure have also been considered. The development responds favourably when assessing its access to public transport and services being within close proximity to an identified metropolitan activity centre.

PARTICULAR PROVISIONS

Clause 52.06 Car Parking

The development meets the parking requirements at **Clause 52.06-5**, providing for two (2) onsite parking spaces per dwelling as per Table 1.

The design standards for accessways at **Clause 52.06-9** have also been met.

Clause 53.18 Stormwater Management in Urban Development

The objective of Clause 53.18 is to ensure that stormwater in urban development, including retention and reuse, is managed to mitigate the impacts of stormwater on the environment, property and public safety, and to provide cooling, local habitat and amenity benefits.

Pursuant to **Clause 53.18-5**, the stormwater management objectives for buildings and works are:

- *To encourage stormwater management that maximises the retention and reuse of stormwater.*
- *To encourage development that reduces the impact of stormwater on the drainage system and filters sediment and waste from stormwater prior to discharge from the site.*
- *To encourage stormwater management that contributes to cooling, local habitat improvements and provision of attractive and enjoyable spaces.*
- *To ensure that industrial and commercial chemical pollutants and other toxicants do not enter the stormwater system.*

Pursuant to **Clause 53.18-6**, the objectives for site management are:

- *To protect drainage infrastructure and receiving waters from sedimentation and contamination.*
- *To protect the site and surrounding area from environmental degradation prior to and during construction of subdivision works.*

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The proposal effectively responds to the requirements of this clause with its usage of water sensitive urban design elements, and drainage infrastructure will be protected from sedimentation and contamination.

A STORM report is provided with the application and achieves a score of 107%

Clause 55 Two or more dwellings on a lot

Pursuant to **Clause 55.01-06**, a ResCode assessment has been completed and is attached (ref Appendix A). The proposal demonstrates a high level of compliance with the standards and objectives of **Clause 55**.

Clause 55.03-1 Street Setback objective

Clause 55.03-1 is provided to ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.

As per Table 1, Standard B6 provides the following in relation to front walls for this site:

- *The average distance of the setbacks of the front walls of the existing buildings on the abutting allotments facing the front street or 9 metres, whichever is the lesser.*

When considering the front setback of the adjoining sites (12 Flinders Street – 7.85 m and 16 Flinders Street – 7.6 m, the minimum front setback of 7.700 metres results in a **non-compliance of 25 millimetres** when considering the average adjoining front setback of 7.725 metres.

Having regard to the variation sought, it is our view that the proposed front setback is appropriate and meets the objective of Clause 55.03-1, which provides:

- *To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.*

The proposed siting replicates the front setbacks of similar in-fill dwellings and developments within the streetscape, representing an incremental change of housing typology.

The design response ensures that each dwelling has a highly useable outdoor area to the rear that is unencumbered by built form to the immediate north, and receives an adequate amount of sunlight.

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There is also sufficient landscaping opportunity for canopy tree planting at both front interfaces to temper any perceived built form bulk with appropriate screening via landscaping. Articulation is also provided by way of the varied front façade presentation, staggered setbacks, varying materials, roof forms and window placement.

Ultimately, the question of whether or not a development ‘fits’ into a neighbourhood from a character point of view relates to its relationship with the streetscape and nearby dwellings – in this case, we are comfortable that the setbacks proposed will not compromise the existing or preferred character of the street.

It is our view that the variation sought is reasonable, and the proposal can continue to meet the objectives of Clause 55.03-1 as follows:

- The proposed variation to Standard B6 is extremely minor and is restricted to one section of the upper floor only.
- There are examples of similar front setbacks within the immediate area highlighting the form of incremental change within the area.
- The proposed siting is considered to be in keeping with the existing character of the area containing open space areas to both the front and rear of each dwelling.
- The first-floor levels are well articulated to ensure that the development is not visually obtrusive in the streetscape.
- The proposed setbacks will enable landscaping and canopy trees to assist in further integrating the development within the streetscape.

On balance, the proposed setback for each new dwelling is an acceptable response to this site context, and will not appear incongruous when viewed from the street or adjoining dwellings.

GENERAL PROVISIONS – CLAUSE 65 (DECISION GUIDELINES)

Clause 65 Decision Guidelines

The proposal complies with the decision guidelines of **Clause 65** as follows:

- The State Planning Policy Framework and Local Planning Policy Framework, including MSS and local policies have been complied with.
- The Zone, Overlay, or provision objectives have been complied with and matters required to be considered have been appropriately addressed.
- There will be no unreasonable impact upon the amenity of the area.
- There will be no land degradation, or impacts upon salinity or reduced water quality.
- There will be no impact on the stormwater within and exiting the site.
- There will be no loss of significant vegetation and landscaping can be undertaken

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CONCLUSION

In the overall analysis the proposed development is worthy of support for the following reasons:

- The proposed development is in keeping with the suggested profile of the area.
- The proposed development is complimentary to existing housing stock whilst catering for an increase in housing diversity through minor urban consolidation.
- All relevant provisions and design requirements have been considered and met, and the proposal satisfies Local and State policy outcomes.
- The proposed landscaping is sufficient in upholding the vegetative profile of the area.
- The provision of open space allows the planting of additional canopy trees.
- The proposal will support the pattern of uniformity with built form and respects the character in this locality.
- The proposed dwellings have been designed to provide excellent internal amenity for future occupants and will not result in unreasonable off-site amenity impacts.

We believe the proposal is reflective of the density, built form and siting objectives outlined within the Hume Planning Scheme and subsequently recommend the Council support and approve the planning permit application.



Jack O'Neill BUrb&RegPlan (Hons), MPIA, MVPCLA
Senior Planner | Clement-Stone Town Planners

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APPENDIX A

Assessment Table 1 - Two or More Dwellings on a Lot and Residential Buildings (Clause 55)

Neighbourhood Character

Clause 55.02

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B1 Neighbourhood Character Design respects existing neighbourhood character or contributes to a preferred neighbourhood character. Development responds to features of the site and surrounding area.	1. Appropriate design response to the neighbourhood and site.	✓ Complies
	2. Design respects the existing or preferred neighbourhood character & responds to site features.	✓ Complies
B2 Residential Policy Residential development is consistent with housing policies in the SPPF, LPPF including the MSS and local planning policies. Support medium densities in areas to take advantage of public transport and community infrastructure and services.	1. Application to be accompanied by written statement that explains consistency with relevant housing policy in SPPF, LPPF, MSS and local planning policies.	✓ Complies
B3 Dwelling Diversity Encourages a range of dwelling sizes and types in developments of ten or more dwellings.	1. Developments of ten or more dwellings to provide for: <ul style="list-style-type: none"> ■ Dwellings with a different number of bedrooms. ■ At least one dwelling containing a kitchen, bath or shower, and a toilet and wash basin at ground floor level. 	N/A
B4 Infrastructure Provides appropriate utility services and infrastructure without overloading the capacity.	1. Connection to reticulated sewerage, electricity, gas and drainage services.	✓ Complies
	2. Capacity of infrastructure and utility services should not be exceeded unreasonably.	✓ Complies

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Title & Objective	Standard	Complies / Does Not Comply / Variation Required
	3. Provision should be made for upgrading and mitigation of the impact of services or infrastructure where little or no spare capacity exists.	✓ Complies
B5 Integration with the Street Integrate the layout of development with the street.	1. Development orientated to front existing and proposed streets.	✓ Complies
	2. Vehicle and pedestrian links that maintain and enhance local accessibility.	✓ Complies
	3. High fences in front of dwellings should be avoided if practicable.	✓ Complies
	4. Development next to public open space should be laid out to complement the open space.	N/A

Site Layout and Building Massing

Clause 55.03

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B6 Street Setback The setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.	1. Walls of buildings should be set back from streets: <ul style="list-style-type: none"> ■ at least the distance specified in the schedule to the zone, or ■ If no distance is specified in the schedule to the zone setbacks should be as set out below. <i>Porches, pergolas and verandahs less than 3.6m high and eaves may encroach not more than 2.5m into the setbacks of this standard.</i>	Variation Required
	2. Existing building on both the abutting allotments facing the same street & site is not on a corner. Min front Setback = average setback of existing buildings on abutting allotments facing the front street or 9m, whichever is the lesser.	Variation Required

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Title & Objective	Standard	Complies / Does Not Comply / Variation Required
	<p>3. Existing building + vacant site either side of the subject site facing the same street & site is not on a corner Min front Setback = same setback of front wall of existing building or 9m, whichever is the lesser.</p>	<p>Variation Required</p> <p>See Clause 55 section of this report.</p>
	<p>4. The site is on a corner Min side setback for front walls = same setback of existing building or 9m, whichever is the lesser. If no building 6m for streets in a RDZ1 and 4m for other. Min side setback for front walls fronting side walls = same setback of existing building or 3m, whichever is the lesser. Min side setback of side walls = same distance or 2m, whichever the lesser.</p>	<p>N/A</p>
	<p>5. There is no existing building on either of the abutting allotments facing the same street & site is not on a corner Min front Setback = 6m in RDZ1 & 4m for other streets.</p>	<p>N/A</p>
<p>B7 Building Height</p>	<p>1. The maximum building height should not exceed that specified in the zone, schedule to the zone or any overlay that applies to the land.</p>	<p>✓ Complies</p>

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TOWN PLANNERS

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Title & Objective	Standard	Complies / Does Not Comply / Variation Required
Building height should respect the existing or preferred neighbourhood character.	2. Where no maximum height is specified, the max height should not exceed 9m, unless the slope of the natural ground level at any cross section wider than 8m of the site is 2.5 degrees or more, in which case the max height should not exceed 10m.	✓ Complies
	3. Changes of building height between new and existing should be graduated.	✓ Complies
B8 Site Coverage Site coverage should respect the existing or preferred neighbourhood character and respond to the features of the site.	1. The site area covered by buildings should not exceed: <ul style="list-style-type: none"> ■ The max site coverage specified in the schedule to the zone, or ■ If no max site coverage is specified 60% 	✓ Complies
B9 Permeability Reduce the impact of stormwater run-off on the drainage system and facilitate on-site stormwater infiltration.	1. At least 20% of the site should not be covered by impervious surfaces	✓ Complies
B10 Energy Efficiency Achieve and protect energy efficient dwellings and residential buildings. Ensure orientation and layout reduces fossil fuel energy use and makes appropriate use of daylight and solar energy.	1. Orientation of buildings should make appropriate use of solar energy.	✓ Complies
	2. Siting and design of buildings should not reduce the energy efficiency of buildings on adjoining lots.	✓ Complies
	3. If practicable the living areas and private open space are to be located on the north side.	✓ Complies
	4. Solar access for north-facing windows should be maximised.	✓ Complies

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TOWN PLANNERS

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Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B11 Open Space Integrate layout of development with any public and communal open space provided in or adjacent to the development.	1. Public open spaces should: <ul style="list-style-type: none"> ■ Be substantially fronted by dwellings. ■ Provide outlook for dwellings. ■ Be designed to protect natural features. ■ Be accessible and usable. 	N/A
B12 Safety Layout to provide safety and security for residents and property.	1. Entrances to dwellings and residential buildings should not be isolated or obscured from the street and internal accessways.	✓ Complies
	2. Planting should not create unsafe spaces along streets and accessways	✓ Complies
	3. Good lighting, visibility and surveillance of car parks and internal accessways.	✓ Complies
	4. Protection of private spaces from inappropriate use as public thoroughfares.	✓ Complies
B13 Landscaping To provide appropriate landscaping To encourage: <ul style="list-style-type: none"> ■ Development that respects the landscape character of the neighbourhood. ■ Development that maintains and enhances habitat for plants and animals in locations of habitat importance. ■ The retention of mature vegetation on the site. 	1. Landscape layout and design should: <ul style="list-style-type: none"> ■ Protect predominant landscape features of the neighbourhood ■ Take into account the soil type and drainage patterns of the site ■ Allow for intended veg. growth and structural protection of buildings ■ In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals. ■ Provide a safe, attractive and functional environment for residents 	✓ Complies A landscape plan can be provided as a condition on any permit that may issue.
	2. Development should: <ul style="list-style-type: none"> ■ Provide for the retention or planting of trees, where these are part of the character of neighbourhood. ■ Provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made. 	✓ Complies

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TOWN PLANNERS

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Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B14 Access Ensure the safe, manageable and convenient vehicle access to and from the development. Ensure the number and design of vehicle crossovers respects neighbourhood character.	3. Landscape design should specify landscape themes, vegetation location & species, paving & lighting.	✓ Complies
	1. Accessways should provide: <ul style="list-style-type: none"> ■ Safe, convenient and efficient vehicle movements and connections to the street network ■ Designed to ensure that vehicles can exit in a forward direction if the accessway serves more than 5 car spaces, 3 or more dwellings or connects to a road in a Road Zone. ■ A width of at least 3m. ■ An internal radius of at least 4m at changes of direction. ■ A passing area at the entrance that is at least 5m wide and 7m long if the accessway serves 10 or more car spaces and connects to a road in a Road Zone. 	✓ Complies
	2. The width of the accessways or car spaces should not exceed: <ul style="list-style-type: none"> ■ 33% of the street frontage; or ■ 40% if the width of the street frontage is less than 20m. 	✓ Complies
	3. For each dwelling fronting a street, only one single width crossover should be provided.	✓ Complies
	4. The location of crossovers will maximise the retention of on-street car parking spaces.	✓ Complies
	5. Access points to a road in Road Zones to be minimised.	N/A
6. Access for service, emergency and delivery vehicles must be provided.	✓ Complies	

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TOWN PLANNERS

CLEMENT-STONE SINCE 1989

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B15 Parking Location Provide resident and visitor vehicles with convenient parking. Avoid parking and traffic difficulties in the development and the neighbourhood. Protect residents from vehicular noise within developments.	1. Car parking facilities should be: <ul style="list-style-type: none"> ■ Close and convenient to dwellings. ■ Secure. ■ Designed to allow safe and efficient movements. ■ Well ventilated if enclosed. ■ Broken up with trees and buildings or different surface treatments (applicable to Large Parking Areas.) 	✓ Complies
	2. Shared accessways, car parks of other dwellings/ residential buildings should be at least 1.5m from the windows of habitable rooms. This setback may be reduced to 1m, where there is a fence at least 1.5m high or window sills are at least 1.4m above the accessway.	N/A

Amenity Impacts

Clause 55.04

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B17 Side and Rear Setbacks Ensure the height and setback respects the existing or preferred neighbourhood character and limits the amenity impacts on existing dwellings.	1. A new building not on or within 150mm of a boundary should be setback from side or rear boundaries: <ul style="list-style-type: none"> ■ At least the distance specified in the schedule to the zone, or ■ 1m+ 0.3m for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres. 	Variation Required See Clause 55 section of this report.

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TOWN PLANNERS

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Title & Objective	Standard	Complies / Does Not Comply / Variation Required
<p>B18</p> <p>Walls on Boundaries</p> <p>Ensure the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the amenity impacts on existing dwellings.</p>	<p>1. A new wall constructed on or within 150mm of a side or rear boundary of a lot or a carport constructed on or within 1m of a side or rear boundary of a lot should not abut the boundary for a length of more than:</p> <ul style="list-style-type: none"> ■ 10m plus 25 % of the remaining length of the boundary of an adjoining lot. <p>or</p> <ul style="list-style-type: none"> ■ Where there are existing or simultaneously constructed walls or carports abutting the boundary of an abutting lot, the length of the existing or simultaneously constructed walls or carports - whichever is the greater. ■ A new wall or carport may fully abut a side or rear boundary where slope and retaining walls or fences would result in effective height of the wall or carport being less than 2m on the abutting property boundary. ■ A height of a new wall constructed on or within 150mm of a side or rear boundary or a carport constructed on or within 1m of a side or rear boundary should not exceed an average of 3m with no part higher than 3.6m unless abutting a higher existing or simultaneously constructed wall. 	<p>✓ Complies</p>
<p>B19</p> <p>Daylight to Existing Windows</p> <p>Allow adequate daylight into existing habitable room windows.</p>	<p>1. Buildings opposite an existing habitable room window should provide a light court of at least 3sqm and a minimum dimension of 1m clear to the sky (this can include land on the adjoining lot).</p>	<p>✓ Complies</p>
	<p>2. Walls or carports more than 3m in height opposite should be setback from the window at least 50% of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.</p>	<p>✓ Complies</p>

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TOWN PLANNERS

CLEMENT-STONE SINCE 1989

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B20 North Facing Windows Allow adequate solar access to existing north-facing habitable room windows.	1. Buildings should be setback 1m if an existing north-facing habitable window is within 3m of the abutting lot boundary. (Add 0.6m to this setback for every metre of height over 3.6m and add 1m for every metre over 6.9m.) Refer to 55.04-4 for further clarification (a diagram is included).	✓ Complies
B21 Overshadowing Open Space Ensure buildings do not significantly overshadow existing secluded private open space.	1. Where sunlight to a private open space of an existing dwelling is reduced, at least 75%, or 40sqm with min. 3m, whichever is the lesser area, of the open space should receive a min. of 5 hours of sunlight between 9 am and 3pm on 22 Sept. If the existing sunlight to the private open space of an existing dwelling is less than these requirements, the amount of sunlight should not be reduced further.	✓ Complies
B22 Overlooking Limit views into existing secluded private open space and habitable room windows.	1. A habitable room window, balcony, terrace, deck or patio should be designed to avoid direct views into the secluded private open space of an existing dwelling within 9m (see clause for details) should have either: <ul style="list-style-type: none"> ■ A minimum offset of 1.5m from the edge of one window to the other. ■ Sill heights of at least 1.7m above floor level. ■ Fixed obscure glazing in any part of the window below 1.7m above floor level. ■ Permanently fixed external screens to at least 1.7m above floor level and are no more than 25 % transparent. 	✓ Complies
	2. Obscure glazing below 1.7m above floor level may be openable if there are no direct views as specified in this standard.	✓ Complies

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TOWN PLANNERS

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Title & Objective	Standard	Complies / Does Not Comply / Variation Required
	3. Screens to obscure view should be: <ul style="list-style-type: none"> ■ Perforated panels or trellis with solid translucent panels or maximum 25% openings. ■ Permanent, fixed and durable. ■ Blended into the development. See Clause 55.04-6 for instances where this standard does not apply.	✓ Complies
B23 Internal Views Limit views into existing secluded private open space and habitable room windows of dwellings and residential buildings within the same development.	1. Windows and balconies should be designed to prevent overlooking of more than 50% of the secluded private open space of a lower level dwelling or residential building within the same development.	✓ Complies
B24 Noise Impacts Protect residents from external noise and contain noise sources in developments that may affect existing dwellings.	1. Noise sources should not be located near bedrooms of immediately adjacent existing dwellings.	✓ Complies
	2. Noise sensitive rooms and private open space should consider noise sources on immediately adjacent properties.	✓ Complies
	3. Noise levels should be limited in habitable rooms in dwellings and residential buildings. Dwellings and residential buildings should be designed to limit noise levels in habitable rooms close to busy roads, railway lines or industry.	✓ Complies

On-Site Amenity and Facilities

Clause 55.05

Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B25 Accessibility Consider people with limited mobility in the design of developments.	1. Dwelling entries of the ground floor of buildings should be accessible or able to be easily made accessible to people with limited mobility.	✓ Complies
B26	1. Entries are to be visible and easily identifiable from streets and other public areas.	✓ Complies

