

Application for Planning Permit

Planning Enquiries
 Phone: 03 9205 2200
 Web: <http://www.hume.vic.gov.au>

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#).

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) are mandatory and must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet.

Clear Form

The Land i ① Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 7	St. Name: HALL COURT
Suburb/Locality: MEADOW HEIGHTS		Postcode: 3048

Formal Land Description *

Complete either A or B.

⚠ This information can be found on the certificate of title.

A Lodged Plan Title Plan Plan of Subdivision

OR

B

If this application relates to more than one address, please click this button and enter relevant details.

Add Address

The Proposal ⚠ You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

② For what use, development or other matter do you require a permit? i

If you need help about the proposal, read:

[How to Complete the Application for Planning Permit Form](#)

Select the focus of this application and describe below: ▼

PROPOSED 2 DOUBLE STOREY DWELLINGS AT REAR OF THE EXISTING DWELLING.

Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

③ Estimated cost of development for which the permit is required i

⚠ You may be required to verify this estimate. Insert '0' if no development is proposed.


If the application is for land within **metropolitan Melbourne** (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy **must** be paid to the State Revenue Office and a current levy certificate **must** be submitted with the application. Visit www.sro.vic.gov.au for information.

Existing Conditions

④ Describe how the land is used and developed now *

eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

A SINGLE STOREY RESIDENCE

 Provide a plan of the existing conditions. Photos are also helpful.


Title Information

⑤ Encumbrances on title *

If you need help about the title, read:
[How to complete the Application for Planning Permit form](#)

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes. (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive covenants.)

Applicant and Owner Details

⑥ Provide details of the applicant and Applicant *

The person who wants the permit.

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

*Please provide at least one contact phone number **

Owner *


The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.




Declaration 

7 This form must be signed by the applicant *

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature: 

Need help with the Application?

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#)
General information about the planning process is available at www.delwp.vic.gov.au/planning

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

8 Has there been a pre-application meeting with a Council planning officer?


No Yes


Checklist

9 Have you:

Filled in the form completely?

Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 Provided all necessary supporting information and documents?

A full, current copy of title information for each individual parcel of land forming the subject site

A plan of existing conditions.

Plans showing the layout and details of the proposal

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).

If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.

Completed the relevant Council planning permit checklist?

Signed the declaration (section 7)?

Lodgement

Lodge the completed and signed form, the fee payment and all documents with:

Hume City Council
PO Box 119 Dallas VIC 3047
Pascoe Vale Road Broadmeadows VIC 3047

Contact information:

Telephone: 61 03 9205 2200

Email: email@hume.vic.gov.au

DX: 94718

Translation: 03 9205 2200 for connection to Hume Link's multilingual telephone information service

Deliver application in person, by fax, or by post:

Print Form

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address. This is usually your local council but can sometimes be the Minister for Planning or another body.

Save Form:

Save Form To You

You can save this application form to your computer to complete or review later or email it to others to complete relevant sections.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 09770 FOLIO 388

Security no : 124100195682D
Produced 09/09/2022 10:54 AM

LAND DESCRIPTION

Lot 1068 on Plan of Subdivision 205989Q.
PARENT TITLE Volume 09719 Folio 280
Created by instrument LP205989Q 23/09/1987

REGISTERED PROPRIETOR



ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT (as to whole or part of the land) in instrument N572559Y

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP205989Q FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 7 HALL COURT MEADOW HEIGHTS VIC 3048

DOCUMENT END



Imaged Document Cover Sheet

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Document Type	Plan
Document Identification	LP205989Q
Number of Pages (excluding this cover sheet)	9
Document Assembled	09/09/2022 10:56

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LP205989 Q
EDITION 3
 PARISH / TOWNSHIP / CHART
 21

APPROVED

NOTATIONS

LAND SUBJECT TO EASEMENT
 NIL

LAND APPROPRIATED OR SET APART
 E-1, E-3, E-4 DRAINAGE AND SEWERAGE.
 USE OF THE STATE ELECTRICITY COMMISSION
 OF VICTORIA FOR POWERLINE PURPOSES
 PURSUANT TO SECTION 105B OF THE S.E.C
 ACT 1986
 E-4, E-5 USE OF THE M.M.B.W FOR PIPELINE
 PURPOSES PURSUANT TO SEC.25B BA
 OF THE M.M.B.W ACT

LOTS ONE TO 1064(B.1) HAVE BEEN OMITTED FROM THIS
 PLAN.

ROADS WITHIN THE THICK CONTINUOUS LINES
 FOR WAY, DRAINAGE SEWERAGE AND GAS SUPPLY
 PURPOSES, AND ELECTRICITY.
 OTHER NOTATIONS
 TANGENT POINTS SHOWN THUS

TO BE COMPLETED WHERE APPLICABLE
 THIS SURVEY HAS BEEN CONNECTED TO PERMANENT MARKS
 NOS:
 IN PROCLAIMED SURVEY AREA NO.

THE LAND TO BE SUBDIVIDED IS SHOWN ENCLOSED
 BY THICK LINES
 TITLE REF: V9719 F280
 LAST PLAN REF: LP 205469T (LOT ONE)

PLAN OF SUBDIVISION

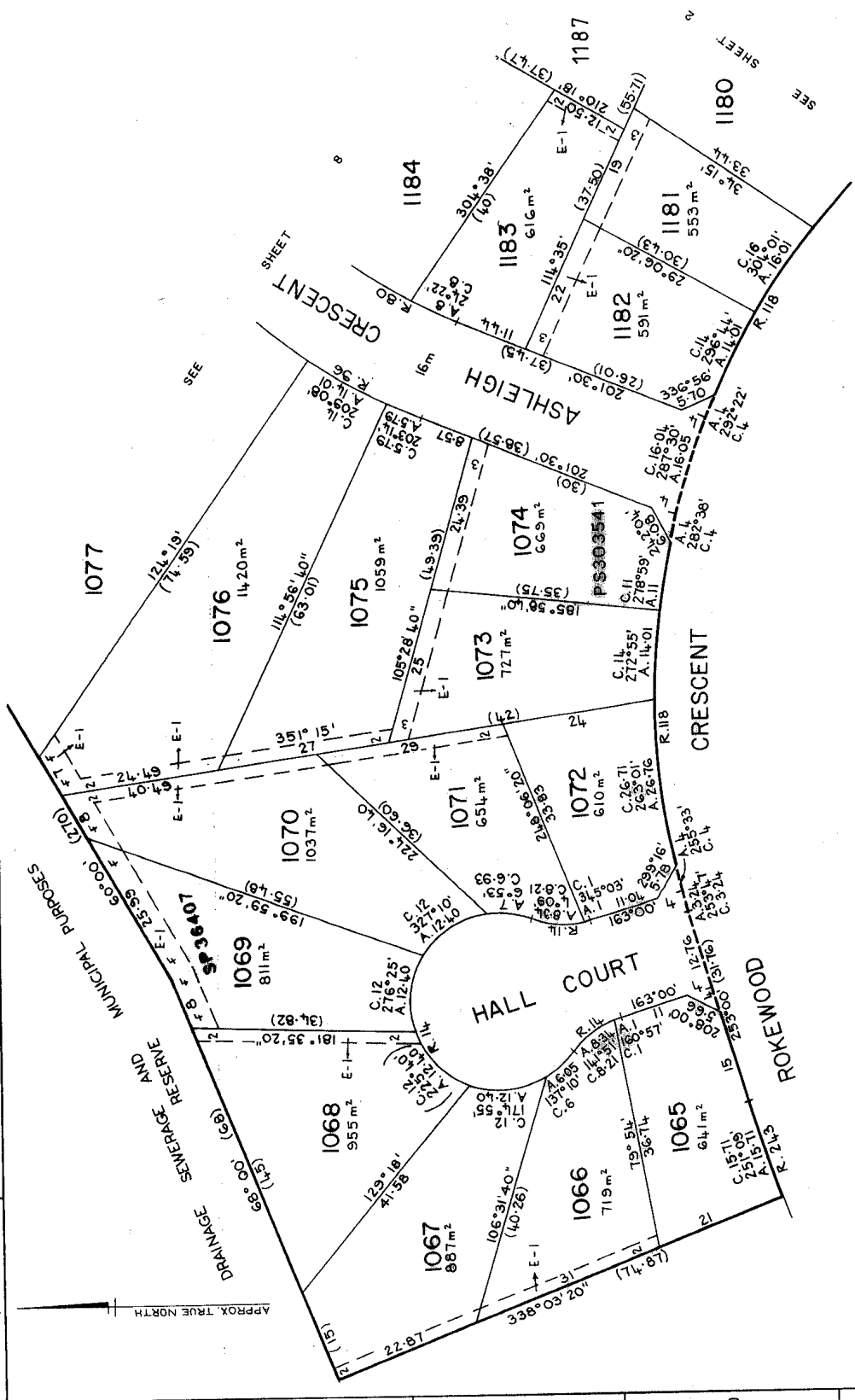
COUNTY **BOURKE**
 PARISH **YUROKE**
CROWN ALLOTMENT 6 (PART)
SECTION 4

NUMBER OF SHEETS IN PLAN : 9
 NUMBER OF THIS SHEET

SCALE
 0 10 20
 LENGTHS ARE IN METRES
 ORIGINAL SHEET SIZE
 1:500
 A2

LP205989Q

VICTORIA



OFFICE USE ONLY

CERTIFICATE OF MUNICIPAL CLERK
 MUNICIPALITY, CITY OF BROADMEADOWS
 COUNCIL REF.

LIST OF MODIFICATIONS

LAND MODIFICATION	DEALING No:	ART	NEW EDN.
LOT 1150	PS 331664 A	2	2
LOTS 1131+1132	PC 356252	3	3

0686502P7

CERTIFICATION BY SURVEYOR

PEYTON BREMMER PTY. LTD.
 CONSULTING LAND SURVEYORS
 353 Plenty Road, Preston, 3072. Phone 478 4833
 PLAN C. o.c.

SURVEYORS REF.
4696

PLAN APPROVED
 AT
 ON
23-SEP-87

(ASSISTANT) REGISTRAR OF TITLES

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LP 205989Q

PLAN OF SUBDIVISION		NUMBER OF SHEETS IN PLAN : 9	ORIGINAL SHEET SIZE : A2
COUNTY : BOURKE	PARISH : YUROKE	NUMBER OF THIS SHEET : 2	SCALE : 1:500
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SECTION 4		OFFICE USE ONLY	

LP 205989Q

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SIGNATURE OF SURVEYOR

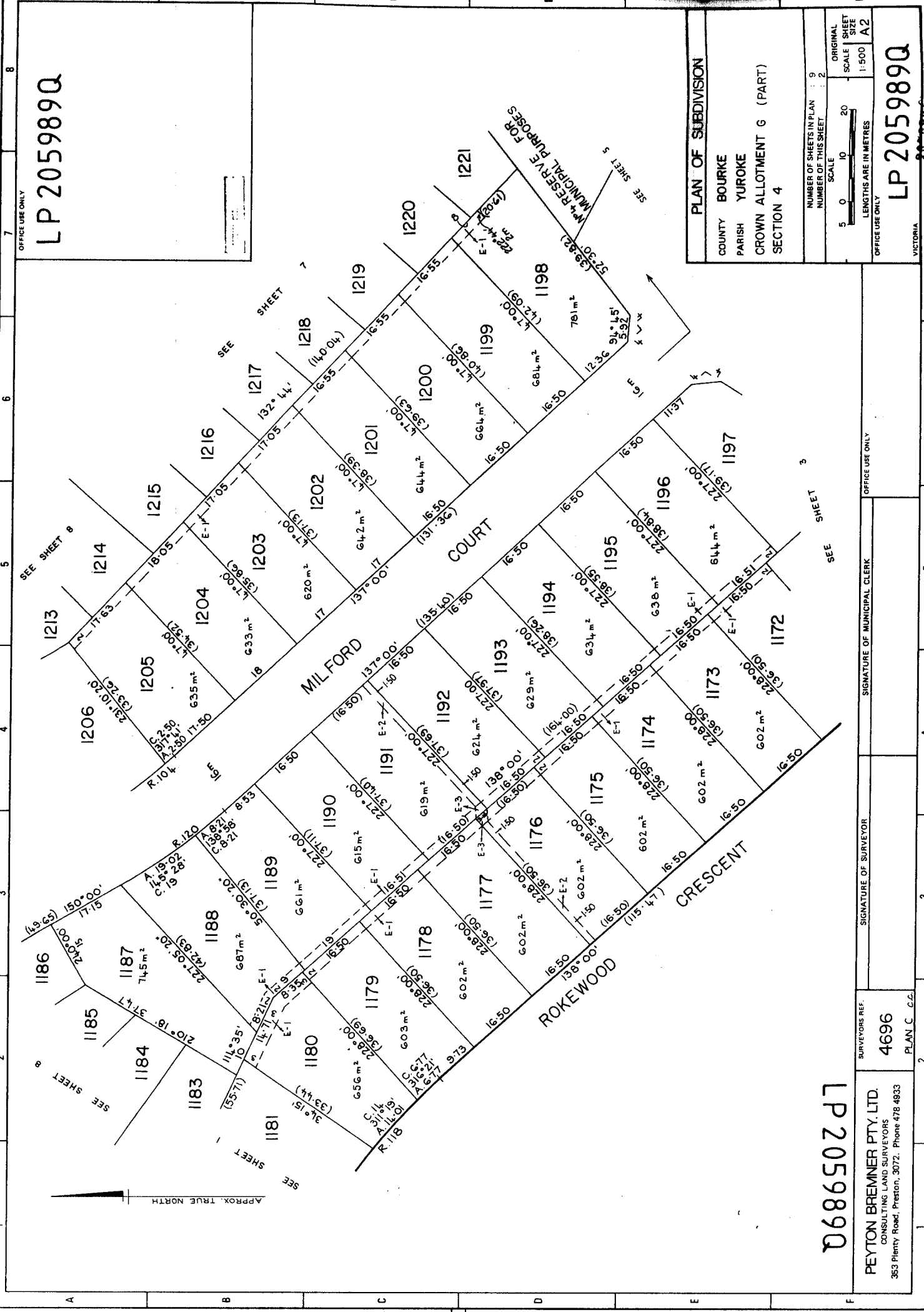
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PLAN C 22

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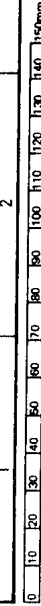


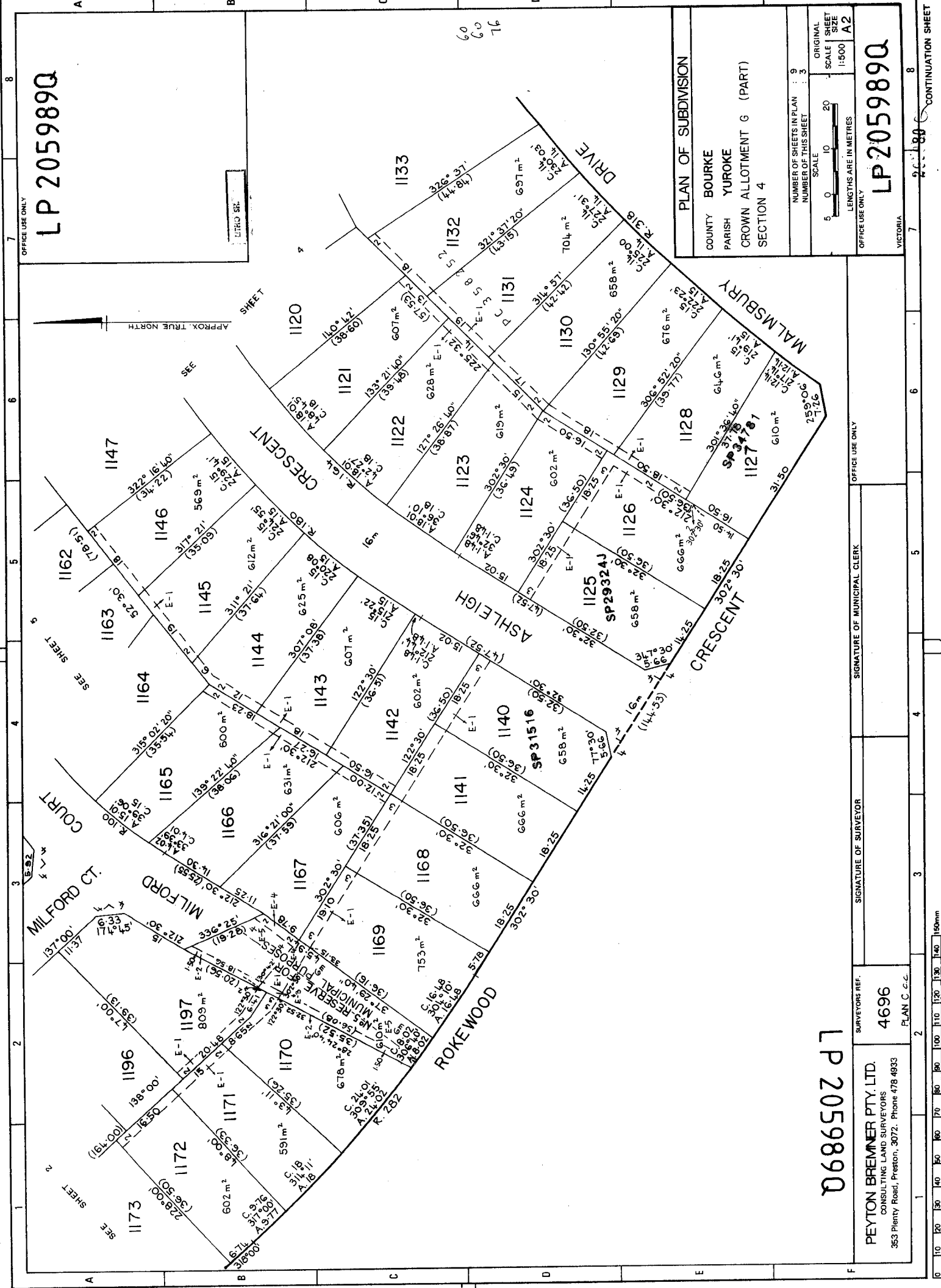
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SEE SHEET 8

SEE SHEET 7

SEE SHEET 3





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LIFELINE

PLAN OF SUBDIVISION	
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PARISH	YUROKE
CROWN ALLOTMENT G (PART) SECTION 4	
NUMBER OF SHEETS IN PLAN	9
NUMBER OF THIS SHEET	3
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LENGTHS ARE IN METRES	
OFFICE USE ONLY	LP 205989Q
VICTORIA	7