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TOWN PLANNERS

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Title & Objective	Standard	Complies / Does Not Comply / Variation Required
Dwelling Entry Provide a sense of identity to each dwelling/residential building.	2. The entries should provide shelter, a sense of personal address and a transitional space.	✓ Complies
B27 Daylight to New Windows Allow adequate daylight into new habitable room windows.	1. Habitable room windows to face: <ul style="list-style-type: none"> ■ Outdoor space open to the sky or light court with minimum area of 3sqm and a min. dimension of 1m clear to the sky or; ■ Verandah provided it is open for at least one third of its perimeter or; ■ A carport provided it has two or more open sides and is open for at least one third of its perimeter. 	✓ Complies
B28 Private Open Space Provide reasonable recreation and service needs of residents by adequate private open space	1. Unless specified in the schedule to the zone, a dwelling should have private open space consisting of: 40sqm with one part at the side or rear of the dwelling/residential building with a minimum dimension of 3m, a minimum area of 25sqm and convenient access from a living room or; Balcony - minimum 8sqm, minimum width 1.6m and accessed from living room or; Roof-top – minimum 10sqm, minimum width 2m and convenient access from living room.	✓ Complies
B29 Solar Access to Open Space Allow solar access into the secluded private open space of new dwellings/buildings.	1. The private open space should be located on the north side of the dwelling if appropriate.	✓ Complies
	2. Southern boundary of open space should be setback from any wall on the north of the space at least $(2+0.9h) h = \text{height of wall}$.	✓ Complies
B30 Storage Provide adequate storage facilities for each dwelling.	1. Each dwelling should have access to a minimum 6m ³ of externally accessible, secure storage space.	✓ Complies

Detailed Design

Clause 55.06

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TOWN PLANNERS

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Title & Objective	Standard	Complies / Does Not Comply / Variation Required
B31 Design Detail Encourage design detail that respects the existing or preferred neighbourhood character.	1. Design of buildings should respect the existing or preferred neighbourhood character and address: <ul style="list-style-type: none"> ■ Façade articulation & detailing. ■ Window and door proportions. ■ Roof form. ■ Verandahs, eaves and parapets. 	✓ Complies
	2. Garages and carports should be visually compatible with the development and neighbourhood character.	✓ Complies
B32 Front Fences Encourage front fence design that respects the existing or preferred neighbourhood character	1. The front fence should complement the design of the dwelling or any front fences on adjoining properties.	No front fence proposed.
	2. A front fence within 3m of the street should not exceed the maximum height specified in the schedule to the zone or if no max. specified, the front fence should not exceed: <ul style="list-style-type: none"> ■ 2m if abutting a Road Zone, Category 1. ■ 1.5m in any other streets. 	N/A
B33 Common Property Ensure car parking, access areas and other communal open space is practical, attractive and easily maintained. Avoid future management difficulties in common ownership areas.	1. Should be functional and capable of efficient management.	N/A
	2. Public, communal and private areas should be clearly delineated. Common property should be functional and capable of efficient management.	N/A
B34 Site Services Ensure site services and facilities can be installed and easily maintained and are accessible, adequate and attractive.	1. Dwelling layout and design should provide for sufficient space and facilities for services to be installed and maintained.	✓ Complies
	2. Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and should blend in with the development.	✓ Complies
	3. The site facilities including mailboxes should be located for convenient access. Bin and recycling enclosures located for convenient access. Mailboxes provided and located for convenient access as required by Aust. Post.	✓ Complies

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Arboricultural Impact Assessment

REPORT COMMISSIONED BY:



DATE OF ASSESSMENT:

Monday, February 07, 2021

SUBJECT SITE:

14 Flinders Street, Sunbury Vic 3429

DATE OF REPORT:

Friday, February 11, 2022

REPORT PREPARED BY:

Ira Francis
Consulting Arborist
Graduate Certificate Arboriculture (AQF 8)

VERSION 1

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TMC REPORTS

ARBORICULTURAL CONSULTING SERVICES

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1 Assignment

1.1 Author / Consulting Arborist

Name Ira Francis Consulting Arborist Graduate Certificate Arboriculture (AQF 8)	Company TMC Reports Phone 0401 442 604 Email nick@tmcreports.com.au
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1.2 Client

Name Mevlut and Sema Haluk Site Address 14 Flinders Street, Sunbury Vic 3429	Intended Audience <ul style="list-style-type: none">○ The property/tree owner(s)○ The development project manager and associated construction staff○ Council Planning Department
--	---

1.3 Brief

The purpose of this report is to provide an independent arboricultural assessment of prominent trees that are located within the subject site and within five metres of the site boundary lines.

Detail has been requested in relation to the following instructions:

- To provide an objective assessment of the overall condition of the subject trees.
- To provide an objective assessment of the retention value of the subject trees.
- To determine the Tree Protection Zones (TPZ) and Structural Root Zones (SRZ) of the subject trees.
- To determine whether the subject trees are expected to remain viable following the proposed development.
- To propose recommendations that are expected to ensure that the subject trees would remain viable post construction.

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2 Data collection

2.1 Site visit

- Ira Francis, of TMC Reports, visited the site for an arboricultural assessment on Monday the 7th of February 2022 at 7:30am.

2.2 Method of data collection

- The subject trees were assessed from observations made as viewed from ground level.
- Access to neighbouring properties was not permitted. Assessment was therefore limited only to parts of the trees that were visible from within the subject site.
- A digital camera was used at ground level to obtain photographs within this report.
- The spreads of the trees were estimated.
- The heights of the trees were measured by using a Nikon Forestry Pro 2 Laser Range Finder.
- A circumference tape measure was used to determine the trunk dimensions of Trees 1 - 8.
- Trunk dimensions of the neighbouring trees (Trees 9 - 17) were estimated due to restricted access.
- Encroachment percentages have been calculated via ArborCAD.

2.2.1 Documents viewed

- Proposed siting (21/12/2021)
- Hume Council Planning Scheme
- Australian Standard AS4970 – 2009 ‘Protection of Trees on Development Sites’
- Australian Standard AS4373 – 2007 ‘Pruning of Amenity Trees’

2.2.2 Proposed siting

- The proposed siting referenced in this report is a preliminary siting and may be subject to change.
- Trees have been mapped in their approximate locations.

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3 Site description

- The subject site is located in a General Residential Zone – Schedule 1 (GRZ1) within the Hume Council.
- An existing residential dwelling is located within the subject site.
- The terrain of the site appeared to be predominantly flat.
- The subject trees are all located within the subject site, the front nature strip and adjoining properties (12 & 16 Flinders St, 1 Mawson Ct).
- No additional prominent vegetation was observed within five metres of the site boundary lines.

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4 Tree data

Tree No.	Botanical Name & Common Name	Age	Origin	Height	Canopy Spread N-S E-W	DBH CA1 DAB	Health	Structure	ULE	Amenity Value	Retention Value	TPZ Radius	SRZ Radius	Permit Required	Comments
1	<i>Eucalyptus leucoxylon</i>	Mature	Native SA VIC	5.0 m	N-S 5.0 m	0.20 m	Fair	Fair	20+ years	Moderate	Council Owned Tree	2.4 m	1.9 m	N/A	Council owned tree located within the front nature strip. Slightly sparse canopy. Small amount of dead tips.
	E-W 5.0 m				0.28 m										
2	<i>Cordyline australis</i>	Mature	Exotic	3.0 m	N-S 2.0 m	0.10 m	Good	Good	20+ years	Low	Low	2.0 m	N/A	N/A	TPZ adjusted as per section 3.2 of AS4970-2009. SRZ not required as per section 3.3.5 of AS4970-2009.
	E-W 2.0 m				0.13 m										
3	<i>Yucca elephantipes</i>	Mature	Exotic	3.0 m	N-S 1.5 m	N/A	Good	Fair/ good	20+ years	Low	Low	2.0 m	N/A	N/A	TPZ adjusted as per section 3.2 of AS4970-2009. SRZ not required as per section 3.3.5 of AS4970-2009. Existing carport within TPZ.
	E-W 1.5 m				N/A										
4	<i>Fraxinus angustifolia</i> subsp. <i>angustifolia</i>	Semi Mature	Exotic	3.5 m	N-S 1.0 m	0.04 m 0.04 m (0.05 m)	Fair/ good	Fair	20+ years	Low	Low	2.0 m	1.5 m	N/A	Existing carport within TPZ.
	E-W 1.0 m				0.13 m 0.13 m (0.25 m)										
5	<i>Yucca elephantipes</i>	Mature	Exotic	3.0 m	N-S 1.5 m	N/A	Good	Fair/ good	20+ years	Low	Low	2.0 m	N/A	N/A	TPZ adjusted as per section 3.2 of AS4970-2009. SRZ not required as per section 3.3.5 of AS4970-2009.
	E-W 1.5 m				N/A										
6	<i>Yucca elephantipes</i>	Mature	Exotic	3.0 m	N-S 2.0 m	N/A	Good	Fair/ good	20+ years	Low	Low	2.0 m	N/A	N/A	TPZ adjusted as per section 3.2 of AS4970-2009. SRZ not required as per section 3.3.5 of AS4970-2009.
	E-W 2.0 m				N/A										

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Tree No.	Botanical Name & Common Name	Age	Origin	Height	Canopy Spread N-S E-W	DBH CA1 DAB	Health	Structure	ULE	Amenity Value	Retention Value	TPZ Radius	SRZ Radius	Permit Required	Comments
7	<i>Beaucarnea recurvata</i>	Mature	Exotic	2.5 m	N-S 2.0 m	0.19 m 0.63 m	Good	Good	20+ years	Low	Low	2.0 m	N/A	N/A	TPZ adjusted as per section 3.2 of AS4970-2009. SRZ not required as per section 3.3.5 of AS4970-2009. Existing dwelling within TPZ.
	Ponytail palm				E-W 2.0 m	0.28 m									
8	<i>Fraxinus angustifolia</i> subsp. <i>angustifolia</i>	Semi Mature	Exotic	2.5 m	N-S 1.5 m	0.14 m 0.47 m	Fair/ good	Fair/ poor	10-20 years	Low	Low	2.0 m	1.6 m	N/A	Appears to have failed or been lopped at 2m above ground level. Canopy consists of epicormic regrowth.
	Desert ash				E-W 1.5 m	0.17 m									
9	<i>Corymbia ficifolia</i>	Mature	Native WA	3.0 m	N-S 4.0 m	0.20 m 0.15 m (0.25 m) 0.63 m 0.47 m (1.10 m)	Fair/ good	Fair/ poor	10-20 years	Low	Neighbouring Tree	3.0 m	2.1 m	N/A	Neighbouring tree located within the southern adjoining property (16 Flinders St). Codominant union splitting at approx. 1.8m above ground level.
	Flowering Gum				E-W 4.0 m	0.33 m									
10	<i>Pittosporum undulatum</i>	Mature	Native NSW QLD VIC	3.5 m	N-S 3.5 m	0.13 m 0.41 m	Good	Fair	20+ years	Low	Neighbouring Tree	2.0 m	1.5 m	N/A	Neighbouring tree located within the southern adjoining property (16 Flinders St).
	Sweet Pittosporum				E-W 3.5 m	0.13 m									
11	<i>Polygala myrtifolia</i>	Mature	Exotic	2.5 m	N-S 2.5 m	0.14 m 0.44 m	Fair/ good	Fair	20+ years	Low	Neighbouring Tree	2.0 m	1.5 m	N/A	Neighbouring tree located within the northern adjoining property (12 Flinders St).
	Sweet Pea Bush				E-W 4.0 m	0.14 m									
12	<i>Syzygium smithii</i>	Mature	Native NSW QLD	8.0 m	N-S 4.0 m	0.20 m 0.63 m	Fair/ good	Good	20+ years	Moderate	Neighbouring Tree	2.4 m	1.8 m	N/A	Neighbouring tree located within the western adjoining property (1 Mawson Ct).
	Lilly Pilly				E-W 4.0 m	0.25 m									

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Tree No.	Botanical Name & Common Name	Age	Origin	Height	Canopy Spread N-S E-W	DBH CA1 DAB	Health	Structure	ULE	Amenity Value	Retention Value	TPZ Radius	SRZ Radius	Permit Required	Comments	
13	<i>Pittosporum undulatum</i>	Mature	Native NSW QLD VIC	7.0 m	N-S 4.0 m	0.16 m	Fair/ good	Fair	20+ years	Low	Neighbouring Tree	2.0 m	1.7 m	N/A	Neighbouring tree located within the western adjoining property (1 Mawson Ct).	
	E-W 4.0 m				0.50 m											
	Sweet Pittosporum					0.21 m										
14	<i>Prunus domestica</i>	Mature	Exotic	4.0 m	N-S 3.0 m	0.13 m	Fair	Fair	10-20 years	Low	Neighbouring Tree	2.0 m	1.5 m	N/A	Neighbouring tree located within the western adjoining property (1 Mawson Ct). Sparse, discoloured leaves. Canopy in subject site by 1.5m at 1.5m above ground level.	
	E-W 3.0 m				0.41 m											
	Plum					0.15 m										
15	<i>Prunus cerasifera</i>	Mature	Exotic	7.5 m	N-S 6.2 m	0.25 m 0.15 m (0.29 m)	Fair	Fair	10-20 years	Low	Neighbouring Tree	3.5 m	2.3 m	N/A	Neighbouring tree located within the western adjoining property (1 Mawson Ct). Discoloured leaves. Canopy in subject site by 3.0m at 1.5m above ground level.	
	E-W 6.2 m				0.79 m 0.47 m (1.26 m)											
	Cherry plum					0.40 m										
16	<i>Callistemon</i> sp.	Mature	Native	2.5 m	N-S 2.0 m	0.10 m	Fair/ good	Fair	20+ years	Low	Neighbouring Tree	2.0 m	1.5 m	N/A	Neighbouring tree located within the western adjoining property (1 Mawson Ct).	
	E-W 2.0 m				0.31 m											
	Bottlebrush					0.10 m										
17	<i>Dicksonia antarctica</i>	Mature	Native NSW QLD TAS VIC	2.5 m	N-S 2.0 m	0.25 m	Fair/ good	Good	20+ years	Low	Neighbouring Tree	2.0 m	N/A	N/A	Neighbouring tree located within the western adjoining property (1 Mawson Ct). TPZ adjusted as per section 3.2 of AS4970-2009. SRZ not required as per section 3.3.5 of AS4970-2009.	
	E-W 2.0 m				0.79 m											
	Soft tree fern					0.27 m										

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4.1 Photographic evidence



Tree 1



Tree 2



Tree 3



Tree 4



Tree 5



Tree 6



Tree 7



Tree 8



Tree 9



Tree 9 splitting union

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Tree 10



Tree 11



Tree 12



Tree 13



Tree 14



Tree 15



Tree 16



Tree 17

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Subject site as viewed from Flinders St



Existing driveway and southern boundary viewed from east



Northern boundary viewed from east



Rear yard viewed from south

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5 Site maps

5.1 Existing conditions

The following map indicates the approximate tree locations in relation to the existing conditions:



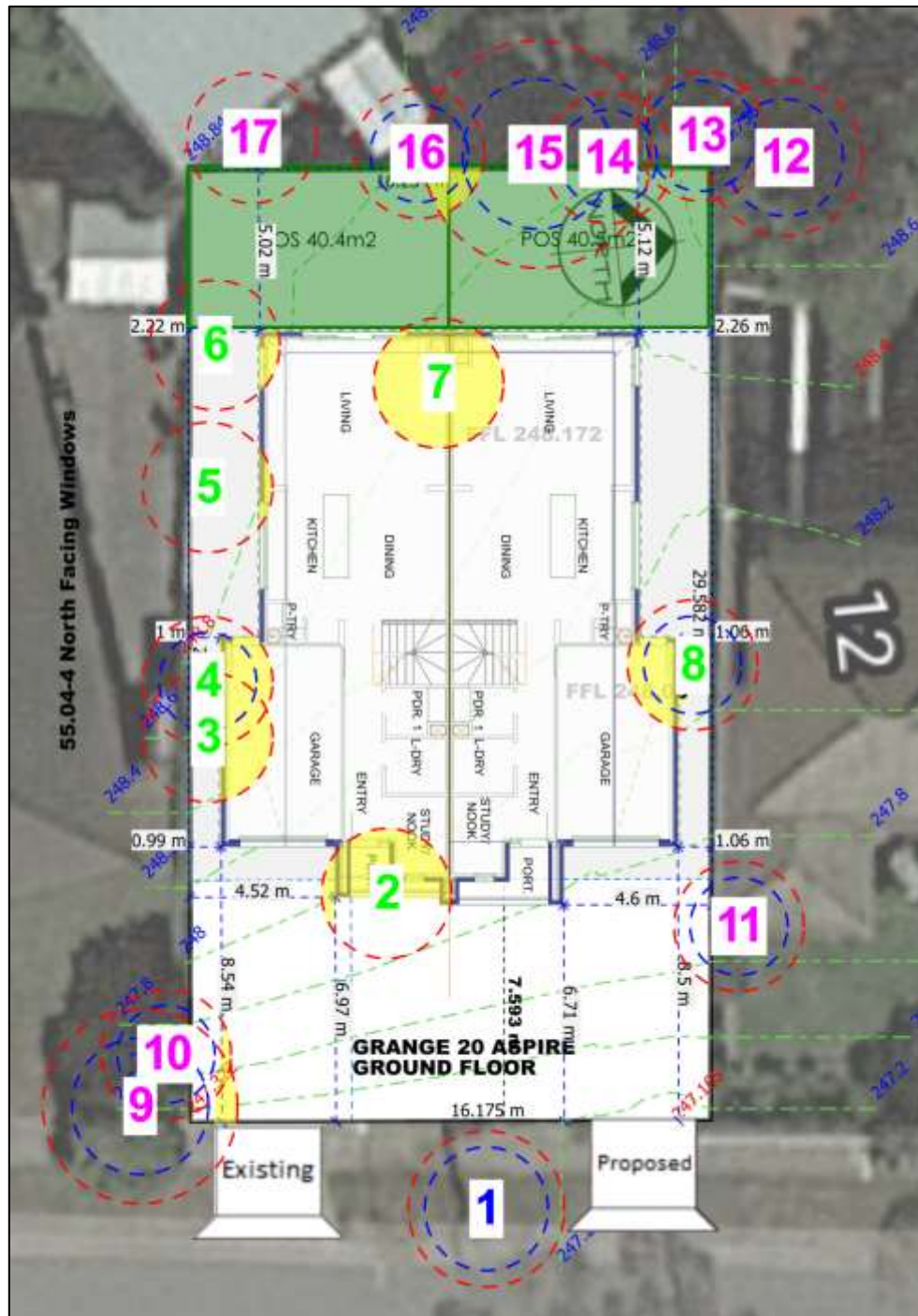
LEGEND

- | | | | |
|--------------------------|----------------------|-----------------------|----------------------|
| LOW RETENTION VALUE | HIGH RETENTION VALUE | COUNCIL OWNED TREE | TREE PROTECTION ZONE |
| MODERATE RETENTION VALUE | OTHER PERSON'S TREE | PROPOSED ENCROACHMENT | STRUCTURAL ROOT ZONE |

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5.2 Proposed plan

The following map indicates the approximate tree locations in relation to the proposed plans:



LEGEND

- LOW RETENTION VALUE
- HIGH RETENTION VALUE
- COUNCIL OWNED TREE
- TREE PROTECTION ZONE
- MODERATE RETENTION VALUE
- OTHER PERSON'S TREE
- PROPOSED ENCROACHMENT
- STRUCTURAL ROOT ZONE

6 Discussion

6.1 Tree protection zone

The tree protection zone (TPZ) is determined by multiplying the trunk diameter of the tree at breast height, 1.4m from ground level, by 12. A 10% encroachment on one side of this zone is acceptable without investigation into root distribution or offset of the lost area.