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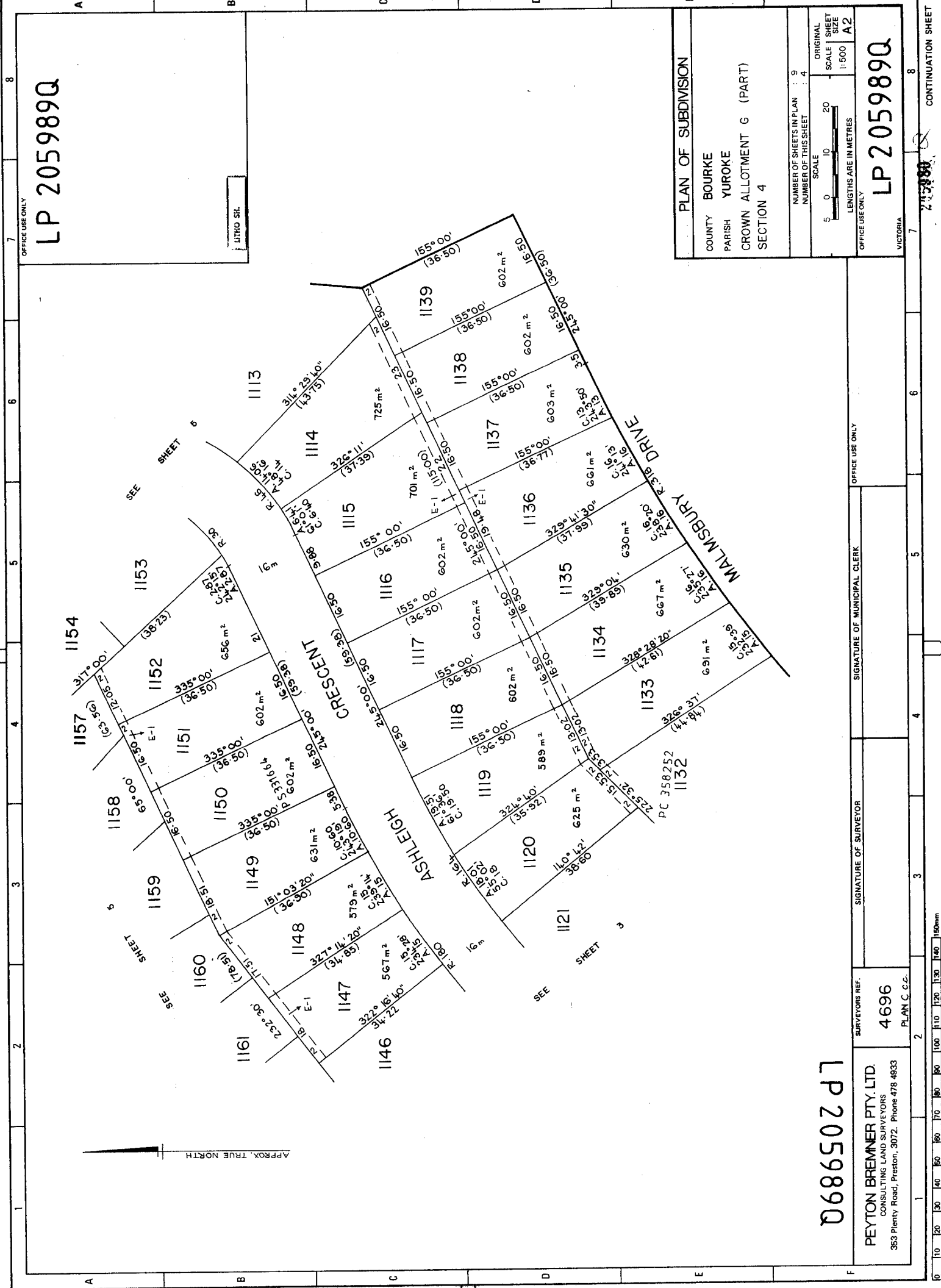
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PLAN OF SUBDIVISION	
COUNTY	BOURKE
PARISH	YUROKE
CROWN ALLOTMENT G (PART)	
SECTION 4	
NUMBER OF SHEETS IN PLAN	9
NUMBER OF THIS SHEET	4
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OFFICE USE ONLY	
LP 205989Q	
VICTORIA	

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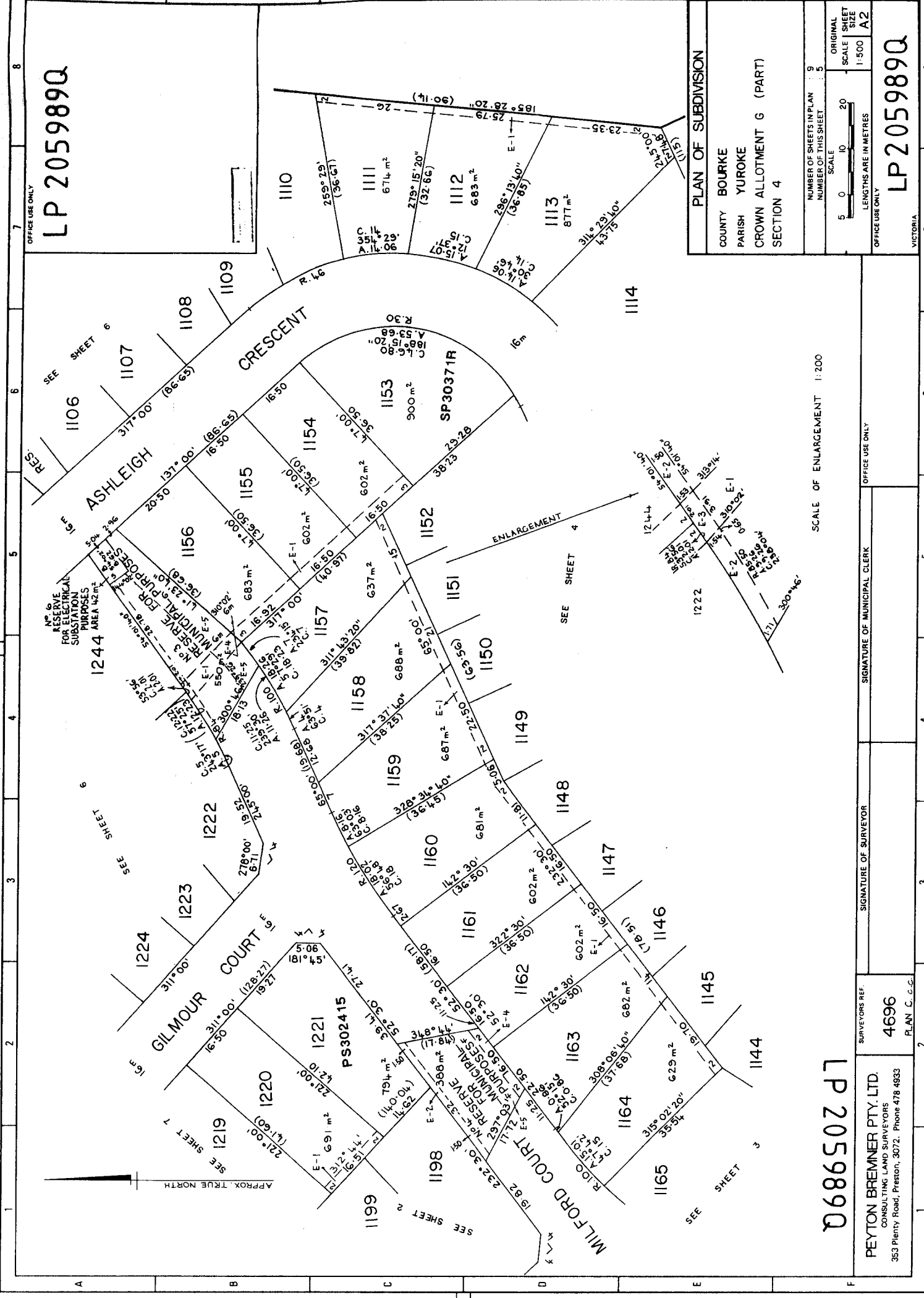
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PLAN OF SUBDIVISION	
COUNTY	BOURKE
PARISH	YUROKE
CROWN ALLOTMENT G (PART)	
SECTION 4	
NUMBER OF SHEETS IN PLAN	9
NUMBER OF THIS SHEET	5
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LENGTHS ARE IN METRES	
OFFICE USE ONLY	
LP 2059890	
VICTORIA	

SCALE OF ENLARGEMENT 1:200

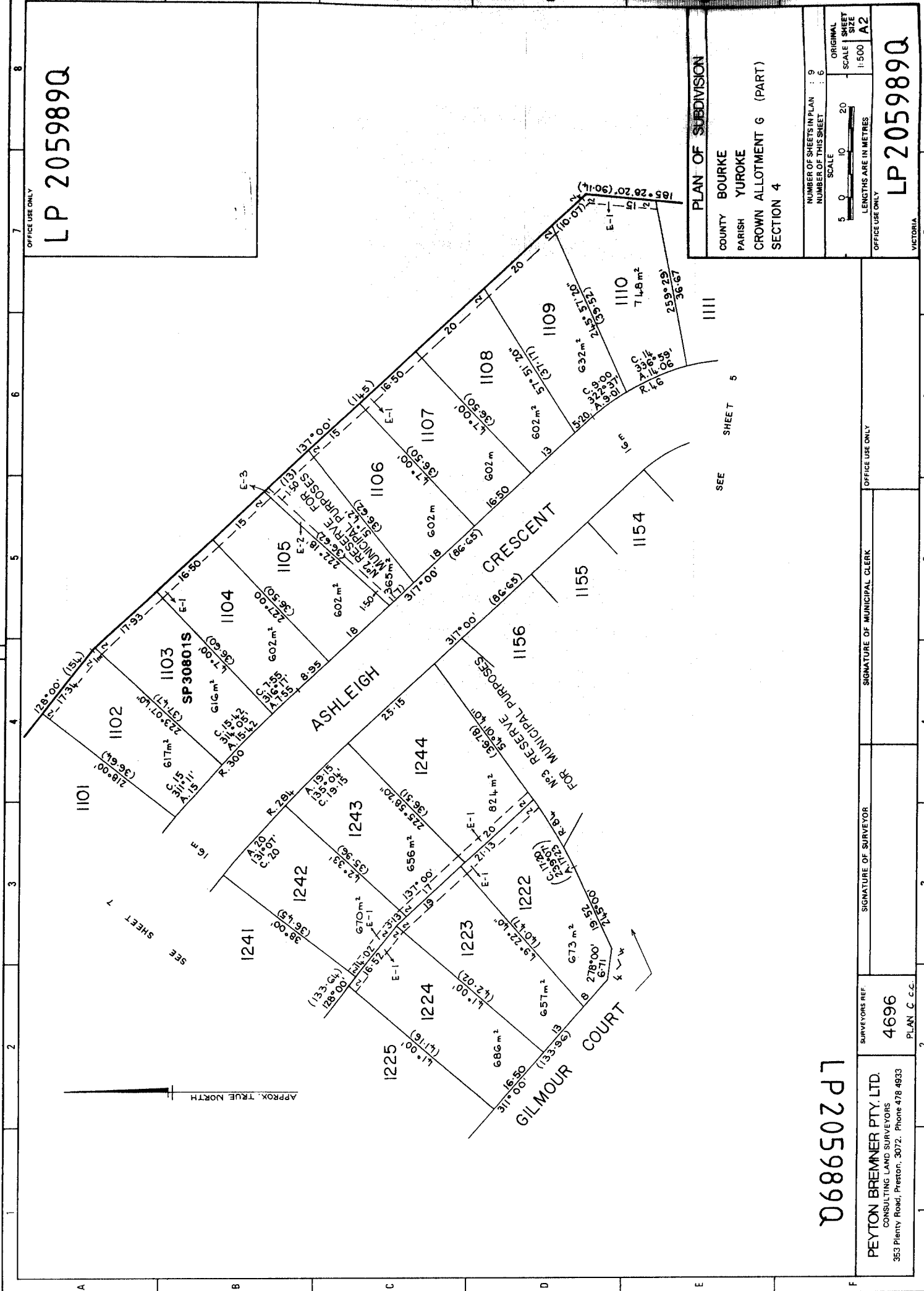
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PLAN OF SUBDIVISION	
COUNTY	BOURKE
PARISH	YUROKE
CROWN ALLOTMENT 6 (PART)	
SECTION 4	
NUMBER OF SHEETS IN PLAN	8
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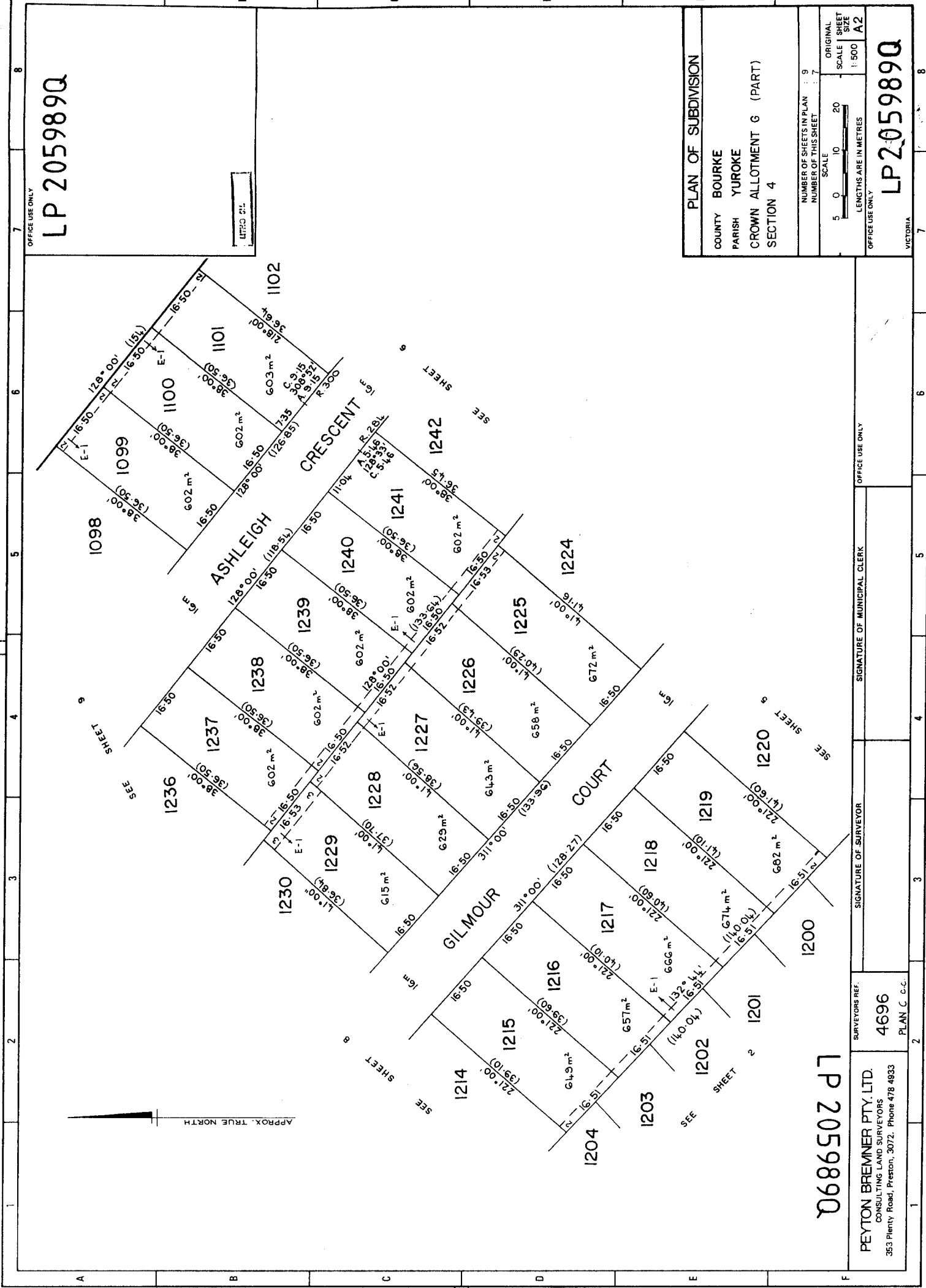
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PLAN OF SUBDIVISION	
COUNTY	BOURKE
PARISH	YUROKE
CROWN ALLOTMENT G (PART)	
SECTION 4	
NUMBER OF SHEETS IN PLAN	9
NUMBER OF THIS SHEET	7
SCALE	1:500
ORIGINAL SHEET SIZE	A2
LENGTHS ARE IN METRES	
OFFICE USE ONLY	
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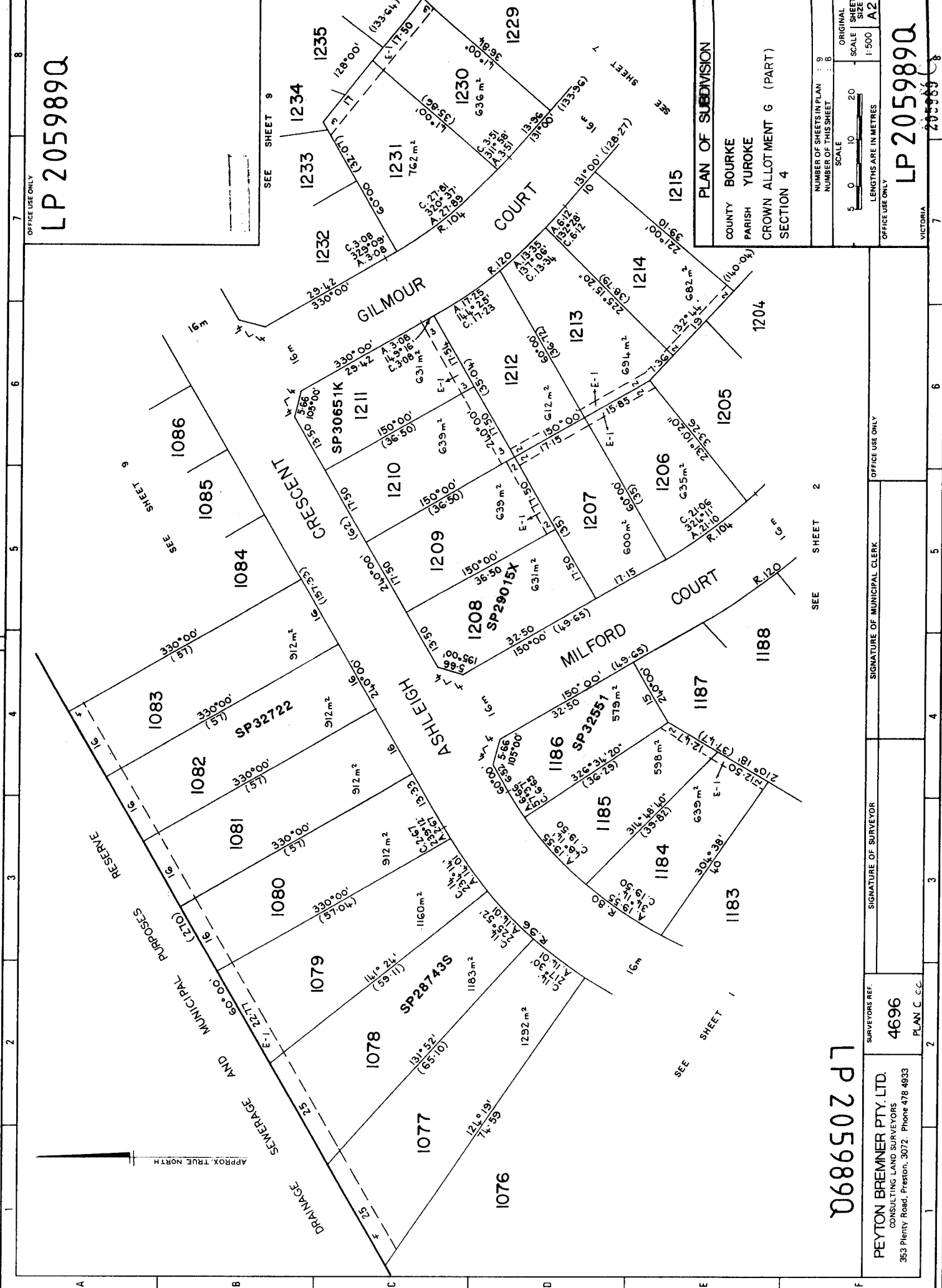
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PLAN OF SUBDIVISION	
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PARISH	YUROKE
CROWN ALLOTMENT G (PART)	
SECTION 4	
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NUMBER OF THIS SHEET	8
SCALE	1:500
ORIGINAL SHEET SIZE	A2
LENGTHS ARE IN METRES	
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VICTORIA	