Section 3.2 of the Australian Standard AS4970 – 2009 Protection of Trees on Development Sites states that the TPZ of Palms, other monocots, cycads and tree ferns should not be less than 1 m outside the crown projection.

6.2 Structural root zone

The structural root zone (SRZ) is the setback required to avoid damage to stabilising structural roots. The loss of roots within the SRZ must be avoided. The SRZ is determined by applying the following formula: $(D \times 50) \times 0.42 \times 0.64$ where D = trunk diameter in metres.

6.3 Designing around trees

It may be possible to encroach into or make variations to the TPZ of the trees that must be retained. Encroachment includes excavation, compacted fill and machine trenching.

The following is referenced from section 3.3 of the Australian Standards AS4970 – 2009 Protection of Trees on Development Sites:

6.3.1 Minor encroachment

If the proposed encroachment is less than 10% of the area of the TPZ and is outside the SRZ, detailed root investigations should not be required. The area lost to this encroachment should be compensated for elsewhere and contiguous with the TPZ.

6.3.2 Major encroachment

If the proposed encroachment is greater than 10% of the TPZ or inside the SRZ the project arborist must demonstrate that the trees would remain viable. The area lost to this encroachment should be compensated for elsewhere and contiguous with the TPZ. This may require root investigation by non-destructive methods.

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7 Conclusion

7.1 Tree retention value

7.1.1 Council owned tree

The following tree belongs to Hume City Council:

- Tree 1

7.1.2 Low retention value

The following trees are considered to be of low retention value as they are relatively small specimens that are insignificant to the landscape:

- Tree 2
- Tree 3
- Tree 4
- Tree 5
- Tree 6
- Tree 7
- Tree 8

7.1.3 Neighbouring trees

The following trees do not belong to the property owner:

- Tree 9
- Tree 10
- Tree 11
- Tree 12
- Tree 13
- Tree 14
- Tree 15
- Tree 16
- Tree 17

7.2 Permit requirements

The site is not subject to any local law or overlay in relation to tree protection.

7.2.1 Street tree

The installation of a new cross over (commonly known as a driveway) or extension of an existing cross over may impact the existing street tree. An application must be made for a 'Consent to work within a Hume City council Road Reserve' permit. If the request to remove the tree is approved there will be a fee charged. The amount of the fee depends on the size of the tree and covers the removal of the tree and stump, and the purchase, planting and establishment maintenance of the replacement tree(s).

The following tree belongs to Hume Council and must only be maintained by Council staff or contractors:

- Tree 1

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7.3 Impact assessment

The following table represents the encroachments of the proposed development:

Tree No.	Encroachment	TPZ encroachment	SRZ encroachment	Encroachment category	Proposed retention
1	N/A	0%	0%	N/A	Retain
2	Portico	Entire tree	Entire tree	Major	Remove
3	Southern garage	38.4%	N/A	Major	Remove
4	Southern garage	35.3%	34.6%	Major	Remove
5	Southern dwelling	5.3%	N/A	Minor	Remove
6	Southern dwelling	7.1%	N/A	Minor	Remove
7	Dwellings	Entire tree	Entire tree	Major	Remove
8	Northern dwelling	30.1%	29.9%	Major	Remove
9	Southern driveway	4.0%	0%	Minor	Retain
10	Southern driveway	4.1%	0%	Minor	Retain
11	N/A	0%	0%	N/A	Retain
12	N/A	0%	0%	N/A	Retain
13	N/A	0%	0%	N/A	Retain
14	N/A	0%	0%	N/A	Retain
15	Fence	2.2%	0%	Minor	Retain
16	Fence	7.4%	3.6%	Major	Retain
17	N/A	0%	0%	N/A	Retain

Note: encroachment calculations are approximate and do not consider over excavation

7.3.1 No encroachment

Development is not proposed to encroach into the TPZ or SRZ of the following trees:

- Tree 1
- Tree 11
- Tree 12
- Tree 13
- Tree 14
- Tree 17

The proposed development is not expected to compromise the long-term viability of the above-mentioned trees.

Less invasive construction measures or development redesign are therefore not required to ensure that these trees would remain viable post construction.

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7.3.2 Minor encroachment

The proposed development is considered to be a minor encroachment according to section 3.3.2 of the Australian Standard AS4970 – 2009 'Protection of Trees on Development Sites' of the following trees:

- Tree 5
- Tree 6
- Tree 9
- Tree 10
- Tree 15

The proposed development is not expected to compromise the health and/or structural integrity of the above-mentioned trees.

Less invasive construction measures or development redesign are therefore not required to ensure that these trees remain viable post construction.

7.3.3 Major encroachment

The proposed development is considered to be a major encroachment according to section 3.3.3 of the Australian Standard AS4970 – 2009 'Protection of Trees on Development Sites' of the following trees:

- Tree 2
- Tree 3
- Tree 4
- Tree 7
- Tree 8
- Tree 16

Tree 2

- The tree is located within the footprint of the portico.
- The proposed development requires the removal of this tree.
- This tree is of low retention value.
- No permit requirements apply to this tree.
- In the event of removal, less invasive construction measures or development redesign are not required.

Tree 3

- The southern garage is considered to be a major encroachment (6.3.2) of 38.4% of the TPZ. No SRZ applies to this tree.
- The construction of the proposed garage has the potential to compromise the tree's long-term viability.
- This tree is of low retention value.
- This tree is proposed to be removed.
- No permit requirements apply to this tree.
- In the event of removal, less invasive construction measures or development redesign are not required.

Tree 4

- The southern garage is considered to be a major encroachment (6.3.2) of 35.3% of the TPZ and 34.6% of the SRZ.
- The construction of the proposed garage has the potential to compromise the tree's long-term viability.
- This tree is of low retention value.
- This tree is proposed to be removed.
- No permit requirements apply to this tree.
- In the event of removal, less invasive construction measures or development redesign are not required.

Tree 7

- The tree is located within the footprint of the dwellings.
- The proposed development requires the removal of this tree.
- This tree is of low retention value.
- No permit requirements apply to this tree.
- In the event of removal, less invasive construction measures or development redesign are not required.

Tree 8

- The northern dwelling is considered to be a major encroachment (6.3.2) of 30.1% of the TPZ and 29.9% of the SRZ.
- The construction of the proposed dwelling has the potential to compromise the tree's long-term viability.
- This tree is of low retention value.
- This tree is proposed to be removed.
- No permit requirements apply to this tree.
- In the event of removal, less invasive construction measures or development redesign are not required.

Tree 16

- The estimated fence is considered to be a major encroachment (6.3.2) of 7.4% of the TPZ and 3.6% of the SRZ.
- This is a neighbouring tree that is proposed to be retained.
- No permit requirements apply to this tree.
- Although this is considered to be a major encroachment, the tree is expected to remain viable due to the following factors:
 - The tree is of a hardy species that generally tolerates root disturbance well.
 - This is a small tree that is expected to have a small and vigorous root system.
- Less invasive construction measures are not required to ensure that this tree would remain viable post construction.

8 Recommendations

8.1 Tree retention

The following Council owned tree is proposed to be retained:

- Tree 1

The following neighbouring trees are proposed to be retained:

- Tree 9
- Tree 10
- Tree 11
- Tree 12
- Tree 13
- Tree 14
- Tree 15
- Tree 16
- Tree 17

The following is recommended in order to ensure that trees that are proposed to be retained would remain viable post construction:

- Comply with less invasive construction measures (8.3)
- Comply with tree protection measures (8.4)

8.1.1 Permit requirements for trees that are proposed to be retained

Privately owned trees that are proposed to be retained are not protected under a local law or overlay.

8.2 Tree removal

The following trees of low retention value are proposed to be removed:

- Tree 2
- Tree 3
- Tree 4
- Tree 5
- Tree 6
- Tree 7
- Tree 8

In the event of tree removal, the following is recommended:

- Tree removal should be undertaken prior to construction commencing (including demolition).
- Written consent from the responsible authority must be obtained prior to tree removal (if required).

8.2.1 Permit requirements for trees that are proposed to be removed

Trees that are proposed to be removed are not protected under a local law or overlay.

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8.3 Less invasive construction measures

- Less invasive construction measures or development redesign are not required to ensure that trees which are proposed to be retained (8.1) would remain viable post construction.

8.4 Tree protection measures

8.4.1 Pruning

- Pruning of trees that are proposed to be retained (8.1) is not required for clearance purposes and should therefore not be undertaken.

8.4.2 Tree protection fencing

- Tree protection fencing (TPF) should be installed for Trees 1, 14 & 15.
- TPF should be installed as close to the TPZ boundary as practically possible provided that it does not encroach onto the road, footpath, crossover or proposed works.
- The existing site perimeter fencing may be used as TPF for other neighbouring trees.
- TPF should be installed prior to machinery being brought onsite for the demolition of the existing dwelling.
- TPF should be a minimum 1.8m high and comprised of wire mesh (or similar) supported by concrete feet (or similar).
- TPF should remain intact for the duration of the project.
- TPF should only be removed or shifted with the approval of the Project Arborist and the Responsible Authority.

8.4.3 Tree protection signage

- The signage on the TPF should be placed on TPZ fencing at regular intervals so that it is visible from any angle outside the TPZ.
- Signage should state 'Tree Protection Zone, No Access' or similar.
- Signage should be greater than 600mm X 400mm in size.
- The contact details of the project arborist and site manager should be written clearly on the sign.



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8.4.4 Scaffolding

- When scaffolding must be erected within Tree Protection Zones, cover the ground with a 10cm layer of mulch, and then cover this with boards and plywood to prevent soil compaction.

8.4.5 Site storage

- A designated storage area where building materials, chemicals etc. can be stored should be located outside the TPZ of retained trees.

8.4.6 Prohibitions within the TPZ

The following activities are prohibited within the TPZ:

- Machine excavation including trenching (unless approved by the Project Arborist, Arborist supervision may be required)
- Cultivation
- Storage
- Preparation of chemicals, including cement products
- Parking of vehicles
- Refuelling
- Dumping of waste
- Wash down and cleaning of equipment
- Placement of fill
- Lighting of fires
- Physical damage to the tree
- Pruning or damaging of roots greater than 30mm in diameter

8.4.7 Drains and services

In the event that any drains or services are included in a greater than 10% encroachment into the TPZ or encroach into the SRZ of trees that are proposed to be retained, the following should be undertaken:

- Drains or services should be installed by non-root destructive means such as horizontal boring at greater than 1100mm in depth **or** by low pressure hydro-excavation to ensure that the bark of the roots remain intact, unless a root investigation determines that the tree(s) would remain viable.

Note: encroachment calculations must consider additional encroachments e.g. site cuts, retaining walls, building footprint.

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9 Limitation of liability

TMC Reports and their employees are tree specialists who use their qualifications, education, knowledge, training, diagnostic tools and experience to examine trees, recommend measures to enhance the beauty and health of trees, and attempt to reduce the risk of living near trees. Clients may choose to accept or disregard the recommendations of this assessment and report.

Trees are living organisms that fail in ways the arboriculture industry does not fully understand. Conditions are often hidden within trees and below ground. Unless otherwise stated, observations have been made from ground level and limited to accessible components without dissection, excavation or probing. There is no guarantee that a tree will be healthy or safe under all circumstances, or for a specified period of time. Likewise, remedial treatments cannot be guaranteed.

Treatment, pruning and removal of trees may involve considerations beyond the scope of this report, such as property boundaries and ownership, disputes between neighbours, sight lines, landlord-tenant matters, and related incidents. Such issues cannot be taken into account unless complete and accurate information is given prior to or at the time of site inspection.

Information contained in this report covers those items that were examined and reflect the condition of those items at the time of inspection. There is no warranty or guarantee expressed or implied that the problems or deficiencies of the trees or property in question may not arise in the future. Trees can be managed, but they cannot be controlled. To live or work near a tree involves a degree of risk. The only way to eliminate all risks involved with a tree is to eliminate the tree.

All written reports must be read in their entirety, at no time shall part of the written assessment be referred to unless taken in full context of the whole written report.

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10 Definition of terms

The following descriptors are used as indicators only. Other factors may be used in assessing an individual tree's health, structure, ULE, retention value and amenity value.

10.1 Tree health

- Good
- Fair
- Poor
- Very poor
- Dead

Good: The tree is demonstrating good or exceptional growth for the species. The tree should exhibit a full canopy of foliage and have only minor pest or disease problems. Foliage colour size and density should be typical of a health specimen of that species.

Fair: The tree is in reasonable condition and growing well for the species. The tree should exhibit an adequate canopy of foliage. There may be some dead wood in the crown, some grazing by insect or animals may be evident, and/or foliage colour, size or density may be atypical for a healthy specimen of that species.

Poor: The tree is not growing to its full capacity. Extension growth of the laterals may be minimal. The canopy may be thinning or sparse. Large amounts of dead wood may be evident throughout the crown, as well as significant pest and disease problems. Other symptoms of stress indicating tree decline may be present.

Very poor: The tree appears to be in a state of decline, and the canopy may be very thin and sparse. A significant volume of dead wood may be present in the canopy, or pest and disease problems may be causing a severe decline in tree health.

Dead: The tree is no longer alive.

10.2 Structure

- Good
- Fair
- Poor
- Very poor
- Failed

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The definition of structure is the likelihood of the tree to fail under normal conditions. A tree with good structure is highly unlikely to suffer any significant failure, while a tree with poor to very poor structure is likely or very likely to fail.

Good: The tree has a well-defined and balanced crown. Branch unions appear to be strong, with no defects evident in the trunks or the branches. Major limbs are well defined. The tree would be considered a good example for the species. Probability of significant failure is highly unlikely.

Fair: The tree has some minor problems in the structure of the crown. The crown may be slightly out of balance at some branch unions or branches may be exhibiting minor structural faults. If the tree has a single trunk, this may be on a slight lean, or be exhibiting minor defects. Probability of significant failure is low.

Poor: The tree may have a poorly structured crown, the crown may be unbalanced, or exhibit large gaps. Major limbs may not be well defined; branches may be rubbing or crossing over. Branch unions may be poor or faulty at the point of attachment. The tree may have suffered major root damage. Probability of significant failure is moderate.

Very poor: The tree has a poorly structured crown. The crown is unbalanced, or exhibits large gaps. Major limbs are not well defined. Branch unions may be poor or faulty at the point of attachment. A section of the tree has failed, or is in imminent danger of failure. Active failure may be present, or failure is probably in the immediate future.

Failed: A significant section of the tree or the whole tree has failed.

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10.3 Useful life expectancy (ULE)

- Unsafe or 0 years
- Less than 5 years
- 5 to 10 years
- to 20 years
- 20 + years

Useful life expectancy is approximately how long a tree can be retained safely and usefully in the landscape providing site conditions remain unchanged and the recommended works are completed.

It is based on the principals of safety and usefulness in the landscape and should not reflect personal opinions on species suitability.

Unsafe or 0 years: The tree is considered dangerous in the location and/or no longer provides any amenity value.

Less Than 5 years: The tree under normal circumstances and without extra stress should be safe and have value of maximum of 5 years. The tree will need to be replaced in the short term. Replacement plants should be established as soon as possible if there is efficient space, or consideration should be given to the removal of the tree to facilitate replanting.

5 to 10 Years: The tree under normal circumstances and without extra stress should be safe and have value of maximum of 10 years. Trees in this category may require regular inspections and maintenance particularly if they are large specimens. Replacement plants should be established in the short term if there is sufficient space, or consideration should be given to the removal of the tree to facilitate replanting.

10 to 20 Years: The tree under normal circumstances and without extra stress should be safe and of value of up to 20 years. During this period, regular inspections and maintenance will be required.

20 + Years: The tree under normal circumstances and without extra stress should be safe and of value of more than 20 years. During this period, regular inspections and maintenance will be required.

10.4 Tree retention value

- High
- Moderate
- Low
- Neighbouring tree
- Council Owned Tree

High: The tree may be significant in the landscape, offer shade and other amenities such as screening. The tree may assist with erosion control, offer a windbreak or perform a vital function in the location (e.g. habitat, shade, flowers or fruit). The tree is free from structural defects and is vigorous. Consider the retention of the tree and designing the development to accommodate the tree.

Moderate: The tree may offer some screening in the landscape or serve a particular function in the location and have minor structural defects. The tree may be entering the mature stage of its life cycle. The tree may be retained if it does not hamper the design intent.

Low: The tree offers very little in the way of screening or amenity and may have significant structural defects. The tree may also be mature and entering the senescent stage of its life cycle. The tree may be removed if necessary.

Neighbouring tree: The tree is located within an adjoining private property/land. The tree is to be protected unless written consent from the tree owner(s) and/or responsible authority is obtained. Consider the retention of the tree unless written consent is obtained from the tree owner and/or responsible authority.

Council Owned Tree: The tree is located within Council owned land. The tree is to be protected unless written consent from the responsible authority is obtained. Consider the retention of the tree unless written consent is obtained from the tree owner and/or responsible authority.

10.5 Age

- Young
- Semi Mature
- Mature
- Senescent

Young: Juvenile or recently planted approximately 1-7 years.
Semi Mature: Tree actively growing.
Mature: Tree has reached expected size in situation.
Senescent: Tree is over mature and has started to decline.

10.6 Amenity value

- Very low
- Low
- Moderate
- High

Very Low: Tree makes little or no amenity value to the site or surrounding areas. In some cases, the tree might be detrimental to the area's amenity value (e.g. unsightly, risk of weed spread)

Low: Tree makes some contribution of amenity value to the site but makes no contribution to the amenity value of surrounding areas. The removal of the tree may result in little loss of amenity. Juvenile trees, including street trees are generally included in this category. However, they may have the potential to supply increased amenity in the future.

Moderate: The tree makes a moderate contribution to the amenity of the site and/or may contribute to the amenity of the surrounding area.

High: The tree makes a significant contribution to the amenity value of the site, or the tree makes a moderate contribution to the amenity value of the larger landscape.

The amenity value rating considered the impact that the tree has on any neighbouring sites as being equally important to that supplied to the subject site. However, trees that contribute to the general area (e.g. streetscape) are given a greater weight.

10.7 Terms within tree data table

- DBH
- DAB
- CA1
- TPZ
- SRZ

DBH: Diameter at breast height (1.4m from ground level). Combined DBH has been calculated according to the Australian Standard AS4970 – 2009 'Protection of Trees on Development Sites'

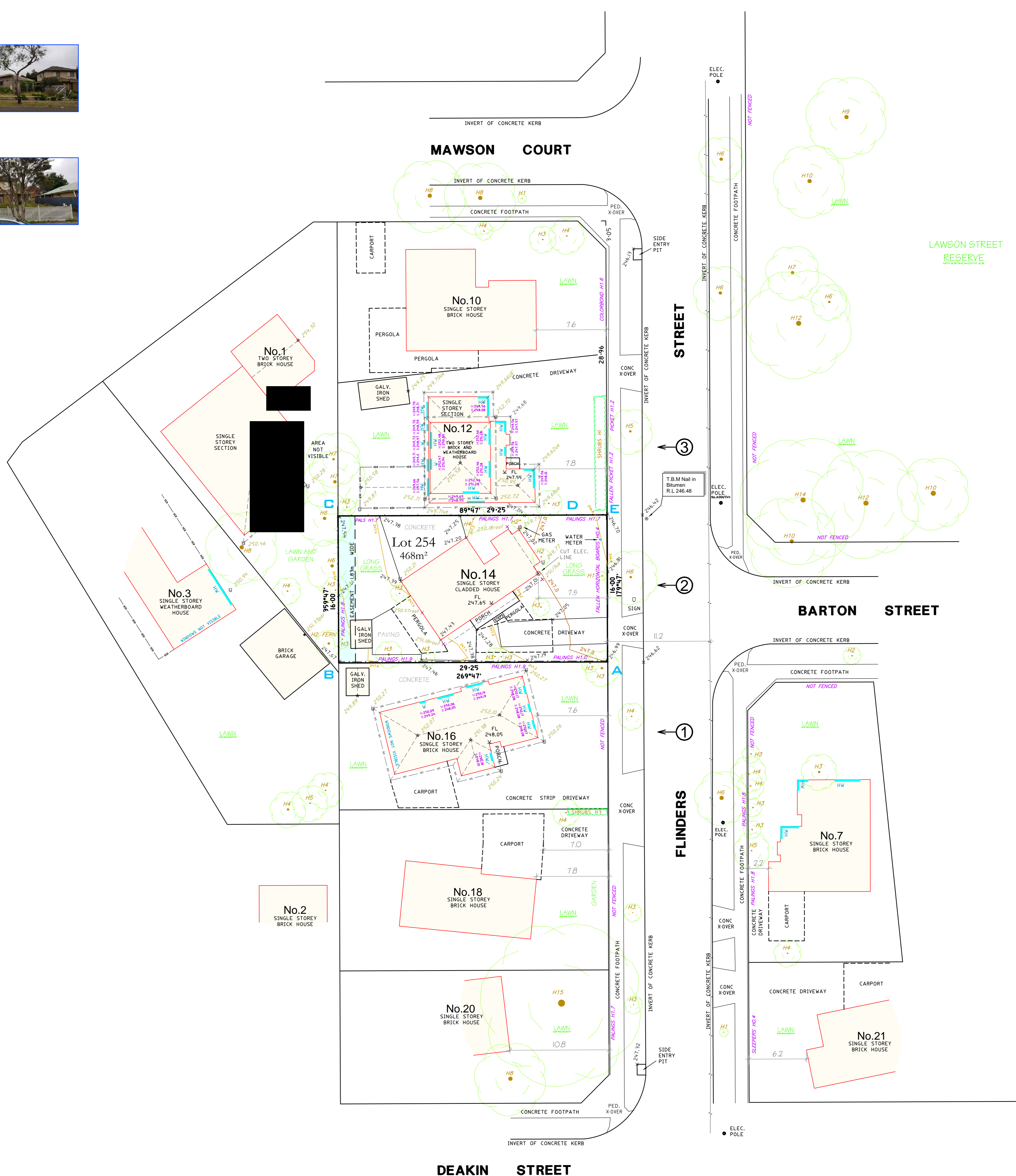
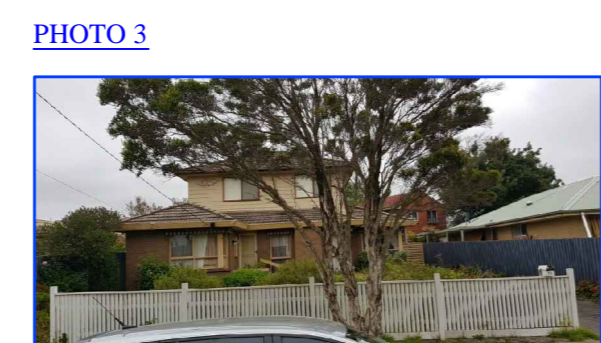
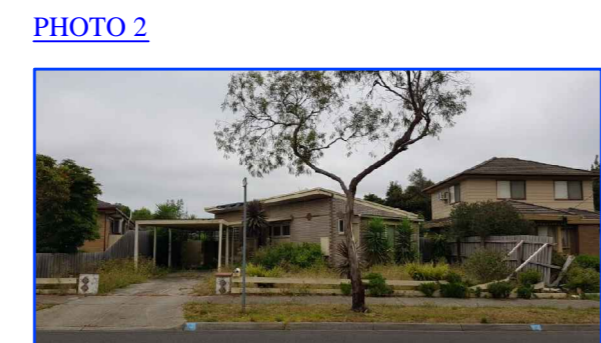
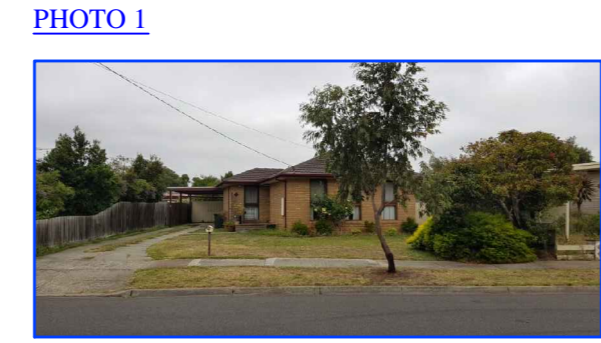
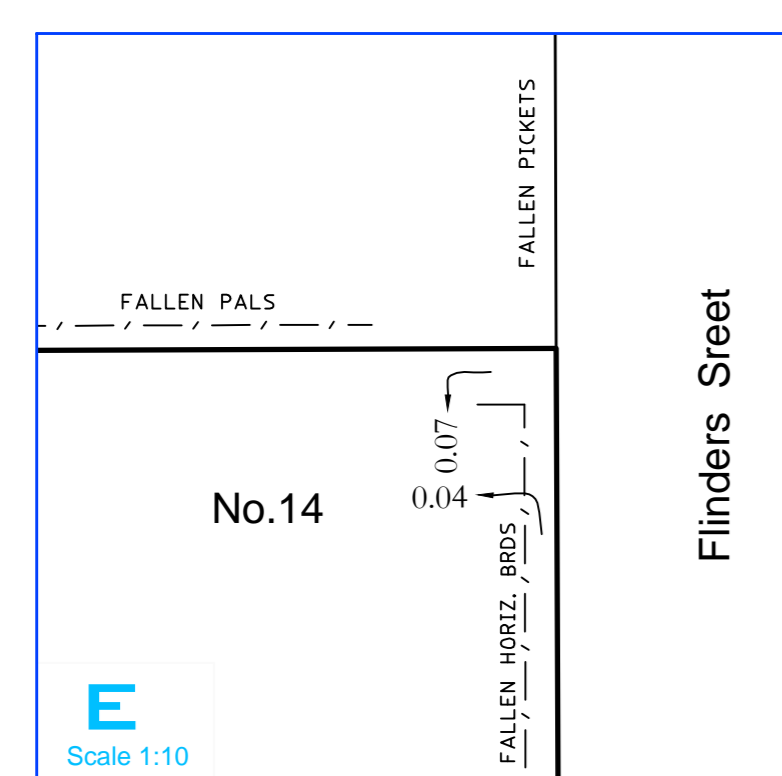
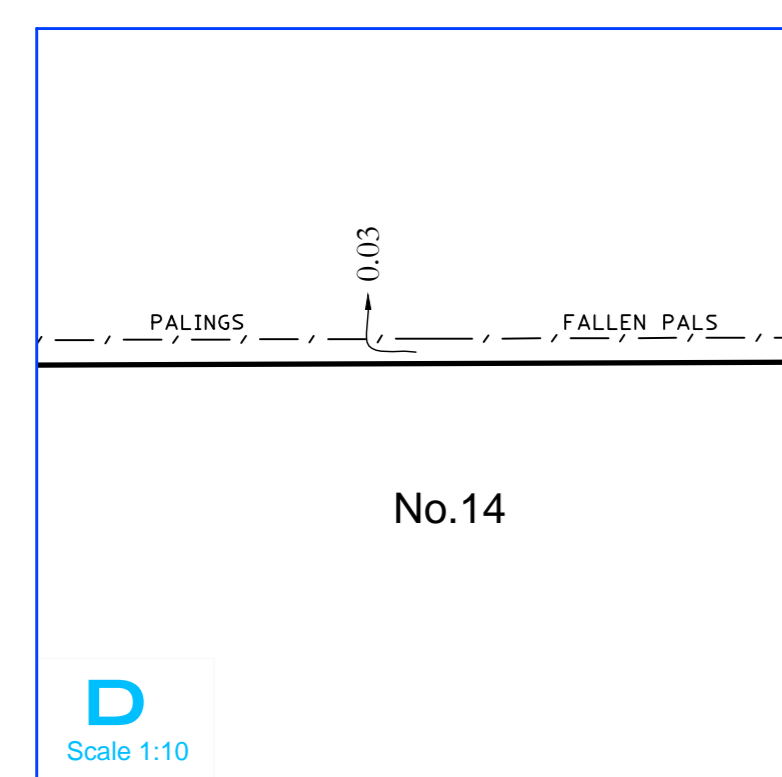
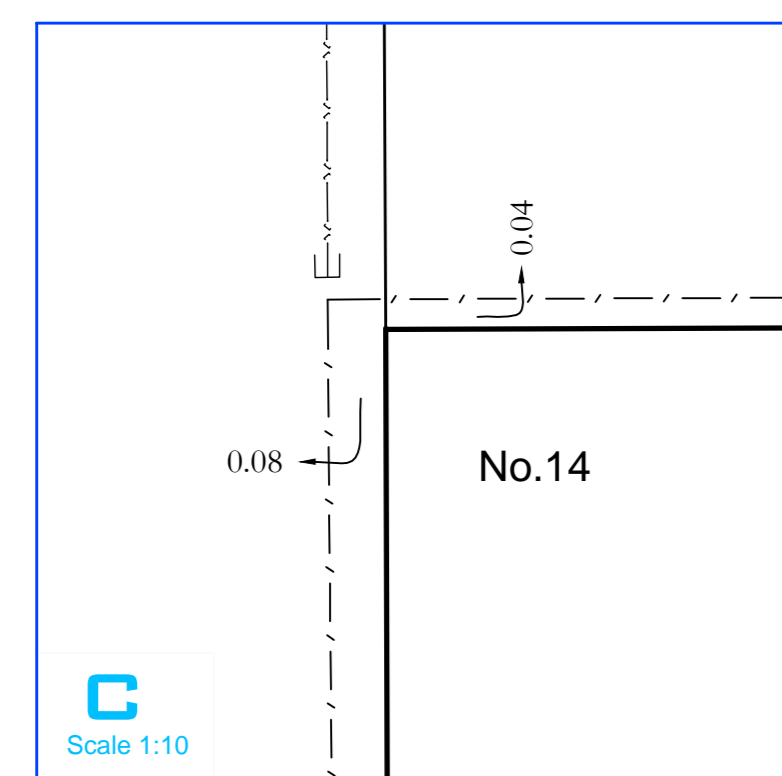
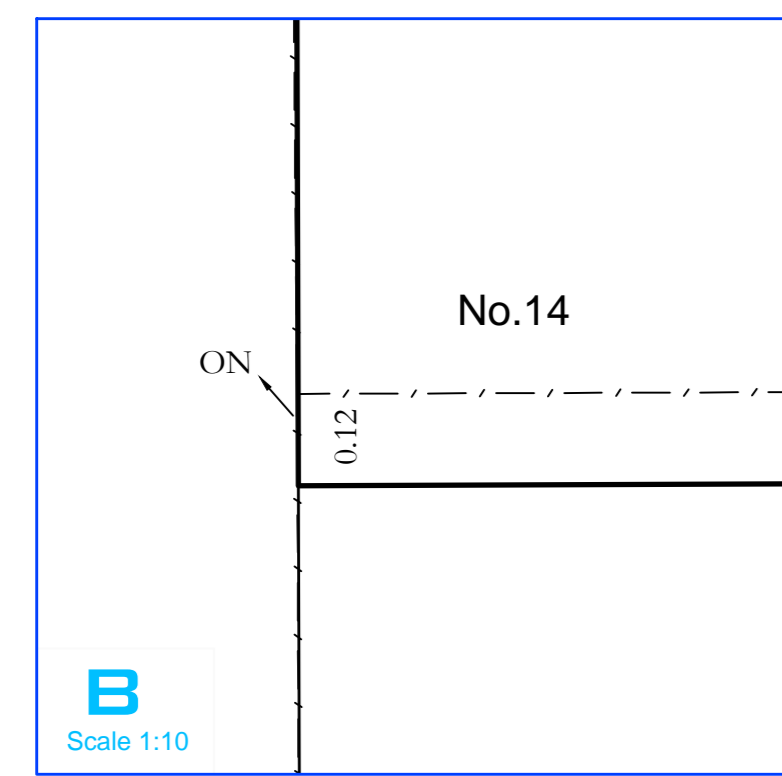
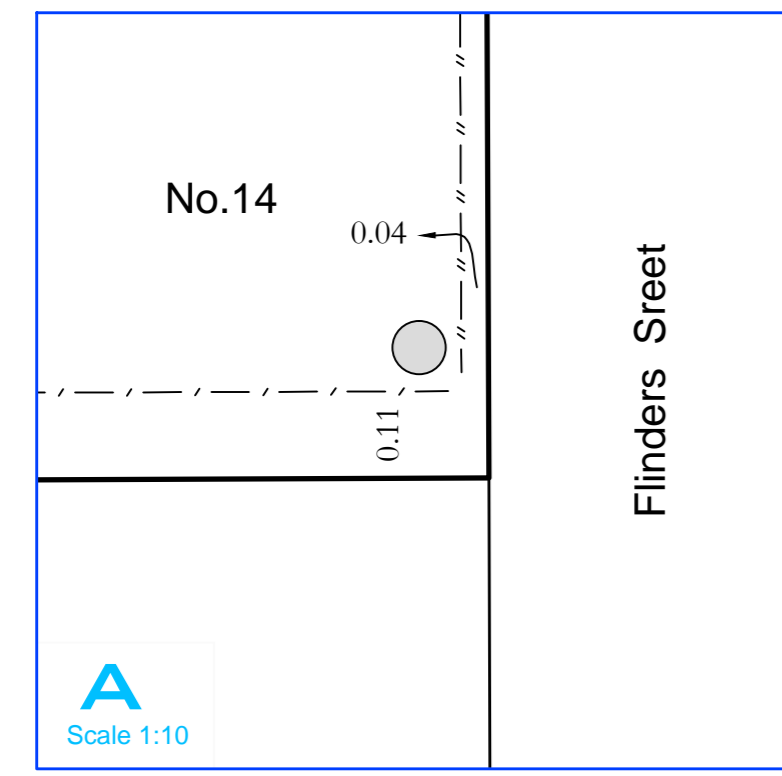
DAB: Diameter at base of tree

CA1: Circumference of trunk at 1m from ground level. Combined circumference is the sum of individual stem circumferences.

TPZ: Tree Protection Zone

SRZ: Structural Root Zone

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LEGEND

W	WINDOW
HW	HABITABLE WINDOW
W	WINDOW (LOWER STOREY)
HW	HABITABLE WINDOW (UPPER STOREY)
W H46.23 SILL R.L. 45.00	WINDOW HEAD R.L. 46.23 SILL R.L. 45.00
HS	TREE (HEIGHT 5m)
---	VERANDAH
---	OVERHEAD POWERLINE
---	PALING FENCE
---	HORIZONTAL BOARD FENCE
---	COLORBOND FENCE
---	UNDERSIDE OF ROOF GUTTER
---	OVERHEAD R.L. VALUE
*	RIDGE R.L.
U	UNDERSIDE OF GUTTER R.L.
U	UNDERSIDE OF EAVE R.L.

NOTES

ALL DATA HEREON IS AN INTEGRAL PART OF THIS PLAN AND MUST NOT BE SUBJECT TO MANIPULATION, AUGMENTATION OR REMOVAL WITHOUT THE DIRECT CONSENT OF THE MANAGEMENT OF A LINE SURVEYING.

THE RELATIONSHIP OF TITLE BOUNDARY TO BOUNDARY FENCING IS INDICATIVE ONLY. USE ONLY OFFSET VALUES. DO NOT SCALE.

THE LOCATION OF ADJACENT PROPERTIES' BUILDINGS AND FEATURES ARE INDICATIVE ONLY UNLESS OTHERWISE STATED.

TREE SPREADS AND HEIGHTS ARE APPROXIMATE ONLY UNLESS OTHERWISE STATED. SIGNIFICANT TREES ONLY ARE SHOWN.

A LINE SURVEYING ARE NOT ELECTRICITY INDUSTRY EXPERTS, AND THIS CANNOT BE HELD RESPONSIBLE FOR SITUATIONS ARISING FROM INACCURATE IDENTIFICATION OF POWER POLES.

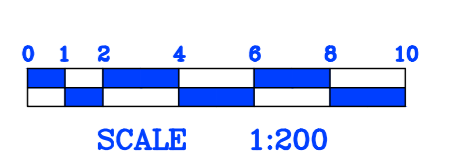
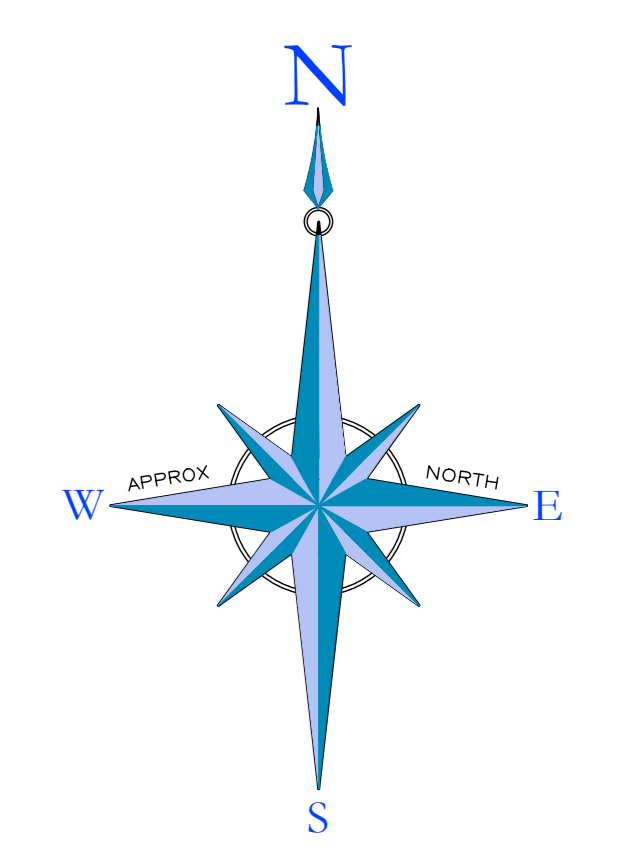
WHILE EVERY EFFORT HAS BEEN MADE TO LOCATE ALL FEATURES AND SERVICES WITHIN THE SURVEYED AREA, A LINE SURVEYING CANNOT BE HELD RESPONSIBLE FOR FEATURES CONCEALED, BURIED, OR UNDER CONSTRUCTION AT THE TIME OF SURVEY.

DETAILS

SURVEYORS	K. IERARDI	M. HOTTES
DRAWN	KEITH IERARDI	28-02-2022
CHECKED	CRAIG STEWART	01-03-2022
CO-ORDINATES	ARBITRARY	±50mm
LEVELS	AHD	±20mm
CONTOUR INTERVAL	0.2m	1m INDEX

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AUSTRALIAN HEIGHT DATUM DERIVED FROM BUTTLEJORK PM 14 R.L. 246.356 (SMES 20 / 01 / 22)



PLAN RE-ESTABLISHMENT OF TITLE, FEATURE & LEVEL SURVEY

PROJECT 14 FLINDERS STREET SUNBURY

TITLE REF VOL. 8338 FOL. 153 LOT 254 ON LP 51891

CLIENT MR & MRS MEVLUT

DATE 24 FEB 2022 **SCALE** 1: 200

REFERENCE 121 02 **SHEET** A0 / 1 OF 1

A LINE SURVEYING
LICENSED LAND SURVEYORS
109 BEDFORD ROAD
EAST RINGWOOD, 3135.
PH 9870 6445 FAX 9879 3740
Email : admin@alinesurveying.com.au

16 September 2022

Planning Manager
Hume City Council
1079 Pascoe Vale Road
Broadmeadows VIC 3047

Attention – Anita Zmak (Town Planner)

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Dear Anita,

PLANNING PERMIT APPLICATION NO.: P24700
14 FLINDERS STREET, SUNBURY VIC 3429
SECTION 54 RESPONSE

We continue to act on behalf of the permit applicant with respect to the above-mentioned planning permit application, and advise as follows.