SEE SHEET 2

SEE SHEET 1

SEE SHEET 9

SEE SHEET 9

APPROX. TRUE NORTH

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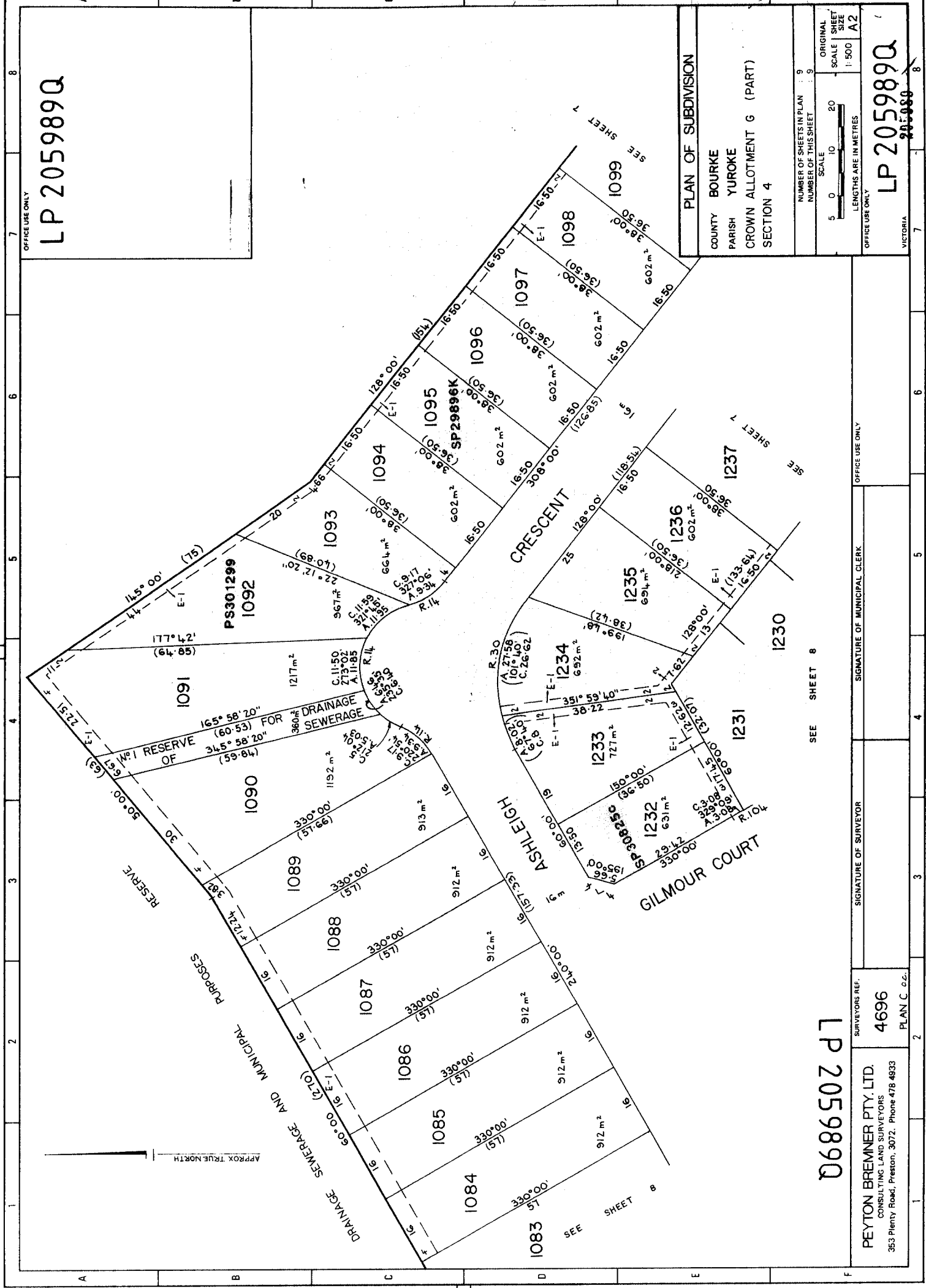
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PLAN OF SUBDIVISION	
COUNTY	BOURKE
PARISH	YUROKE
CROWN ALLOTMENT G (PART)	
SECTION 4	
NUMBER OF SHEETS IN PLAN	9
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PLAN C. 02.		SEE SHEET 7	

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Document Type	Instrument
Document Identification	N572559Y
Number of Pages (excluding this cover sheet)	4
Document Assembled	09/09/2022 11:00

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04
 532 -

MH/7A/1068
 Lot 1063
 PS 205959 Q

Titles Office Use Only

REGD

140788 0900 45 30 N572559Y

Lodged at the Titles Office by

STATE BANK OF VICTORIA
 Code 0022N

VICTORIA Ref. Name Pezzimenti A/c No. 170-2113-2804 **TRANSFER OF LAND**

Subject to the encumbrances affecting the land including any created by dealings lodged for registration prior to the lodging of this instrument the transferor for the consideration expressed at the request and by the direction of the directing party (if any) transfers to the transferee the estate and the interest specified in the land described together with any easement hereby created and subject to any easement hereby reserved or restrictive covenant herein contained or covenant created pursuant to statute and included herein. (Notes 1-4)

Land (Note 5)

CERTIFICATE OF TITLE VOLUME 9770 FOLIO 388

Consideration (Note 6)

\$30,500

Transferor (Note 7)

Urban Land Authority

Transferee (Note 8)

Dominic Pezzimenti of 1/28 Acacia St, Glenroy

Estate and Interest (Note 9)

"All ^{its} ~~our~~ estate and interest in the fee simple"

STAMP DUTY VICTORIA
 U#02C#1 S#1 T#000003 00062804 13/07/88
 R#000003 D#44 \$532.00

CODE 44
 DUTY: 532
 STATUS ✓
 TYPE
 VALUE: \$30500
 ASSESSOR: *all*

Comptroller of Stamps Use Only

Directing Party (Note 10)

Creation (or Reservation) of Easement and/or Covenant (Notes 11-12)

The Transferee DOES HEREBY for himself, his heirs, executors, administrators and transferee the registered proprietor or proprietors for the time being of the Lot hereby transferred COVENANT with URBAN LAND AUTHORITY pursuant to the provisions of Section 14 of the Urban Land Authority Act 1979 that they will within a period of five years following the date hereof erect of cause to be erected on the said land a house for their own occupation and it is intended that this covenant shall appear as an

T2 Office Use Only

A memorandum of the within instrument has been entered in the Register Book.

Jan 25
7
 Approval No. T2/1



Natural Resources and Environment

AGRICULTURE • RESOURCES • CONSERVATION • LAND MANAGEMENT

INTENTIONALLY

BLANK

encumbrance affecting the same and every part thereof on the Certificate of Title to be issued in respect of the Lot hereby transferred and FURTHER that this covenant shall forever run at law.