In response to the request for further information issued under *Section 54* of the *Planning and Environment Act 1987* (dated 22 June 2022), we now enclose a copy of the following information to assist Council with the assessment of the application.

- Updated Town Planning drawings (Rev A) to address Points 1-3 of Council's requested information, including:
 - Setback to windows located on adjoining lots to the boundaries of the subject site.
 - Notation confirming if boundary fencing is 'existing' or 'proposed'.
 - Notation confirming no front fence is proposed.
 - Description in legend that the fencing in corner splays to be tapered down to 900mm.
 - Dimension confirming garage width to be 2.8 metres.
 - Dimension between Council-owned street tree and proposed crossover.
 - Tree Protection Zone (TPZ) shown for all neighbouring trees within 3 metres of the subject site.
 - Setback of all trees located within 3 metres of the subject site.
 - Distance between window sills and finished floor levels shown on elevations.
- Shadow diagrams include projection from existing and proposed fencing.
- A colour and materials schedule.
- STORM Rating Report.
- A Water Sensitive Urban Design (WSUD) plan.
- BESS report (SDA).

With regard to Point 3.b of the information required, the west-facing windows here are each associated with a bathroom and are not habitable room windows. Non-habitable room windows are not required to be screened in accordance with Clause 55.04-6.

In response to the referral from Council's traffic department, it has been sought for an indented parking bay within the front nature strip due to the narrow trafficable width of Flinders Street.

Further to our discussions with Council (Anita Zmak), it is our understanding that it is the preference of town planning that the street tree located adjacent to the site on the nature strip is prioritised for retention.

As it is not feasible to construct an indented parking bay to the required standard whilst retaining this tree, it is understood that Council is comfortable to waive this requirement for an indented parking bay at the request of the traffic department.

Conclusion

We believe the enclosed development plans and above-mentioned information satisfies the further information requested pursuant to Section 54 of the *Act*, and request the application proceed to public notification at Council's earliest convenience.

Should the enclosed information not be satisfactory please regard this correspondence as a request for a 30-day extension of time to respond to the further information (30 November 2022) and provide written confirmation of Council's decision to our office.

Should you have further questions please contact me on 9334 2060 or at mb@townplanners.com.au.

Yours Faithfully,



Matthew Butler BUrb&RegPlan (Hons), MVPELA
Urban & Regional Planner | Clement-Stone Town Planners

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BESS Report

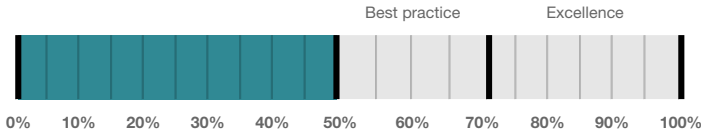
Built Environment Sustainability Scorecard



This BESS report outlines the sustainable design commitments of the proposed development at Lot 254 (#14) Flinders Street Sunbury VIC 3429. The BESS report and accompanying documents and evidence are submitted in response to the requirement for a Sustainable Design Assessment or Sustainability Management Plan at Hume City Council.

Note that where a Sustainability Management Plan is required, the BESS report must be accompanied by a report that further demonstrates the development's potential to achieve the relevant environmental performance outcomes and documents the means by which the performance outcomes can be achieved.

Your BESS Score



50%

Project details

Address Lot 254 (#14) Flinders Street Sunbury VIC 3429
Project no B0108C45-R1
BESS Version BESS-6

Site type Multi dwelling (dual occupancy, townhouse, villa unit etc)
Account energy@energyadvance.com.au
Application no.
Site area 468.00 m²
Building floor area 368.50 m²
Date 09 September 2022
Software version 1.7.0-B.388



Performance by category

● Your development ● Maximum available

Category	Weight	Score	Pass
Management	5%	0%	*
Water	9%	50%	✓
Energy	28%	50%	✓
Stormwater	14%	100%	✓
IEQ	17%	60%	✓
Transport	9%	50%	*
Waste	6%	0%	*
Urban Ecology	6%	71%	*
Innovation	9%	0%	*

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Dwellings & Non Res Spaces

Dwellings

Name	Quantity	Area	% of total area
Detached dwelling			
Dwelling 1	1	186 m ²	50%
Dwelling 2	1	183 m ²	49%
Total	2	368 m²	100%

Supporting information

Floorplans & elevation notes

Credit	Requirement	Response	Status
Water 3.1	Water efficient garden annotated		-
Energy 3.4	Clothes line annotated (if proposed)		-
Stormwater 1.1	Location of any stormwater management systems used in STORM or MUSIC modelling (e.g. Rainwater tanks, raingarden, buffer strips)		-
IEQ 2.2	Dwellings meeting the requirements for having 'natural cross flow ventilation'		-
IEQ 3.1	Glazing specification to be annotated		-
Transport 1.1	All nominated residential bicycle parking spaces		-
Urban Ecology 2.1	Vegetated areas		-
Urban Ecology 3.1	Food production areas		-

Supporting evidence

Credit	Requirement	Response	Status
Energy 3.5	Provide a written description of the average lighting power density to be installed in the development and specify the lighting type(s) to be used.		-
Stormwater 1.1	STORM report or MUSIC model		-
IEQ 2.2	A list of dwellings with natural cross flow ventilation		-
IEQ 3.1	Reference to floor plans or energy modelling showing the glazing specification (U-value and Solar Heat Gain Coefficient, SHGC)		-

Credit summary

Management Overall contribution 4.5%

		0%
1.1 Pre-Application Meeting		0%
2.1 Thermal Performance Modelling - Single Dwelling		0%

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Water Overall contribution 9.0%

		Minimum required 50%	50%	✓ Pass
1.1 Potable water use reduction			40%	
3.1 Water Efficient Landscaping			100%	

Energy Overall contribution 27.5%

		Minimum required 50%	50%	✓ Pass
1.2 Thermal Performance Rating - Residential			16%	
2.1 Greenhouse Gas Emissions			100%	
2.2 Peak Demand			0%	
2.3 Electricity Consumption			100%	
2.4 Gas Consumption			100%	
2.5 Wood Consumption			N/A	✦ Scoped Out
No reason provided				
3.2 Hot Water			100%	
3.3 External Lighting			0%	
3.4 Clothes Drying			100%	
3.5 Internal Lighting - Residential Single Dwelling			100%	
4.4 Renewable Energy Systems - Other			N/A	⊘ Disabled
No other (non-solar PV) renewable energy is in use.				
4.5 Solar PV - Houses and Townhouses			N/A	⊘ Disabled
No solar PV renewable energy is in use.				

Stormwater Overall contribution 13.5%

		Minimum required 100%	100%	✓ Pass
1.1 Stormwater Treatment			100%	

IEQ Overall contribution 16.5%

		Minimum required 50%	60%	✓ Pass
2.2 Cross Flow Ventilation			100%	
3.1 Thermal comfort - Double Glazing			100%	
3.2 Thermal Comfort - External Shading			0%	
3.3 Thermal Comfort - Orientation			0%	

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Transport Overall contribution 9.0%

		50%
1.1 Bicycle Parking - Residential		100%
2.1 Electric Vehicle Infrastructure		0%

Waste Overall contribution 5.5%

		0%
1.1 - Construction Waste - Building Re-Use		0%
2.1 - Operational Waste - Food & Garden Waste		0%

Urban Ecology Overall contribution 5.5%

		71%
2.1 Vegetation		100%
2.2 Green Roofs		0%
2.3 Green Walls and Facades		0%
3.1 Food Production - Residential		100%

Innovation Overall contribution 9.0%

		0%
1.1 Innovation		0%

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Credit breakdown

Management Overall contribution 0%

1.1 Pre-Application Meeting	0%
Score Contribution	This credit contributes 60.0% towards the category score.
Criteria	Has an ESD professional been engaged to provide sustainability advice from schematic design to construction? AND Has the ESD professional been involved in a pre-application meeting with Council?
Question	Criteria Achieved ?
Project	No
2.1 Thermal Performance Modelling - Single Dwelling	0%
Score Contribution	This credit contributes 40.0% towards the category score.
Criteria	Has a preliminary NatHERS rating been undertaken?
Question	Criteria Achieved ?
Detached dwelling	No

Water Overall contribution 4% Minimum required 50%

Water Approach	
What approach do you want to use for Water?:	Use the built in calculation tools
Project Water Profile Question	
Do you have a reticulated third pipe or an on-site water recycling system?:	No
Are you installing a swimming pool?:	No
Are you installing a rainwater tank?:	Yes
Water fixtures, fittings and connections	
Showerhead: All	4 Star WELS (>= 6.0 but <= 7.5)
Bath: All	Medium Sized Contemporary Bath
Kitchen Taps: All	>= 5 Star WELS rating
Bathroom Taps: All	>= 5 Star WELS rating
Dishwashers: All	Default or unrated
WC: All	>= 4 Star WELS rating
Urinals: All	Scope out
Washing Machine Water Efficiency: All	Default or unrated
Which non-potable water source is the dwelling/space connected to?:	
Dwelling 1	RWT1
Dwelling 2	RWT2
Non-potable water source connected to Toilets: All	Yes
Non-potable water source connected to Laundry (washing machine): All	No
Non-potable water source connected to Hot Water System: All	No
Rainwater Tanks	
What is the total roof area connected to the rainwater tank?:	
RWT1	105 m ²
RWT2	106 m ²
Tank Size:	
RWT1	2,200 Litres
RWT2	2,000 Litres
Irrigation area connected to tank:	
RWT1	0.0 m ²
RWT2	0.0 m ²
Is connected irrigation area a water efficient garden?:	
RWT1	Yes
RWT2	Yes
Other external water demand connected to tank?:	
RWT1	-
RWT2	-

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1.1 Potable water use reduction		40%
Score Contribution	This credit contributes 83.3% towards the category score.	
Criteria	What is the reduction in total potable water use due to efficient fixtures, appliances, rainwater use and recycled water use? To achieve points in this credit there must be >25% potable water reduction.	
Output	Reference	
Project	448 kL	
Output	Proposed (excluding rainwater and recycled water use)	
Project	375 kL	
Output	Proposed (including rainwater and recycled water use)	
Project	335 kL	
Output	% Reduction in Potable Water Consumption	
Project	25 %	
Output	% of connected demand met by rainwater	
Project	100 %	
Output	How often does the tank overflow?	
Project	Very Often	
Output	Opportunity for additional rainwater connection	
Project	166 kL	
3.1 Water Efficient Landscaping		100%
Score Contribution	This credit contributes 16.7% towards the category score.	
Criteria	Will water efficient landscaping be installed?	
Question	Criteria Achieved ?	
Project	Yes	

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Energy Overall contribution 14% Minimum required 50%

Dwellings Energy Approach	
What approach do you want to use for Energy?:	Use the built in calculation tools
Project Energy Profile Question	
Are you installing any solar photovoltaic (PV) system(s)?:	No
Are you installing any other renewable energy system(s)?:	No
Gas supplied into building:	Natural Gas
Dwelling Energy Profiles	
Below the floor is: All	Ground or Carpark
Above the ceiling is: All	Outside
Exposed sides: All	3
NatHERS Annual Energy Loads - Heat:	
Dwelling 1	105 MJ/sqm
Dwelling 2	90.4 MJ/sqm
NatHERS Annual Energy Loads - Cool:	
Dwelling 1	15.6 MJ/sqm
Dwelling 2	17.1 MJ/sqm
NatHERS star rating:	
Dwelling 1	6.4
Dwelling 2	6.8
Type of Heating System: All	E Reverse cycle ducted
Heating System Efficiency: All	4 Star
Type of Cooling System: All	Refrigerative ducted
Cooling System Efficiency: All	Current Default / MEPS
Type of Hot Water System: All	J Gas Instantaneous 6 star
% Contribution from solar hot water system: All	-
Is the hot water system shared by multiple dwellings?: All	No
Clothes Line: All	D Private outdoor clothesline
Clothes Dryer: All	A No clothes dryer
1.2 Thermal Performance Rating - Residential	16%
Score Contribution	This credit contributes 30.0% towards the category score.
Criteria	What is the average NatHERS rating?
Output	Average NATHERS Rating (Weighted)
Detached dwelling	6.6 Stars

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2.1 Greenhouse Gas Emissions		100%
Score Contribution	This credit contributes 10.0% towards the category score.	
Criteria	What is the % reduction in annual greenhouse gas emissions against the benchmark?	
Output	Reference Building with Reference Services (BCA only)	
Detached dwelling	18,160 kg CO2	
Output	Proposed Building with Proposed Services (Actual Building)	
Detached dwelling	6,950 kg CO2	
Output	% Reduction in GHG Emissions	
Detached dwelling	61 %	
2.2 Peak Demand		0%
Score Contribution	This credit contributes 5.0% towards the category score.	
Criteria	What is the % reduction in the instantaneous (peak-hour) demand against the benchmark?	
Output	Peak Thermal Cooling Load - Baseline	
Detached dwelling	39.2 kW	
Output	Peak Thermal Cooling Load - Proposed	
Detached dwelling	34.6 kW	
Output	Peak Thermal Cooling Load - % Reduction	
Detached dwelling	11 %	
2.3 Electricity Consumption		100%
Score Contribution	This credit contributes 10.0% towards the category score.	
Criteria	What is the % reduction in annual electricity consumption against the benchmark?	
Output	Reference	
Detached dwelling	15,833 kWh	
Output	Proposed	
Detached dwelling	5,342 kWh	
Output	Improvement	
Detached dwelling	66 %	
2.4 Gas Consumption		100%
Score Contribution	This credit contributes 10.0% towards the category score.	
Criteria	What is the % reduction in annual gas consumption against the benchmark?	
Output	Reference	
Detached dwelling	39,110 MJ	
Output	Proposed	
Detached dwelling	29,207 MJ	
Output	Improvement	
Detached dwelling	25 %	
2.5 Wood Consumption		N/A  Scoped Out
This credit was scoped out	None	

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3.2 Hot Water		100%
Score Contribution	This credit contributes 5.0% towards the category score.	
Criteria	What is the % reduction in annual energy consumption (gas and electricity) of the hot water system against the benchmark?	
Output	Reference	
Detached dwelling	10,864 kWh	
Output	Proposed	
Detached dwelling	8,209 kWh	
Output	Improvement	
Detached dwelling	24 %	
3.3 External Lighting		0%
Score Contribution	This credit contributes 5.0% towards the category score.	
Criteria	Is the external lighting controlled by a motion detector?	
Question	Criteria Achieved ?	
Detached dwelling	No	
3.4 Clothes Drying		100%
Score Contribution	This credit contributes 5.0% towards the category score.	
Criteria	What is the % reduction in annual energy consumption (gas and electricity) from a combination of clothes lines and efficient driers against the benchmark?	
Output	Reference	
Detached dwelling	1,467 kWh	
Output	Proposed	
Detached dwelling	293 kWh	
Output	Improvement	
Detached dwelling	80 %	
3.5 Internal Lighting - Residential Single Dwelling		100%
Score Contribution	This credit contributes 5.0% towards the category score.	
Criteria	Does the development achieve a maximum illumination power density of 4W/sqm or less?	
Question	Criteria Achieved?	
Detached dwelling	Yes	
4.4 Renewable Energy Systems - Other	N/A	⊗ Disabled
This credit is disabled	No other (non-solar PV) renewable energy is in use.	
4.5 Solar PV - Houses and Townhouses	N/A	⊗ Disabled
This credit is disabled	No solar PV renewable energy is in use.	

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Stormwater Overall contribution 14% Minimum required 100%

Which stormwater modelling are you using?:		Melbourne Water STORM tool
1.1 Stormwater Treatment		100%
Score Contribution	This credit contributes 100.0% towards the category score.	
Criteria	Has best practice stormwater management been demonstrated?	
Question	STORM score achieved	
Project	100	
Output	Min STORM Score	
Project	100	

IEQ Overall contribution 10% Minimum required 50%

2.2 Cross Flow Ventilation		100%
Score Contribution	This credit contributes 20.0% towards the category score.	
Criteria	Are all habitable rooms designed to achieve natural cross flow ventilation?	
Question	Criteria Achieved ?	
Detached dwelling	Yes	
3.1 Thermal comfort - Double Glazing		100%
Score Contribution	This credit contributes 40.0% towards the category score.	
Criteria	Is double glazing (or better) used to all habitable areas?	
Question	Criteria Achieved ?	
Detached dwelling	Yes	
3.2 Thermal Comfort - External Shading		0%
Score Contribution	This credit contributes 20.0% towards the category score.	
Criteria	Is appropriate external shading provided to east, west and north facing glazing?	
Question	Criteria Achieved ?	
Detached dwelling	No	
3.3 Thermal Comfort - Orientation		0%
Score Contribution	This credit contributes 20.0% towards the category score.	
Criteria	Are at least 50% of living areas orientated to the north?	
Question	Criteria Achieved ?	
Detached dwelling	No	

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Transport Overall contribution 4%

1.1 Bicycle Parking - Residential		100%
Score Contribution	This credit contributes 50.0% towards the category score.	
Criteria	How many secure and undercover bicycle spaces are there per dwelling for residents?	
Question	Bicycle Spaces Provided ?	
Detached dwelling	2	
Output	Min Bicycle Spaces Required	
Detached dwelling	2	
2.1 Electric Vehicle Infrastructure		0%
Score Contribution	This credit contributes 50.0% towards the category score.	
Criteria	Are facilities provided for the charging of electric vehicles?	
Question	Criteria Achieved ?	
Project	No	

Waste Overall contribution 0%

1.1 - Construction Waste - Building Re-Use		0%
Score Contribution	This credit contributes 50.0% towards the category score.	
Criteria	If the development is on a site that has been previously developed, has at least 30% of the existing building been re-used?	
Question	Criteria Achieved ?	
Project	No	
2.1 - Operational Waste - Food & Garden Waste		0%
Score Contribution	This credit contributes 50.0% towards the category score.	
Criteria	Are facilities provided for on-site management of food and garden waste?	
Question	Criteria Achieved ?	
Project	No	

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Urban Ecology Overall contribution 4%

2.1 Vegetation	100%
Score Contribution	This credit contributes 57.1% towards the category score.
Criteria	How much of the site is covered with vegetation, expressed as a percentage of the total site area?
Question	Percentage Achieved ?
Project	30 %
2.2 Green Roofs	0%
Score Contribution	This credit contributes 14.3% towards the category score.
Criteria	Does the development incorporate a green roof?
Question	Criteria Achieved ?
Project	No
2.3 Green Walls and Facades	0%
Score Contribution	This credit contributes 14.3% towards the category score.
Criteria	Does the development incorporate a green wall or green façade?
Question	Criteria Achieved ?
Project	No
3.1 Food Production - Residential	100%
Score Contribution	This credit contributes 14.3% towards the category score.
Criteria	What area of space per resident is dedicated to food production?
Question	Food Production Area
Detached dwelling	2.0 m ²
Output	Min Food Production Area
Detached dwelling	2 m ²

Innovation Overall contribution 0%

1.1 Innovation	0%
Score Contribution	This credit contributes 100.0% towards the category score.
Criteria	What percentage of the Innovation points have been claimed (10 points maximum)?