Date 1st July 1988

(Note 13)

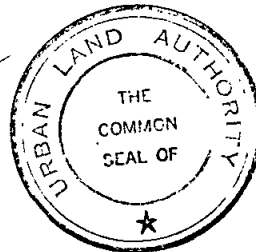
Execution and Attestation

(Note 14)

THE COMMON SEAL of URBAN LAND AUTHORITY)
was hereunto affixed in the presence of:)

CHAIRMAN.....*[Signature]*

PROPERTY MANAGER.....*[Signature]*



SIGNED by DOMINIC PEZZIMENTI as the first named Transferee in the presence of:

[Signature].....
DOMINIC PEZZIMENTI

[Signature]
.....
WITNESS



NOTES

1. This form must be used for any transfer by the registered proprietor—
 - (a) of other than the whole of an estate and interest in fee simple
 - (b) by direction
 - (c) in which an easement is created or reserved
 - (d) which contains a restrictive covenant or a covenant created pursuant to statute.
2. Transfers may be lodged as an original only and must be typed or completed in ink.
3. All signatures must be in ink.
4. If there is insufficient space in any panel to accommodate the required information use an annexure sheet (Form A1) or (if there is space available) enter the information under the appropriate heading after any creation or reservation of easement or covenant. Insert only the words “See Annexure A” (or as the case may be) or “See overleaf” in the panel as appropriate.
 Multiple annexures may appear on the same annexure sheet but each must be correctly headed.
 All annexure sheets should be properly identified and signed by the parties and securely attached to the instrument.
5. Volume and folio references must be given. If the whole of the land in a title is to be transferred no other description should be used. If the transfer affects part only of the land in a title the lot and plan number or Crown description should also be given. Any necessary diagram should be endorsed hereon or on an annexure sheet (Form A1).
6. Set out the amount (in figures) or the nature of the consideration. If the transfer is by direction show the various considerations
 e.g. \$ paid by B to A
 \$ paid by C to B
 In a transfer on sale of land subject to a mortgage it should be clearly shown whether or not the amount owing under the mortgage is included in the consideration e.g. \$ which includes the amount owing under mortgage No.
7. Insert full name. Address is not required.
8. Insert full name and address. If two or more transferees state whether as joint tenants or tenants in common. If tenants in common specify shares.
9. Set out “All my estate and interest in the fee simple” (or other as the case may be).
10. If the transfer is by direction give the full name of any directing party and show the various considerations under the consideration heading.
11. Set out any easement being created or reserved and define the dominant and servient tenements.
12. Set out full details of any covenant and define the covenantee and the land to bear the burden and to take the benefit of the covenant.
13. The transfer must be dated.
14. If an executing party is a natural person execution should read “Signed by the transferor (transferee, directing party) in the presence of”. The witness must be an independent person. If an executing party is a body corporate execution should conform to any prescribed formalities relating to the affixing of the common seal.



Feras Building
DESIGN

| PO Box 247-Craigieburn, Vic 3064 |

| Tel/Fax: (03) 9305 1234 | Mob: 0423 489 804 | Email: feras@ferasdesign.com.au | Web: www.ferasdesign.com.au |

19 January 2023

Application Number: P24813

Address: 7Hall Court-Meadow Heights, Vic 3048

Proposal: Proposed 2 Double Storey Dwellings at rear of existing.

Dear Zack

Thank you for your further information letter dated on 17/10/2022. We have amended the plans in response to the information requested.

Concerns:

1. Plans have been amended in order to comply with Rescode standards
2. The Raingarden that was located to north east of Dwelling 2 has been removed as recommended.
3. Food production areas are mandatory requirement by Bess and have to be shown on the plans.
4. Concreted areas are within the requirements of Rescode. The Permeable and Garden areas are exceeding the required rates.

Require Information:

1. Site plan
 - As discussed, all Cars can exit the site in a forward direction
 - Solar panels were shown on the plans, there are no additional solar panels. The shadow of the proposed Dwellings does not reach to any roof of the existing neighbouring buildings.
 - Lighting along the Driveway has been added and shown on the floor plan and indicated in the Legend
2. Elevation Plans
 - Maximum height of dwelling 2 Garage wall on boundary and its average height have been indicated on the plan. The average wall height is 3200m.
 - North West Elevation of the existing Dwelling has been added on the plan as requested.
 - Windows of Dwelling No 3 have been amended in order to comply with Standard B22, it is mentioned as OG (fixed obscure glass at any part of the window below 1.7AFL, operable panel above) for the habitable room

windows that have finished floor level more than 800mm above natural ground level.

- Dwelling 2 Living room window (Dining) has one meter setback from the driveway and 1.4m sill height (shown on the elevation plan) and is a double glazed window as indicated in Note 3 on the floor plans.

Garden Area

- A separate garden area plan was provided, it shows the garden area and its calculations

Please find the following documents

- Neighborhood and site description plan.
- Drawing No TP 01-Demolishing Plan
- Drawing No TP 02-Design Response Plan (GFP).
- Drawing No TP 03-Design Response Plan (FFP).
- Drawing NO TP 04-Ground Floor Plan.
- Drawing No TP 05- First Floor plan.
- Drawing No TP 06-Elevations Plan 1.
- Drawing No TP 07-Elevations Plan 2.
- Drawing No TP 08-Garden Area Plan.
- Drawings No TP-9-Roof Catchment Plan
- Drawing No TP 10-Shadow Diagrams (9:00AM and 12:00 Noon).
- Drawing No TP 11-Shadow Diagram (3:00PM).
- Design Response Report.
- Bess & Storm Water Reports

Hope this will satisfy your request,

If you have any queries, please do not hesitate to contact me.





Feras Building
DESIGN

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19/09/2022

**Re: Proposed 2 Double Storey Dwellings at rear of existing.
Address: 7Hall Court-Meadow Heights, Vic 3048**



As per our pre-application meeting held on 14/09/2022, Please find the following documents that make up our application for the proposal at the above-mentioned address;

- Complete and signed application form.
- Payment for planning application fee.
- Neighborhood and site description plan.
- Drawing No TP 01-Demolishing Plan
- Drawing No TP 02-Design Response Plan (GFP).
- Drawing No TP 03-Design Response Plan (FFP).
- Drawing NO TP 04-Ground Floor Plan.
- Drawing No TP 05- First Floor plan.
- Drawing No TP 06-Elevations Plan 1.
- Drawing No TP 07-Elevations Plan 2.
- Drawing No TP 08-Garden Area Plan.
- Drawings No TP-9-Roof Catchment Plan
- Drawing No TP 10-Shadow Diagrams (9:00AM and 12:00 Noon).
- Drawing No TP 11-Shadow Diagram (3:00PM).
- Design Response Report.
- Bess & Storm Water Reports
- Certificate of Title, SDP, Covenant & Sewer Detail.
-

Please note that I will be on leave till 26/10/2022, please provide extra time for any further information requirement, please also send me any response to my Hotmail: feras-m9@hotmail.com

If you have any queries, please do not hesitate to contact me.



REGISTERED
Building Practitioner



Design Response Report

Project: Proposed Three Dwelling Development
Including Existing

Municipality: Hume City Council

Address: 7 Hall Court-Meadow Heights

Client: [REDACTED]

Content:

Design Response Report -Clause 55	Page 1-9
Carparking-Clause 52.06	Page 10
Stormwater Management in Urban Development General Residential Zone (GRZ1)	Page 10
	Page 10-11



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55.01 Neighbourhood and Site Description and Design Response

01-1 In relation to the neighbourhood

Pattern of Development

The area is characterized by housing types that are approximately 20-40 year old of varying sizes – typically 250m² and up to 400m² privately built brick homes. A mix of allotment sizes exists averaging 900m². The front setbacks of houses vary from 6.5m-14m. Homes are privately built brick veneer and Rendered residences, single story and double storey Dwellings.

There are 2 existing multi dwelling development in Hall in No 2 and No 8. Some newer development is occurring in proximity to the subject site in Rokewood Crescent, as developers are taking advantage of relatively large lot sizes in the area.



Samples of houses in Hall Court

The bulk of residences in the immediate vicinity have the following characteristics;

- Single storey and double storey Dwellings.
- Hipped tiled roofs, some with gables
- Front setbacks are consistently between 6.5m and 14m.
- Rendered and face brick finishes.
- Front fences vary in height, some with no fence.

In relation to the site

The site area is 955m² with 2m wide drainage and sewerage easement running along the Eastern boundary. The site has irregular shape with a driveway running along the Western side.

The site slopes steadily downwards away from Hall Court. The site falls approximately 3.4m from its highest to lowest points. The site is adjacent to a reserve at the rear.

An existing single storey 3 bedroom Dwelling on the site is proposed to be retained. The location of secluded private open spaces and habitable room windows within 9m of the boundaries have been indicated on the context plan.

Solar access to the site and surrounding sites is uninhibited. No protected trees exist on site, there are few small to medium size Trees exist on site and are proposed to be removed.

Neighbourhood Character and Infrastructure

55.02.1

The proposed design seeks to be respectful the existing neighbourhood character by;

1. The front setback has not been altered
2. The proposal is stepping down the site in sympathy to the slope.
3. Respect for the scale and massing of building forms common to the area, has been incorporated by ensuring that the proposed residences incorporate the following,
 - Pitched roof.
 - Variation in the use of materials and colours to articulate the elevations including face brick, render and weatherboard.
 - Implementing the use of protruding and recessed forms to articulate the façade.
 - The first-floor elements are kept to a reasonable size and are recessed in relation to the ground floor footprints.

Our proposal is not excessive, the two storey aspect is common to the area and the visual bulk has been minimized. The proposal can be described as innovative and yet not unfamiliar, it hugs the slope down the site and yet takes advantage of views towards the Reserve at rear of the site. The planning of the dwellings themselves seeks to create an intimate relationship between the interior and exterior through the use of sliding doors to the private open space. Other windows are placed strategically so as not to intrude on neighbors' privacy. A three dwelling proposal for this site is appropriate as it makes use of existing infrastructure.

Residential Policy Objectives

55.02.2

The proposal seeks to provide medium density housing where it can take advantage of close distances to;

- The nearby Meadow heights Plaza.
- Transport links.
- Nearby community infrastructure including parks, schools, sports and medical facilities as indicated on the context plan.



Satellite image for 7 Hall Court

Dwelling diversity objective

55.02-3

N.A

Infrastructure objectives**55.02-4**

Our proposal is not excessive. It will not exceed the capacity of utility services and infrastructure, including reticulated services and roads.

Integration with the Street Objective

55.02.5

The proposal seeks to integrate its layout with the street by;

- Maintaining the front setback.
- Using materials and forms that are in keeping with the scale and configuration of new and existing dwellings in the neighbourhood.

55.03 SITE LAYOUT AND MASSING/ 52.06 CAR PARKING	
B6-Street Setback	Has not been altered ED
B7-Building heights	<p>Dwelling 1 (Existing): The apex of its roof is approximately 4.6m above natural ground level (existing).</p> <p>Dwelling 2: The apex of its roof is approximately 7.65m above natural ground level (existing).</p> <p>Dwelling 3: The apex of its roof is approximately 8.08m above natural ground level.</p> <p>All walls in proximity of boundaries conform to heights set out in Rescode.</p>
B8-Site coverage objective	<p>Site Area is approx. 955m²</p> <p>Site coverage of buildings is 361m² (38%) in total</p>
B9-Permeability objectives	Permeable area proposed is 285m ² which equates to 30% of the site area. This exceeds the ratio required in Rescode.
B10-Energy efficiency objectives	We have been advised by Energy Concepts in their preliminary analysis that all dwellings can achieve a minimum 6-star rating. The energy efficiency of the dwelling on the adjacent site is not affected.
B11-Open space objective	N.A
B12-Safety Objective	Dwelling 1 and 2 are easily identifiable and exposed to Hall Court. Dwelling No 3 is easily identifiable and exposed to the internal driveway due to the shape of the land and the location

	of the Dwelling.
B13-Landscaping Objective	An extensive landscaping proposal has been indicatively depicted and will be confirmed with a landscape architect. One shade tree is proposed for each unit.
B14-Access Objectives	The existing driveway is proposed to be retained and used for the proposed Dwellings. The internal driveway is a minimum of 3m wide and allows the users to exit front-ways.
B15-Parking location objectives	Each proposed garage/ Car space is located close and convenient to its dwelling, secure and well ventilated.
55.04 AMENITY IMPACTS	
B17-Side and rear setbacks	The East side boundary setbacks are 2.46m and 3.65m. The South West side boundary setbacks vary from being on boundary and up to 3.78m. The rear boundary setbacks vary from being on boundary and up to 4.42m
B18-Walls on boundaries objective	Where walls exist on boundaries, they do not exceed 3.2m in height in average. The length of the walls on the boundaries falls well within the Rescode requirements.
B19-Daylight to existing windows objective.	The proposal is not affecting the daylight of any of the existing habitable room windows of the adjoining residences.
B20-North-facing windows objective.	There are no North facing windows within 3 meters of the North of the subject site.
B21-Overshadowing open space objective	No overshadowing over any secluded private open space (exceeding the fence)
B22-Overlooking objective	No overlooking exists.
B23-Internal views objective	No internal views exist within the development.
B24-Noise impact objectives.	N.A
55.05 ON-SITE AMINITY AND FACILITIES	
B25-Accessibility objective	The entries of all dwellings are able to be easily made accessible to people with limited mobility.
B26-Dwelling entry objective	Each dwelling has its own entry with a porch visible and easily identifiable from Hall Court and / or the internal driveway

B27 -Daylight to new windows objective.	All proposed habitable room windows receive adequate daylight.
B28 -Private Open Space Objective	<p>For Dwelling 1; we propose 95m2 of secluded private open space as well as approximately 102m2 of open space at the front of the dwelling onto which the Formal Lounge and bedrooms are directed.</p> <p>For Dwelling 2; we propose 59m2 of secluded private open space.</p> <p>For Dwelling 3; we propose 72m2 of secluded private open space.</p>
B29 -Solar access to open space objective.	All proposed private open spaces are well exposed to the North and receive good solar access,
B30 -Storage objective.	Each dwelling has its own 6m3 storage shed with a convenient access from its private open space.
55.06 DETAILED DESIGN	
B31 -Design detail objective	<p>Proposing pitched tiled roof.</p> <p>First floor is recessed in relation to the ground floor.</p> <p>Use of protruding and recessed form to articulate the elevations.</p> <p>Variation in the use of materials and colours</p>
B32 -Front fences objective	No proposed front fence
B33 -Common property objectives	Our proposal will not cause future management difficulties in areas of common ownership.
B34 -Site services objectives.	Mailboxes, bins and recycling enclosures are located for convenient access by residents.



looking to South East from within subject site



looking to South at existing Dwelling



looking to North from within subject site



looking to South East from within subject site

52.06 CAR PARKING

<p>Parking Provision Objectives 52.06-5: Number of car parking spaces.</p>	<p>Car parking is provided at the rate required by Clause 52.06-5</p> <p>A double Garage is proposed for Dwelling No 1 (3 Bedrooms), A single garage and a car space are proposed for Dwelling No 2 (3 Bedroom). A Car space is proposed for Dwelling No 3 (2 Bedroom) (5 in total).</p> <p>The accessway is a minimum of 3 meters wide, have an internal radius of at least 4 metres at changes of direction, it allows the users to exist the site in a forward direction. pedestrian visibility splays have been shown on the floor plans</p>
--	---

53.18 Storm Water Management in Urban Development

The proposal complies well with the requirement of close 53.18 as shown on the Roof Catchment Plan No TP-9A

General Residential Zone (GRZ1)

Construction or extension of a dwelling or residential building

Minimum garden area requirement

An application to construct or extend a dwelling or residential building on a lot must provide a minimum garden area as set out in the following table:

Lot size	Minimum percentage of a lot set aside as garden area
400 - 500 sqm	25%
Above 500 - 650 sqm	30%
Above 650 sqm	35%

Response: Subject site area is 955m²
Required Garden area is 35%. $955 \times 0.35 = 334\text{m}^2$
Garden area proposed is 355m² (37.1%)

Construction and extension of two or more dwellings on a lot, Dwellings On common property and residential buildings

Permit requirement

A permit is required to:

- Construct a dwelling if there is at least one dwelling existing on the lot.
- Construct two or more dwellings on a lot.
- Extend a dwelling if there are two or more dwellings on the lot.
- Construct or extend a dwelling if it is on common property.
- Construct or extend a residential building.

- A permit is required to construct or extend a front fence within 3 metres of a street if:
- The fence is associated with 2 or more dwellings on a lot or a residential building, and
- The fence exceeds the maximum height specified in Clause 55.06-2.
- A development must meet the requirements of Clause 55. This does not apply to a development of five or more storeys, excluding a basement.

SCHEDULE 3 TO CLAUSE 32.08 GENERAL RESIDENTIAL ZONE

Requirements of Clause 55 Standard Requirements

Minimum street setback	B6	Has not been altered
Site coverage	B8	Site coverage proposed is 38%
Permeability	B9	30%
Landscaping	B13	Refer to above Table
Side and rear setbacks	B17	Refer to above Table
Walls on boundaries	B18	Refer to above Table
Private open space	B28	Refer to above Table
Front fence height	B32	No proposed front fence

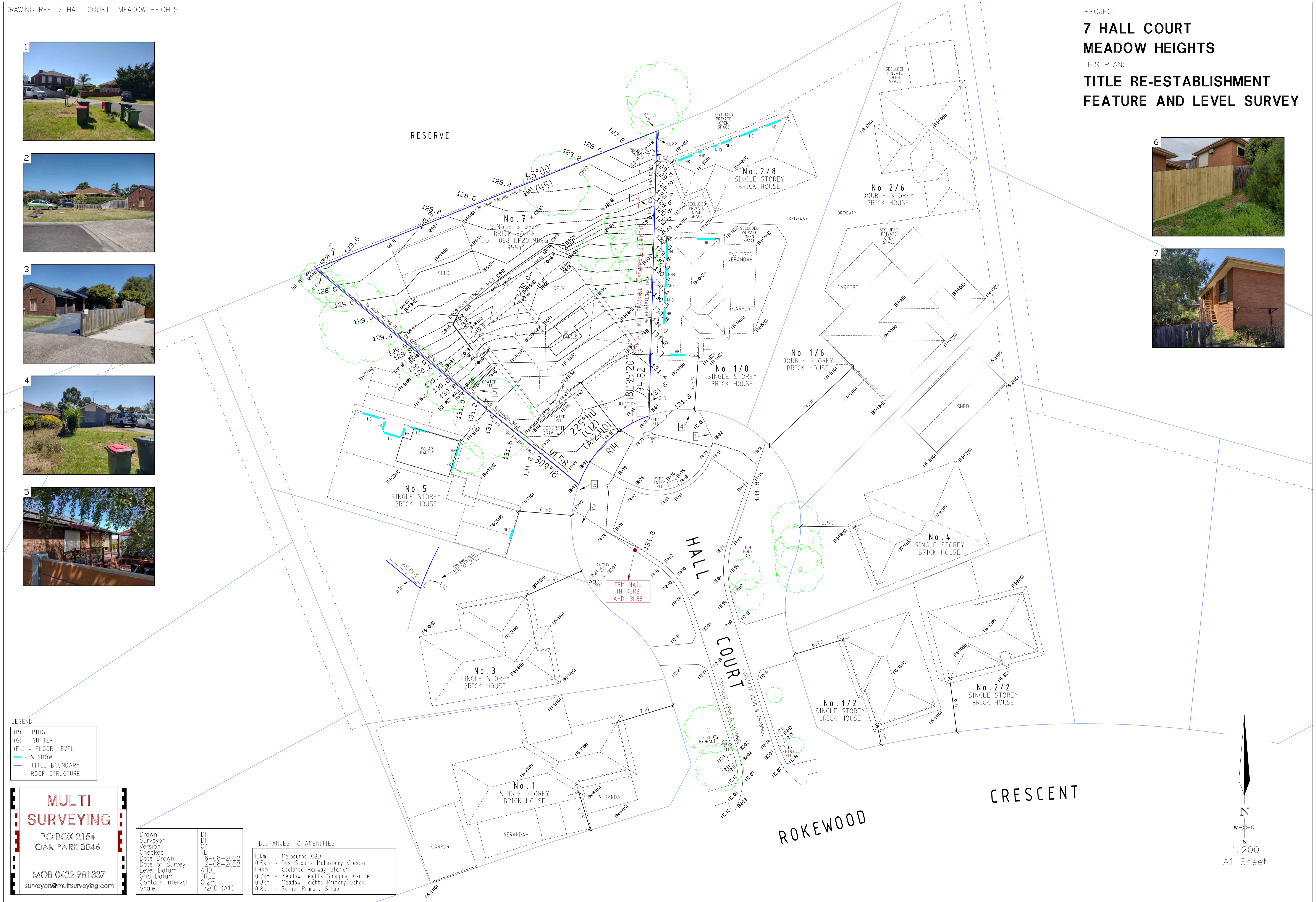
Maximum building height requirement for a dwelling or residential building