Disclaimer

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STORM Rating Report

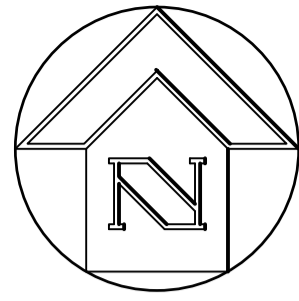
TransactionID: 1446938
Municipality: HUME
Rainfall Station: HUME
Address: Lot 254 (#14) Flinders Street

SUNBURY
VIC 3429

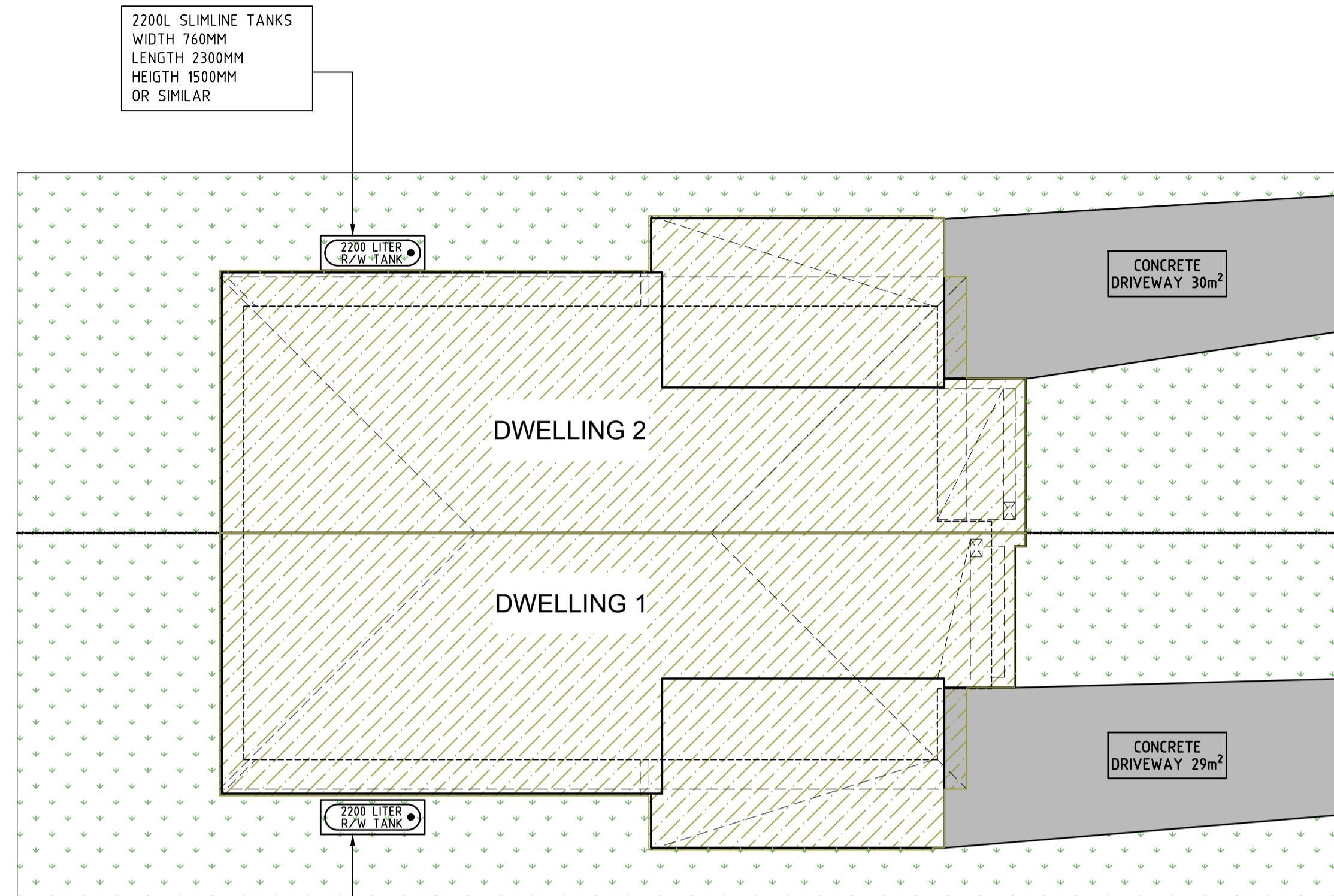
Assessor: CFS
Development Type: Residential - Dwelling
Allotment Site (m2): 468.00
STORM Rating %: 100

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Dwelling 1	105.00	Rainwater Tank	2,200.00	3	129.30	91.00
Dwelling 2	105.70	Rainwater Tank	2,000.00	3	126.00	89.50
D1 Driveway	29.00	None	0.00	0	0.00	0.00
D2 Driveway	30.00	None	0.00	0	0.00	0.00

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PROPOSED DUAL OCCUPANCY AT No. 14 FLINDERS STREET, SUNBURY



2200L SLIMLINE TANKS
WIDTH 760MM
LENGTH 2300MM
HEIGHT 1500MM
OR SIMILAR

2200L SLIMLINE TANKS
WIDTH 760MM
LENGTH 2300MM
HEIGHT 1500MM
OR SIMILAR

LEGEND

- SITE AREA - 468 m²
- ROOF AREA - TREATED - RAINWATER TANK
- CONCRETE DRIVEWAY AREA - UNTREATED
- PERMEABLE AREA



STORM Rating Report

TransactionID: 1447268
 Municipality: HUME
 Rainfall Station: HUME
 Address: No.14 FLINDERS STREET
 SUNBURY
 VIC
 VIC 3429
 Assessor: Matrix Engineering
 Development Type: Residential - Multiunit
 Allotment Site (m2): 468.00
 STORM Rating %: 101

Description	Impervious Area (m ²)	Treatment Type	Treatment Area/Volume (m ² or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Dwelling 1	107.00	Rainwater Tank	2,200.00	3	128.60	91.00
Dwelling 2	107.00	Rainwater Tank	2,200.00	3	128.60	91.00
Driveway 1	29.00	None	0.00	0	0.00	0.00
Driveway 2	30.00	None	0.00	0	0.00	0.00

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No.	Date	Revision	By	No.	Date	Revision	By
A	09.09.22	ISSUED FOR PERMIT	RB				

This Drawings and the Design shown HEREON is the property of Matrix Engineering Group and shall not be copied nor reproduced in part or in whole in any form without the written permission of Matrix Engineering Group and shall be used ONLY by the client of Matrix Engineering Group for the project for which it was provided.

MATRIX ENGINEERING GROUP
 Structural Civil Project Managers
 ph: 03 9331 7522
 fax: 03 9331 7322
 email: admin@matrixgroup.net.au

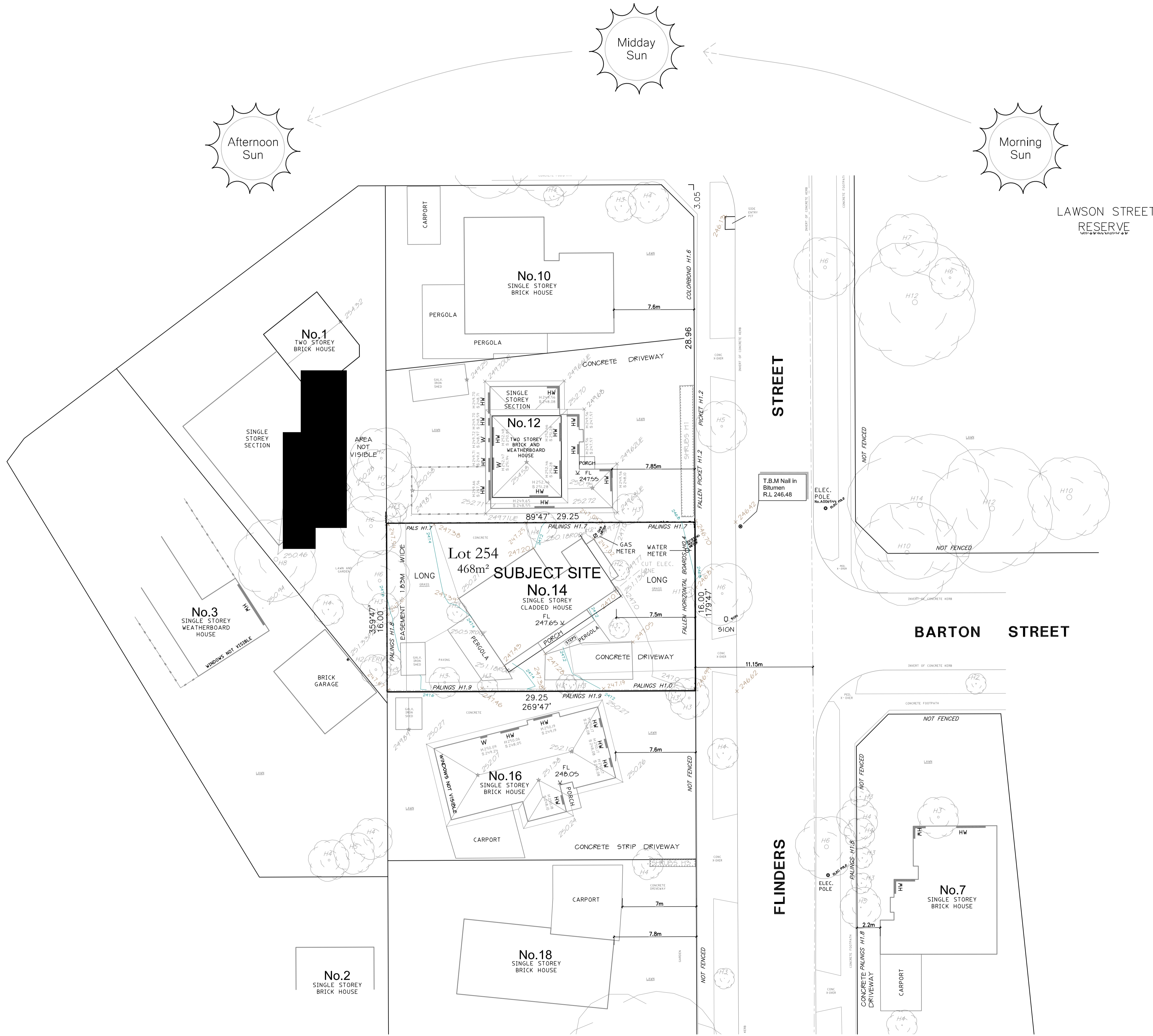
DRAWING
 WSUD PLAN

Designed by	CLIENT	Scale
FN	M - Dual Occ Solution	1:100
Drawn by	Ref - 734589/91	Job No.
HP		-
Checked by	PROJECT	Drawing No.
RB	PROPOSED DUAL OCCUPANCY AT LOT 254, No.14 FLINDERS STREET, SUNBURY	Rev.
Date	SEP 2022	C1 A

**Material Schedule:
No. 14 FLINDERS STREET SUNBURY**

SAMPLE	BRAND	COLOUR	DESC.
	SELKIRK	IRONSTONE	BRICKS
	DULUX	LINSEED	RENDER FIRST FLOOR
	DULUX	GREY PEBBLE	FAÇADE PROJECTION WINDOW
	AUSTRAL	SMOKED CURVED	ROOF TILES
	COLORBOND	MONUMNET	GUTTER, FASCIA & DOWNPIPES
	-	MONUMNET	ALUMINIUM WINDOWS
	DULUX	NATURAL GREY	PERIMETER PATH - CONCRETE
	DULUX	MONUMNET	FRONT DOOR ENTRY
	-	MONUMNET	NARROW PROFILE PANEL LIFT GARAGE DOOR
	-	LONDON STONE	COLOUR THROUGH CONCRETE
 OBSCURE GLAZING WITH FIXED OR RESTRICTED OPENINGS WITHIN 1.7M ABOVE FFL			

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Neighbourhood & Site Description

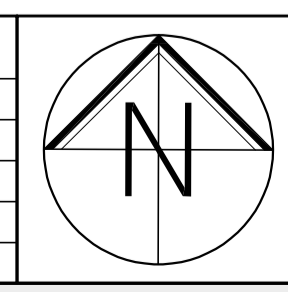
THE SUBJECT STREET AND THE SURROUNDING NEIGHBOURHOOD IS GENERALLY COMPRISED OF SINGLE & DOUBLE STOREY BRICK & WEATHERBOARD DWELLINGS WITH PITCHED TILED ROOFS.

NEW & RECENT DEVELOPMENT IS COMMON THROUGHOUT THE AREA WITH EVIDENCE NEARBY OF UNIT DEVELOPMENTS, FRONT & BACKS AND DUPLEX TYPE FORMS. BUILDING MATERIALS ARE MIXED WITH DEVELOPMENT FOSTERING CONTEMPORARY MATERIALS THAT COMPLIMENT NEIGHBOURHOOD CHARACTER.

FRONT FENCES ARE UBIQUITOUS & GENERALLY LOW FORM WITH PREDOMINANTLY BRICK CONSTRUCTION TYPE BUT ALSO INCLUDING TIMBER PALING, PICKET AND RENDERED.

- ← 400M TO FORREST STREET RESERVE
- ← 500M TO ALDI
- ← 500M TO CHEMIST WAREHOUSE SUNBURY GAP RD
- ← 600M TO MATERNAL & CHILD HEALTH CENTRE
- ← 500M TO SUNBURY UNITED SPORTING CLUB
- ← 700M TO SUNBURY DOWNS COLLEGE
- ← 800M TO HOLY TRINITY CATHOLIC PRIMARY SCHOOL
- ← 800M TO CALVARY GOONAWARRA (FORMERLY JAPARA AGED CARE)
- ← 1000M TO DOBELL AVENUE KINDERGARTEN

Revision	REVISION	DATE	AMENDMENTS	DRAWN
A	A	5.9.22	- RFI AMENDMENTS	SS
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Planning **DualOcc**
















Drawing **NEIGHBOURHOOD & SITE DESCRIPTION**
 Date 07/07/22 Melway 382 A5 Drawn A2Z

Project Number 734589/734591
 Scale 1:200 @ A1

Property Address LOT 254 (NO. 14) FLINDERS STREET, SUNBURY
 Applicant [Redacted]
 Sheet No. 1 OF 6

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Legend:

-   METER LOCATIONS
-  2M BY 2.5M CORNER SPLAY, 50% CLEAR OF VISUAL OBSTRUCTIONS, LESS THAN 900MM HIGH
-  RUBBISH / RECYCLE BINS
-  CLOTHESLINE
-  STEPPING STONES / PAVERS
-  DRIVEWAYS / HARD PAVING
-  FINISHED SURFACE LEVELS
-  EXISTING TREE
-  TREE REMOVED
-  PROPOSED CANOPY TREE
-  GRASSES / SMALL PLANTS
-  SMALL TREE / SHRUB
-  TREE PROTECTION ZONE
-  STRUCTURAL ROOT ZONE

Important Notes

- ALL NOMINATED OVERLOOKING WINDOWS WILL HAVE FIXED AND MANUFACTURED OBSCURE GLASS UP TO 1.7M ABOVE FFL IN ACCORDANCE WITH CLAUSE 55.04-6.
- ALL LEVELS ARE TO AHD.
- PROPOSED INTERNAL FENCING TO BE 1.8M HIGH TIMBER PALINGS UNLESS OTHERWISE NOTED.
- ALL BOUNDARY FENCES ARE EXISTING AND ARE TO REMAIN EXCEPT WHERE WALL PROPOSED ON BOUNDARY.
- ALL LANDSCAPING SHOWN IS CONCEPTUAL AND INDICATIVE ONLY.
- 6 CUBIC METERS OF STORAGE IS PROVIDED WITHIN GARDEN SHED UNLESS OTHERWISE NOTED.

Design Response

NEIGHBOURHOOD:
THE PROPOSED DEVELOPMENT IS CONSIDERED APPROPRIATE AND SUITABLE FOR THE SUBJECT SITE DUE TO THE AREA HAVING SIGNIFICANT SOCIAL, COMMERCIAL AND INDUSTRIAL INFRASTRUCTURE LOCATED WITHIN CLOSE PROXIMITY WITH EVIDENCE OF SIMILAR DEVELOPMENTS IN THE SUBJECT, ADJOINING AND NEARBY STREETS.

PROPOSAL:
THE PROPOSAL IS CONSISTENT WITH THE PRECEDENCE SET BY RECENT DEVELOPMENTS, THE BUILDING MATERIALS, FACADE, SCALE & AESTHETICS PROVIDE A CONTEMPORARY FEEL THAT COMPLIMENTS THE NEIGHBOURHOOD CHARACTER.

FORM:
BUILDING HEIGHTS AND SETBACKS ARE SENSITIVE TO THE EMERGING NEIGHBOURHOOD CHARACTER. RECESSIVE FIRST FLOOR & GARAGES CONTRIBUTE TO A WELL ARTICULATED FACADE & VISUALLY AESTHETIC STREET PRESENCE.

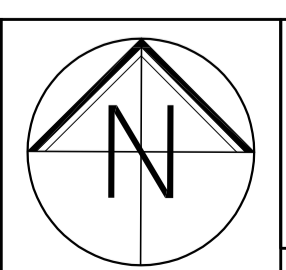
AMENITY:
GENEROUS PRIVATE OPEN SPACE & WELL DEFINED S.P.O.S. PROVIDE ABUNDANT LANDSCAPING OPPORTUNITY, INCLUDING SPACE TO YIELD MATURING CANOPY TREES.

PRIVACY:
PRIVACY IS GAINED BY THE UTILIZATION OF OBSCURE GLAZING & SCREENING (WHERE APPLICABLE) AND APPROPRIATELY SITUATED AND SIZED WINDOWS.



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Revision	REVISION	DATE	AMENDMENTS	DRAWN
A	A	5.9.22	- RFI AMENDMENTS	SS
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Planning

DualOcc

Drawing DESIGN RESPONSE
Date 07/07/22 Melway 382 A5 Drawn A22

Project Number 734589/734591
Scale 1:200 @ A1

Property Address LOT 254 (NO. 14) FLINDERS STREET, SUNBURY
Applicant
Sheet No. 2 OF 6

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Legend:

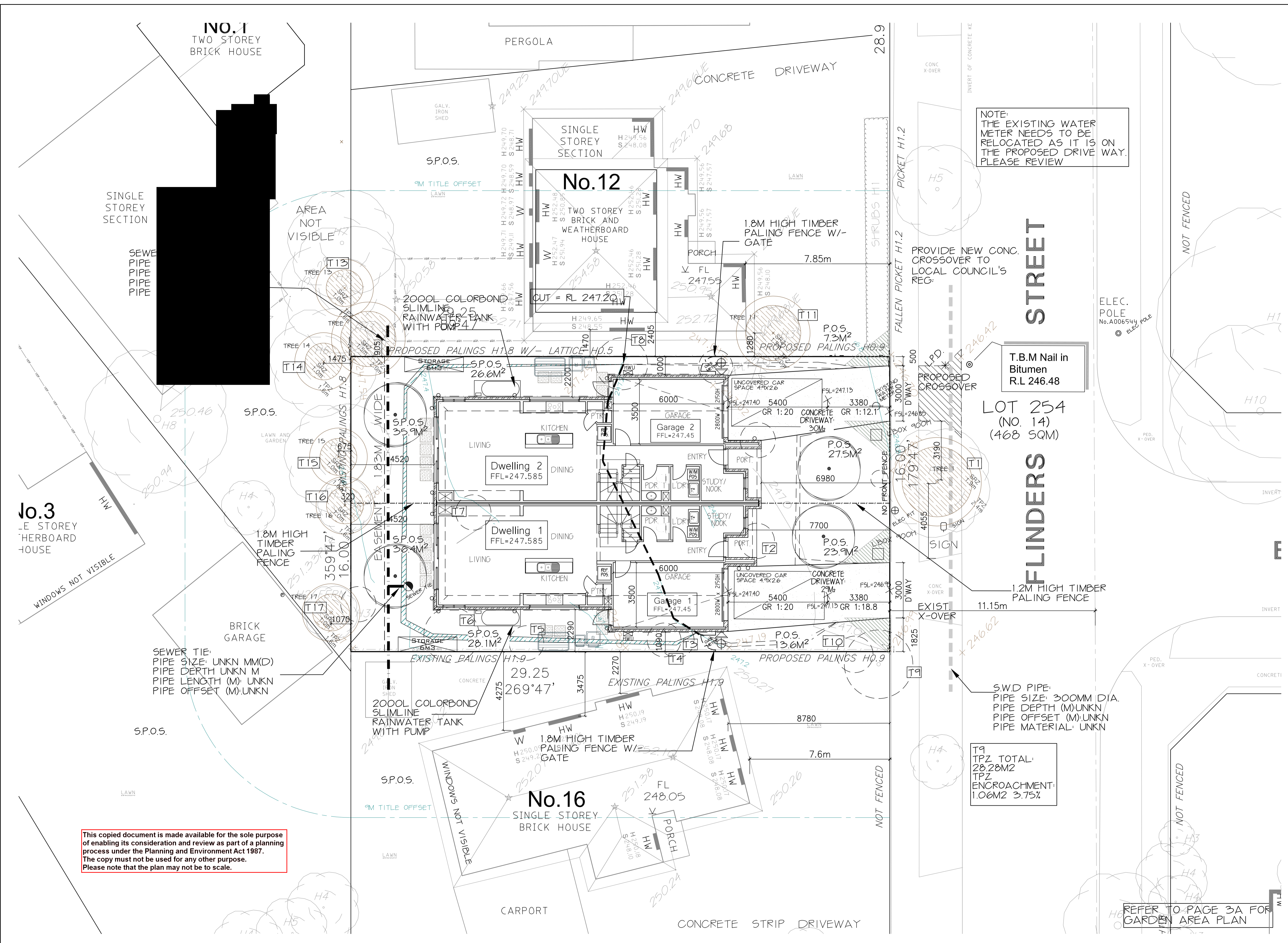
- WATER METER
- METER BOX
- GAS METER
- METER LOCATIONS
- 2M BY 25M CORNER SPLAY, 50% CLEAR OF VISUAL OBSTRUCTIONS, LESS THAN 400MM HIGH
- SOLAR HOT WATER SYSTEM
- RUBBISH / RECYCLE BINS
- CLOTHESLINE
- STEPPING STONES / PAVERS
- DRIVEWAYS / HARD PAVING
- FINISHED SURFACE LEVELS
- EXISTING TREE
- TREE REMOVED
- PROPOSED CANOPY TREE
- GRASSES / SMALL PLANTS
- SMALL TREE / SHRUB
- TREE PROTECTION ZONE
- STRUCTURAL ROOT ZONE

Important Notes

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Schedule of Areas

No. of Proposed Dwellings	2	
Area Analysis		
Site Area	468 m ²	
Site Coverage	210.7 m ²	45.0%
Driveway	59.0 m ²	12.6%
Permeability Analysis		
Permeable Area	198.3 m ²	42.4%
Garden Area	191.9 m ²	41.0%
Dwelling 1		
Ground Floor (Building Footprint)	105.0 m ²	22.4%
First Floor	80.8 m ²	
Bedrooms	4	
Allocated Car Parking	2	
S.P.O.S. & P.O.S.	102 m ²	
Dwelling 2		
Ground Floor (Building Footprint)	105.7 m ²	22.6%
First Floor	77.0 m ²	
Bedrooms	4	
Allocated Car Parking	2	
S.P.O.S. & P.O.S.	90	



NOTE: THE EXISTING WATER METER NEEDS TO BE RELOCATED AS IT IS ON THE PROPOSED DRIVE WAY. PLEASE REVIEW

PROVIDE NEW CONC. CROSSOVER TO LOCAL COUNCIL'S REG.

T.B.M Nail in Bitumen R.L 246.48

LOT 254 (NO. 14) (468 SQM)

1.2M HIGH TIMBER PALING FENCE

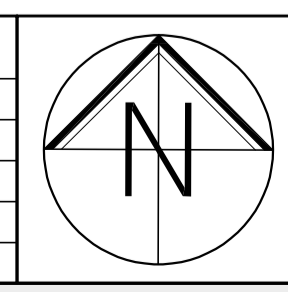
S.W.D PIPE: PIPE SIZE: 300MM DIA. PIPE DEPTH (M): UNKN PIPE OFFSET (M): UNKN PIPE MATERIAL: UNKN

T9 TPZ TOTAL: 28.28M² TPZ ENCROACHMENT: 1.06M² 3.75%

REFER TO PAGE 3A FOR GARDEN AREA PLAN

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Revision	REVISION	DATE	AMENDMENTS	DRAWN
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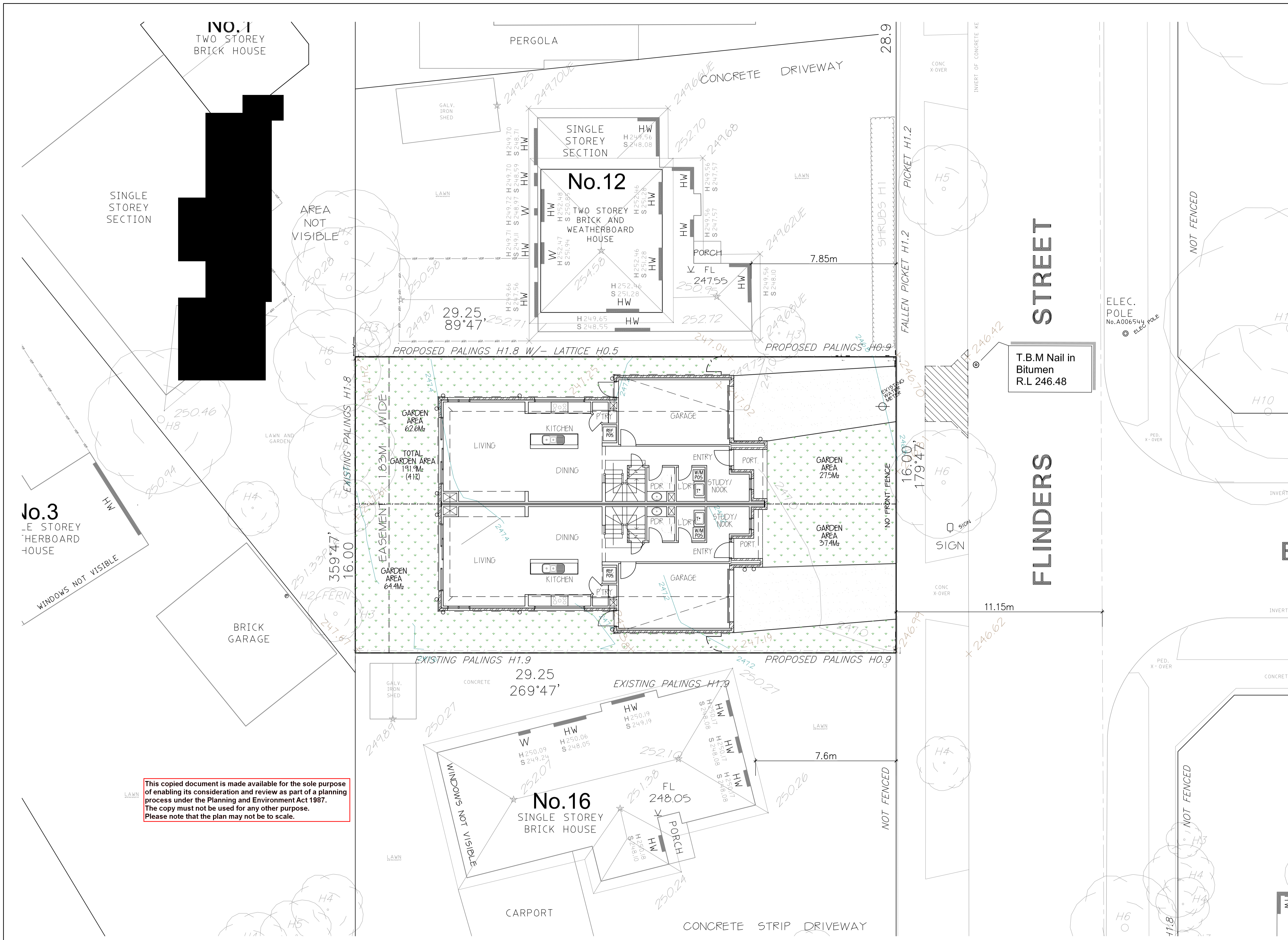
Planning

Drawing: GROUND FLOOR & SITE PLAN
 Date: 07/07/22
 Melway 382 A5
 Drawn: A22

Project Number: 734589/734591
 Scale: 1:100 @ A1

Property Address: LOT 254 (NO. 14) FLINDERS STREET, SUNBURY
 Applicant: [Redacted]
 Sheet No. 3 OF 6

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Legend:

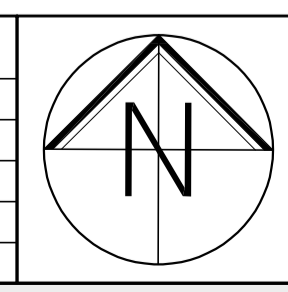
- WATER METER
- METER BOX
- GAS METER
- METER LOCATIONS
- 2M BY 25M CORNER SPLAY, 50% CLEAR OF VISUAL OBSTRUCTIONS, LESS THAN 400MM HIGH
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Important Notes

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A	A	5.9.22	- RFI AMENDMENTS	SS
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Planning









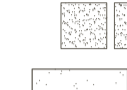




Drawing
GARDEN AREA PLAN
Date 07/07/22 Melway 382 A5 Drawn A2Z

Project Number
734589/734591
Scale
1:100 @ A1

Property Address
LOT 254 (NO. 14) FLINDERS STREET, SUNBURY
Applicant
Sheet No.
3A OF 6

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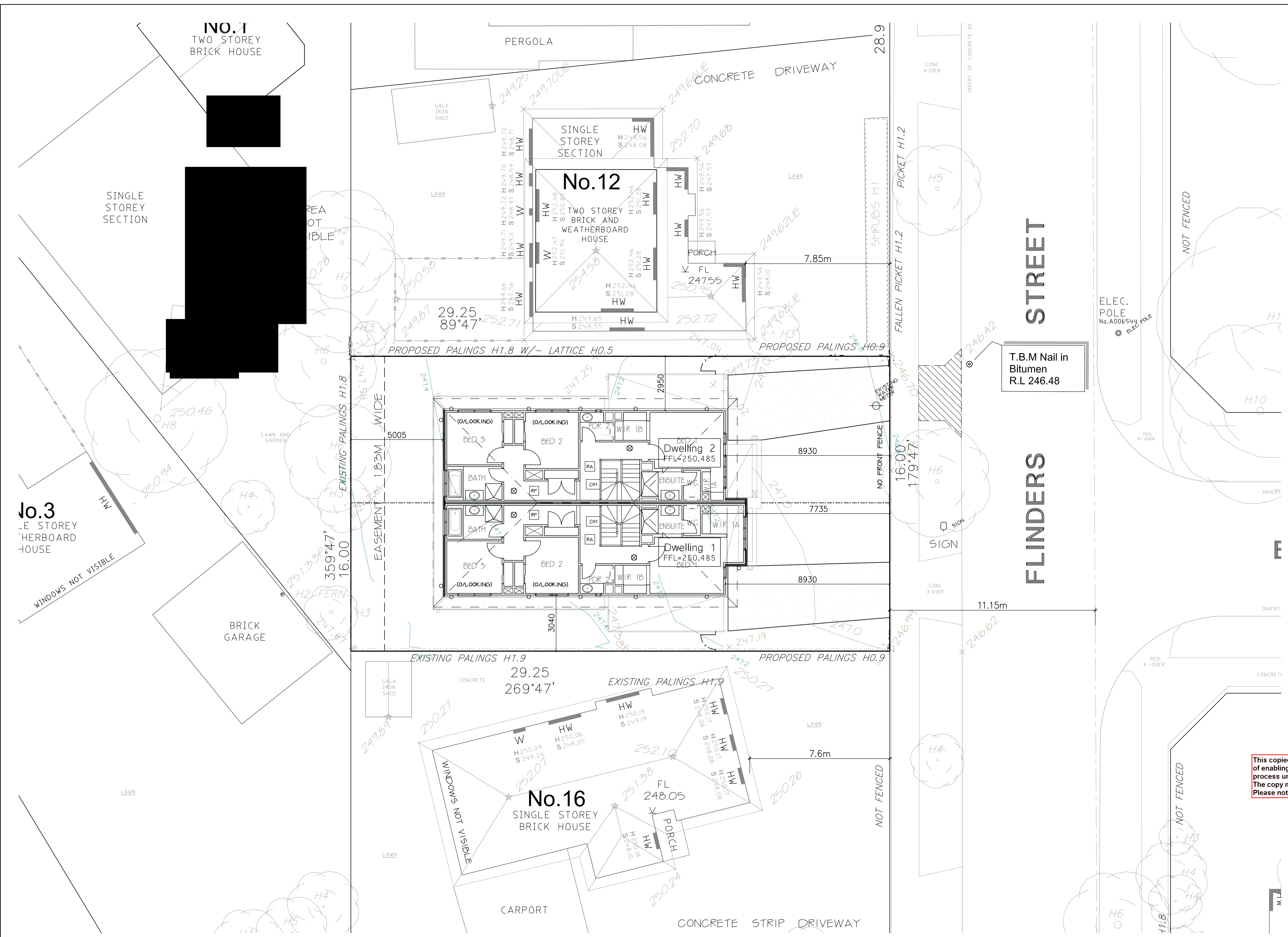
Legend:

-    METER LOCATIONS
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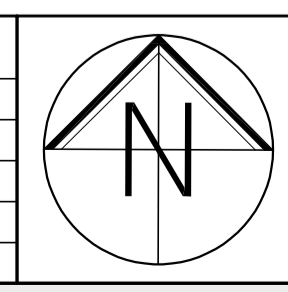
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Revision	REVISION	DATE	AMENDMENTS	DRAWN
A	A	5.9.22	- RFI AMENDMENTS	SS
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Planning



Drawing FIRST FLOOR & SITE PLAN
 Date 07/07/22 Melway 382 A5 Drawn A2Z

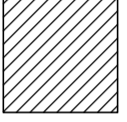
Project Number 734589/734591
 Scale 1:100 @ A1

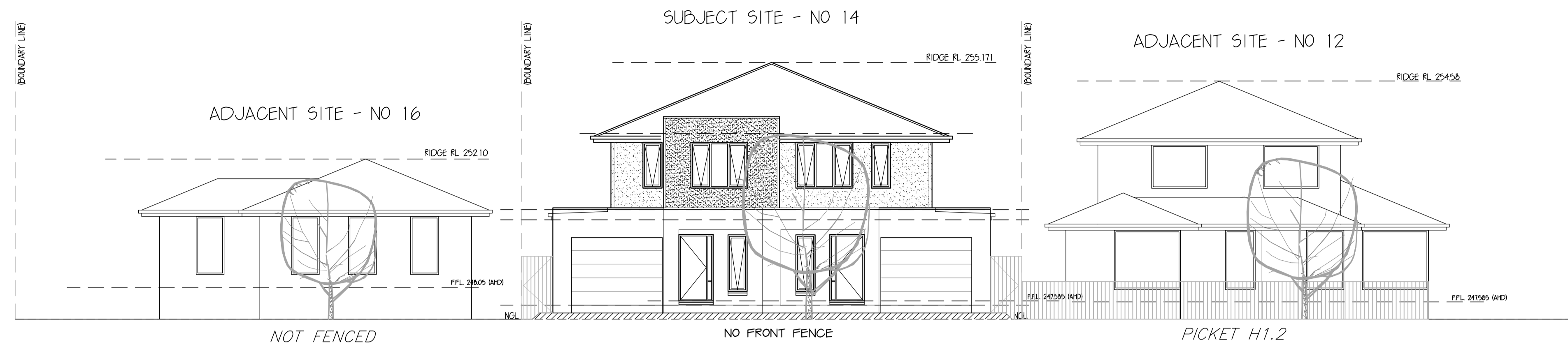
Property Address LOT 254 (NO. 14) FLINDERS STREET, SUNBURY
 Applicant [Redacted]
 Sheet No. 4 OF 6

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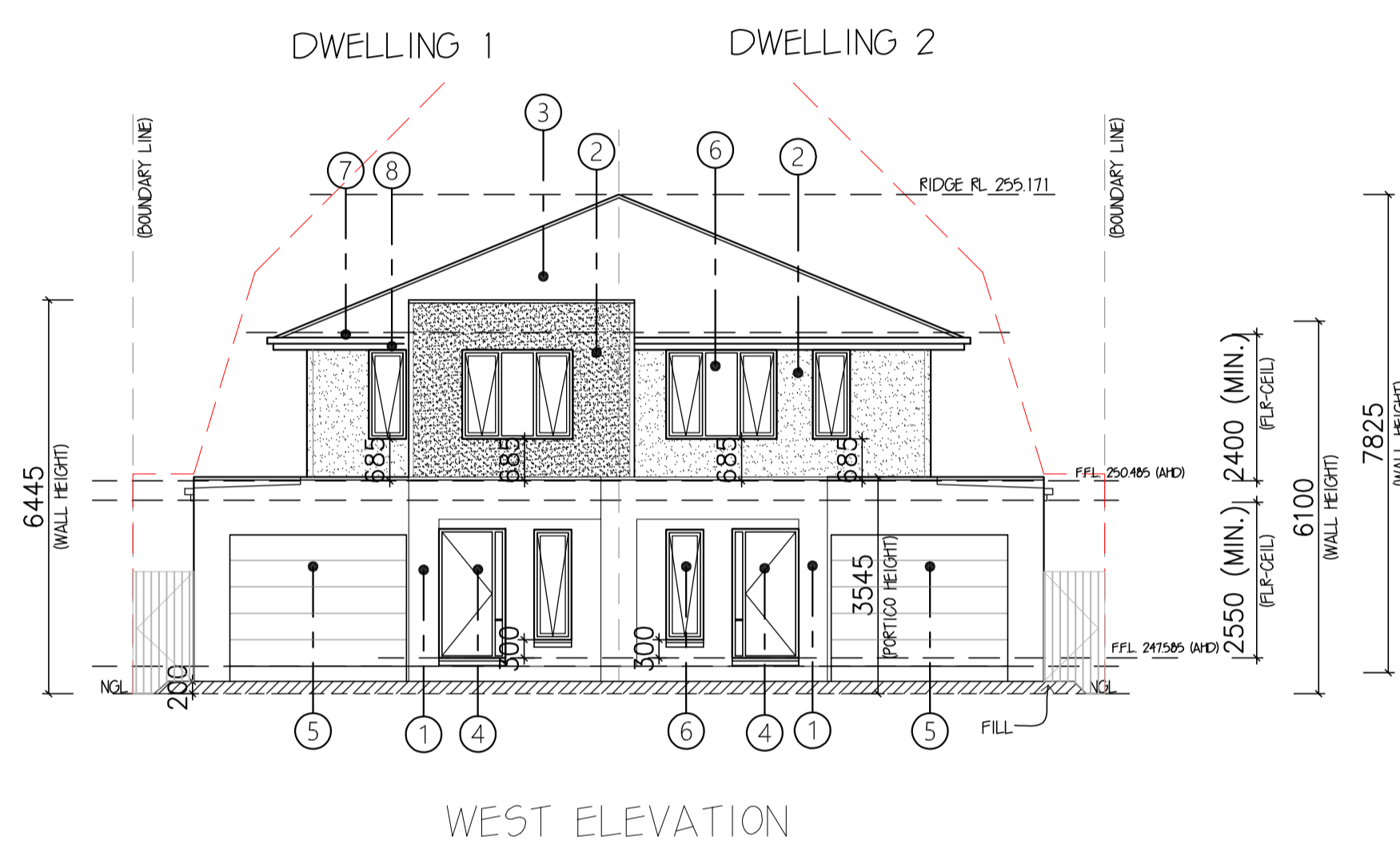
Material Schedule:

- ① GENERAL BRICK WALL MATERIAL
- ② RENDERED WALL FINISH
- ③ PITCHED ROOF CLADDING
- ④ FRONT ENTRY DOOR
- ⑤ PANEL LIFT GARAGE DOOR
- ⑥ ALUMINIUM WINDOW FRAMES
- ⑦ GUTTER
- ⑧ FASCIA

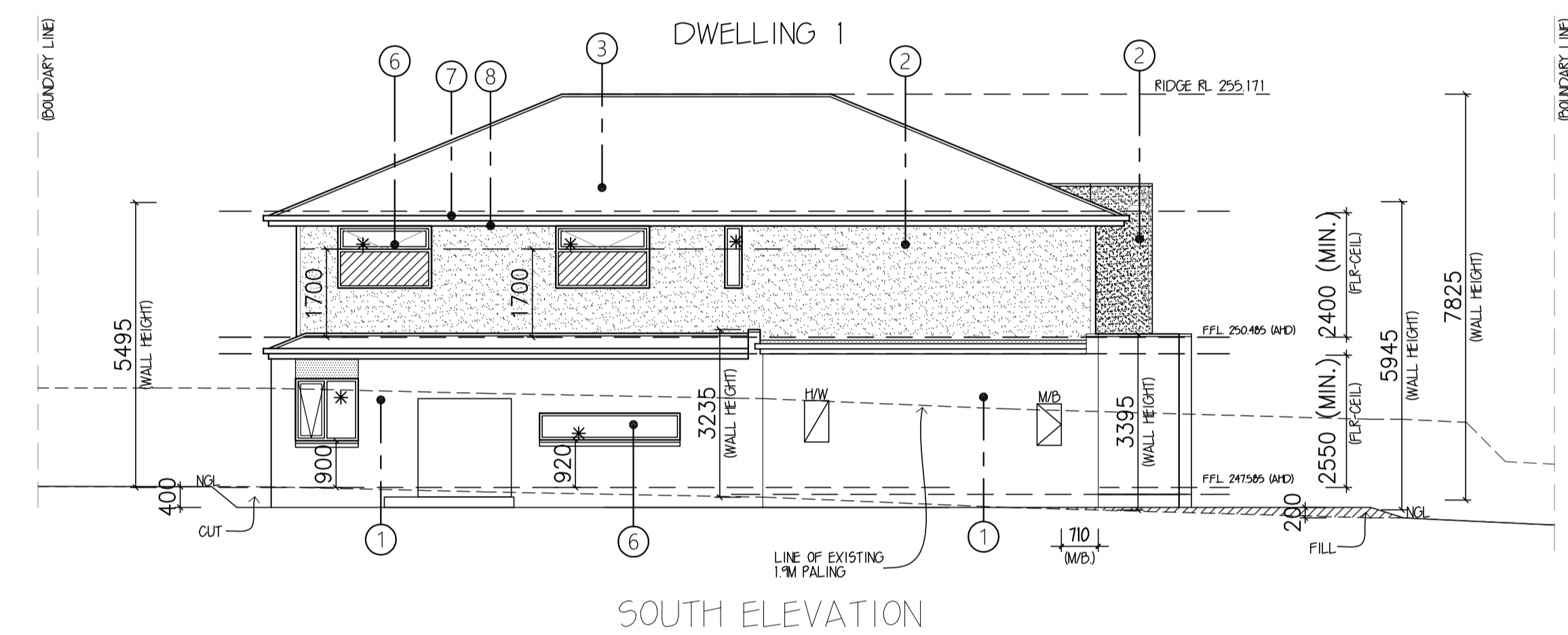
 FIXED OBSCURE GLAZING WITHIN 1.7M ABOVE FFL COMPLIANT WITH STANDARD B22



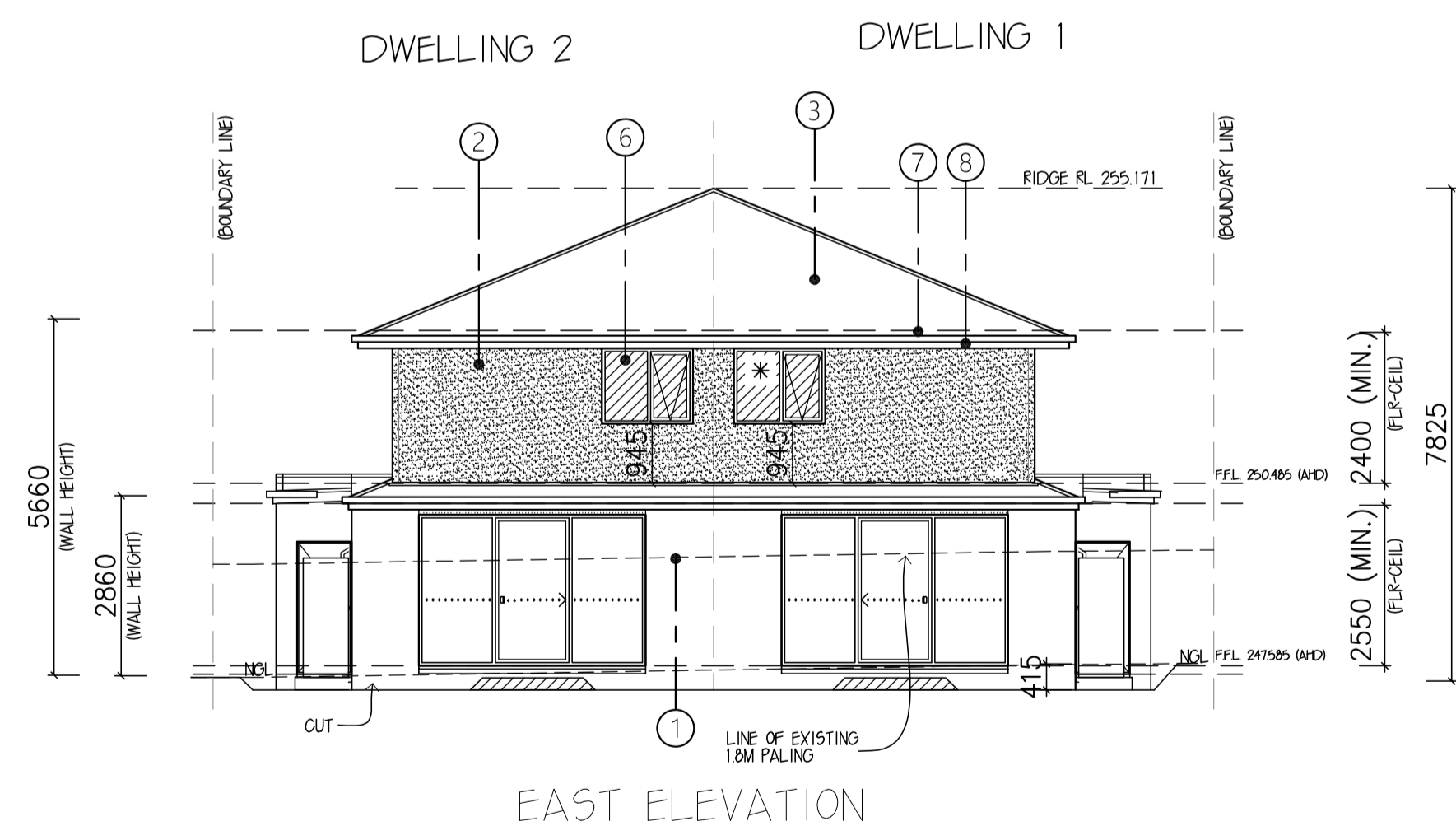
STREETSCAPE
(FLINDERS ST)



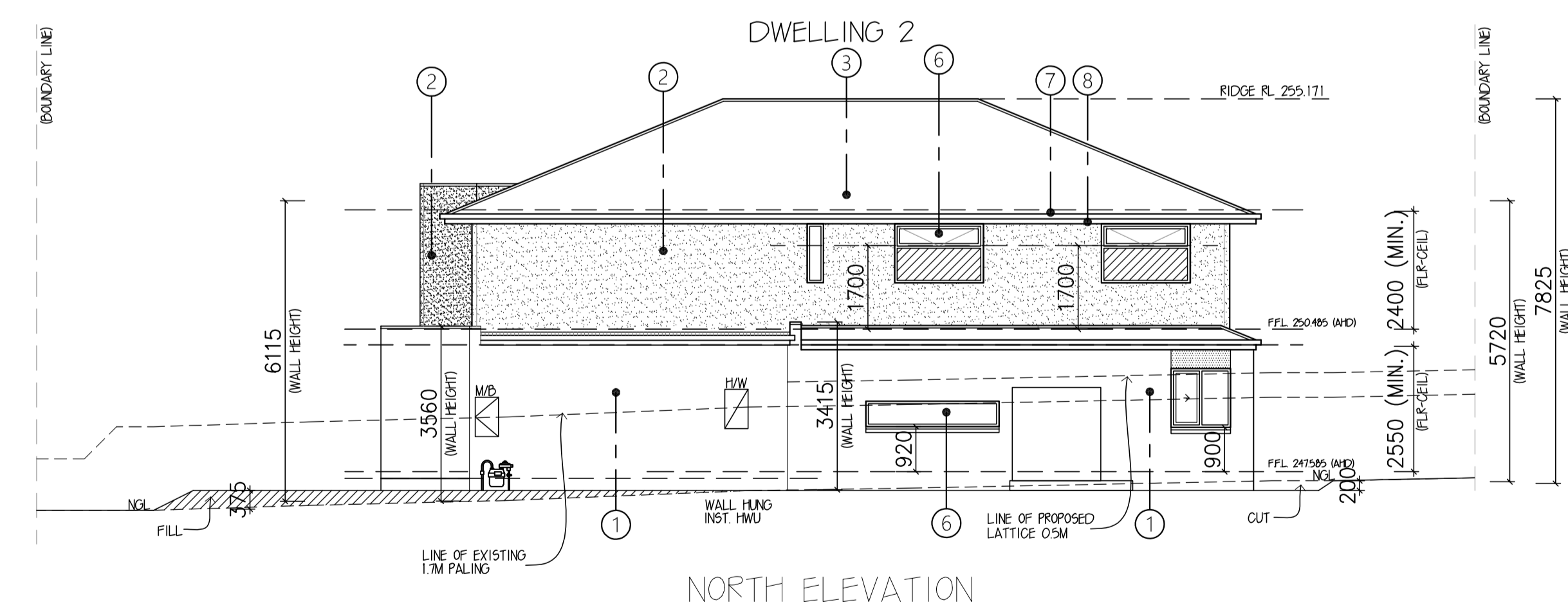
WEST ELEVATION



SOUTH ELEVATION



EAST ELEVATION



NORTH ELEVATION

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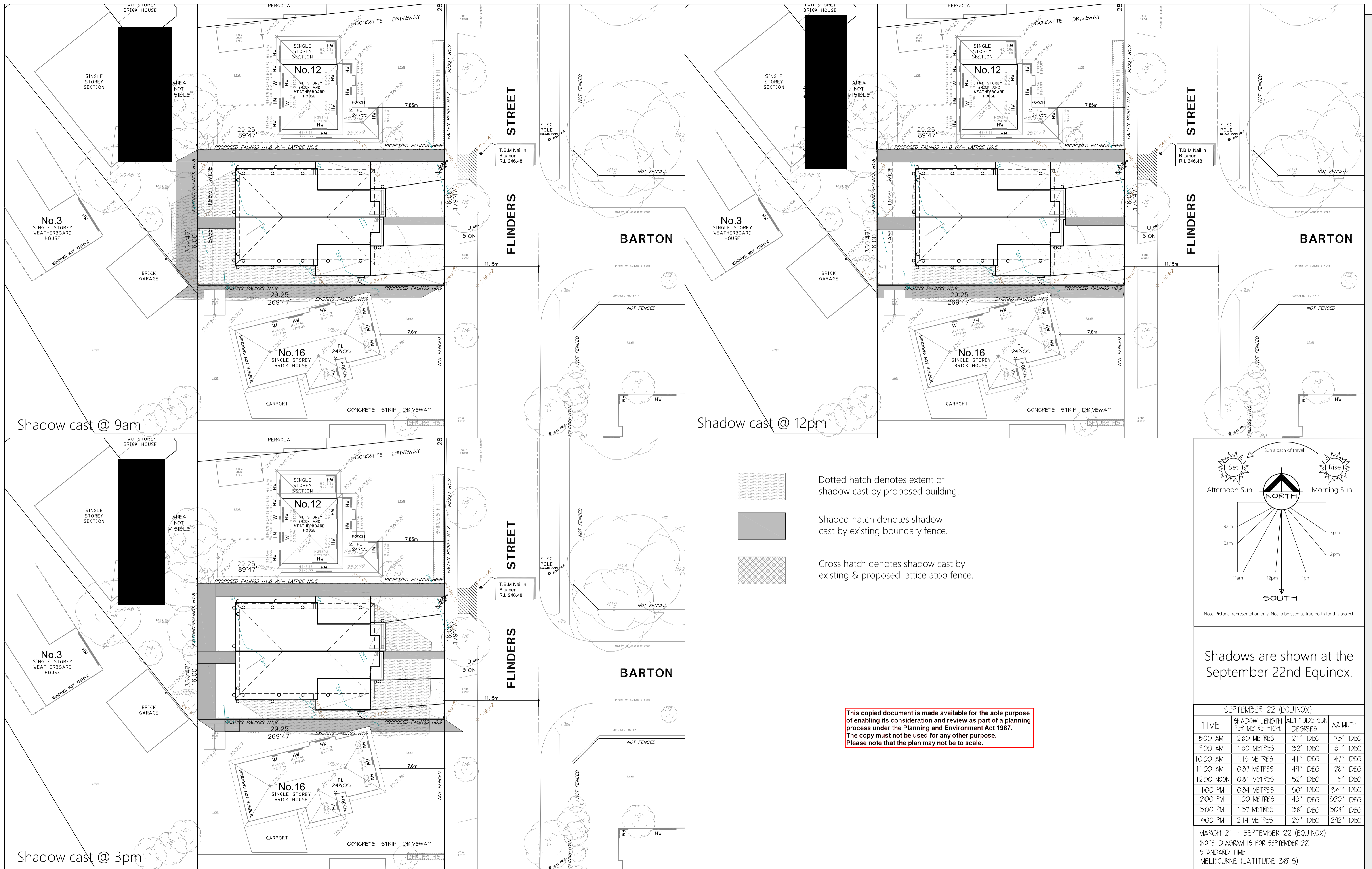
Revision	REVISION	DATE	AMENDMENTS	DRAWN
A	A	5.9.22	- RFI AMENDMENTS	SS
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Planning

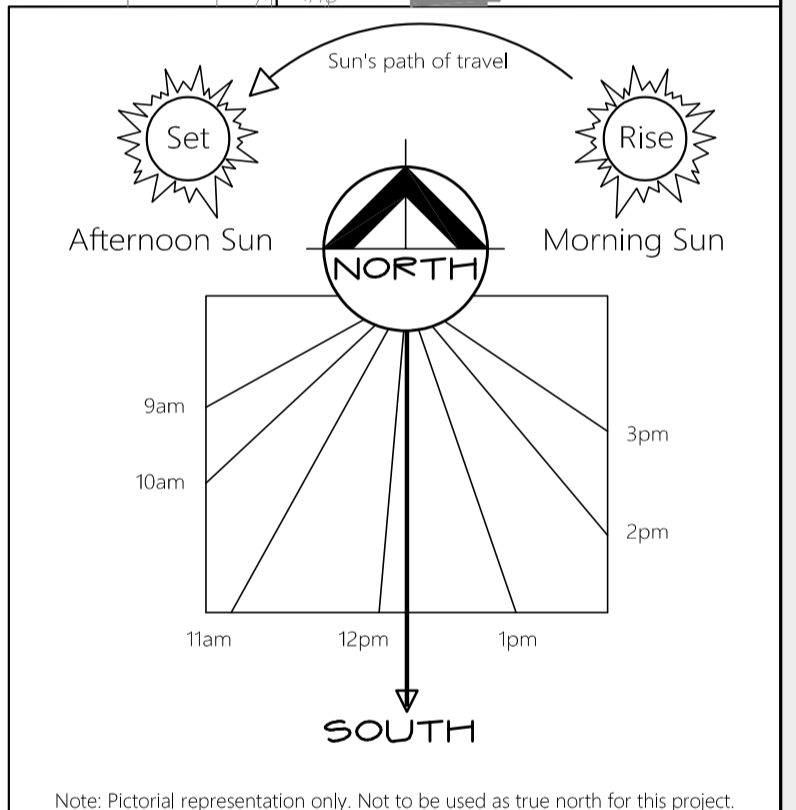
DualOcc

Drawing	ELEVATIONS		Project Number	Property Address	
Date	Melway	Drawn	734589/734591	LOT 254 (NO. 14) FLINDERS STREET, SUNBURY	
07/07/22	382 A5	A22	Scale	Applicant	Sheet No.
			1:100 @ A1		5 OF 6

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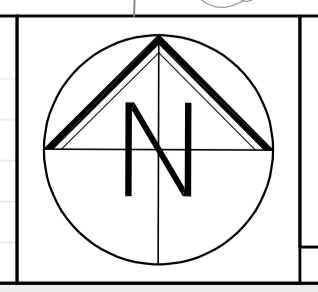


Shadows are shown at the September 22nd Equinox.

SEPTEMBER 22 (EQUINOX)			
TIME	SHADOW LENGTH PER METRE HIGH	ALTITUDE SUN DEGREES	AZIMUTH
8:00 AM	2.60 METRES	21° DEG.	73° DEG.
9:00 AM	1.60 METRES	32° DEG.	61° DEG.
10:00 AM	1.15 METRES	41° DEG.	47° DEG.
11:00 AM	0.87 METRES	49° DEG.	28° DEG.
12:00 NOON	0.81 METRES	52° DEG.	5° DEG.
1:00 PM	0.84 METRES	50° DEG.	341° DEG.
2:00 PM	1.00 METRES	45° DEG.	320° DEG.
3:00 PM	1.37 METRES	36° DEG.	304° DEG.
4:00 PM	2.14 METRES	25° DEG.	292° DEG.

MARCH 21 - SEPTEMBER 22 (EQUINOX)
 (NOTE: DIAGRAM IS FOR SEPTEMBER 22)
 STANDARD TIME
 MELBOURNE (LATITUDE 38° S)

Revision	REVISION	DATE	AMENDMENTS	DRAWN
A	A	5-9-22	RFI AMENDMENTS	96



Planning



Drawing SHADOW PLANS
 PRINT DATE: 5-SEP-22
 Date 07/07/22 Melway 382 A5 Drawn A2Z

Project Number 734589/734591
 Scale 1:200 @ A1

Property Address LOT 254 (NO. 14) FLINDERS STREET, SUNBURY
 Applicant
 Sheet No. 6 OF 6

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