- The building height must not exceed 11 metres; and
- The building must contain no more than 3 storeys at any point

Response: The maximum proposed height of the development is 8.08m which is less than 11m, and the number of storeys proposed is 2.

If a requirement is not specified in a schedule to this zone, the requirement set out in the relevant standard of Clause 55 applies - (refer to above Table)





LEGEND

(R)	- RIDGE
(G)	- GUTTER
(FL)	- FLOOR LEVEL
(W)	- WINDOW
(- - -)	- TITLE BOUNDARY
(---)	- ROOF STRUCTURE

MULTI SURVEYING
 PO BOX 2154
 OAK PARK 3046
 MOB 0422 981337
 surveyors@multisurveying.com

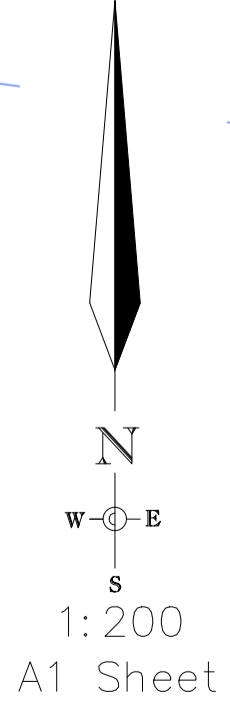
Drawn	DF
Surveyor	04
Version	TB
Checked	
Date Drawn	16-08-2022
Date of Survey	12-08-2022
Level Datum	AHD
Grid Datum	TITLE
Contour Interval	0.2m
Scale	1:200 (A1)

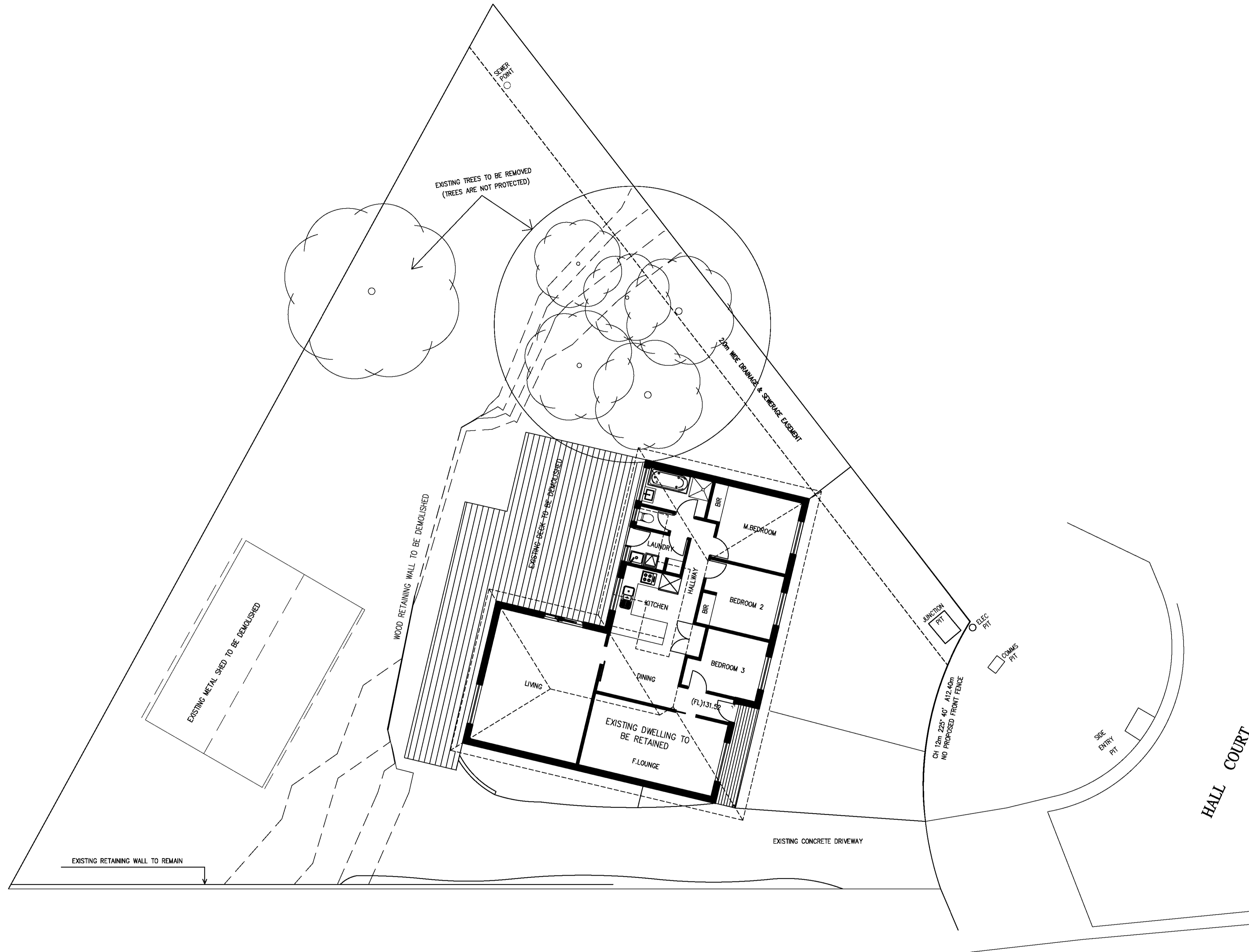
DISTANCES TO AMENITIES

18km	- Melbourne CBD
0.5km	- Bus Stop - Malsbury Crescent
1.4km	- Coolaroo Railway Station
0.7km	- Meadow Heights Shopping Centre
0.8km	- Meadow Heights Primary School
0.8km	- Bethel Primary School

CRESCENT

ROKEWOOD





DEMOLISHING PLAN



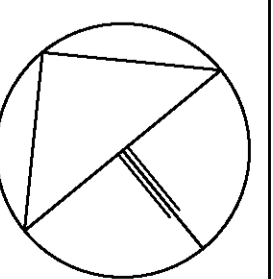
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REV	DESCRIPTION	DATE	BY
A	ISSUED FOR PLANNING PERMIT	17/8/22	F.A
B			
C			
D			
E			
F			

PROJECT				DRAWING (NO.)	
[REDACTED]				TP-1A	
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO	
1/100	17/09/2022	FERAS AL ASAAD	MK-0322	MK-P100A	



- 1 INDIVIDUAL ADDRESS AND READILY IDENTIFIABLE ENTRY
- 2 SPOS; SUFFICIENT DIMENSIONS, SOLAR ACCESS, VARYING DIMENSIONS SUITABLE VARIETY OF USES, CLOSELY INTEGRATED WITH INSIDE AND INCORPORATING ONE LARGE SHADE TREE
- 3 DRIVEWAY MEANDERED AND GARDEN BEDS PROVIDED TO AVOID "GUN-BARREL" EFFECT
- 4 CLOTHES LINE LOCATED FOR MAXIMUM SOLAR ACCESS.
- 5 SETBACKS ARE MAINTAINED AS PER RESCODE.
- 6 FRONT YARD IS MAINTAINED AS AN OPEN SPACE.
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- 9 FIRST FLOOR IS REDUCED IN RELATION TO GROUND FLOOR TO MINIMISE VISUAL BULK.
- 10 FIRST FLOOR WALLS SETBACKS FROM BOUNDARIES ARE WITHIN RESCODE REQUIREMENTS.
- 11 HIPPED TILED ROOF
- 12 DOUBLE STOREY DWELLING.
- 13 BRICK, RENDER AND WEATHERBOARD CLADDING

LEGEND

- ⊙ BOLLARD LIGHT.
- B BINS
- CL CLOTHES LINE
- EXT EXISTING TREE
- FPA FOOD PRODUCTION AREA (2m²)
- HB HABITABLE ROOM WINDOW
- MB MAILBOXES
- NHB NON HABITABLE ROOM WINDOW
- PF1 PROPOSED PALING FENCE (1.9m HIGH) ABOVE RETAINING WALL
- PF2 PROPOSED PALING FENCE (1.9m HIGH)
- RG INGROUND RAINGARDEN (3m²), TO BE DESIGNED AND PREPARED TO RECEIVE AND FILTER RAIN RUN-OFF FROM THE DRIVEWAY.
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NOTES:

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DESIGN RESPONSE PLAN / GFP



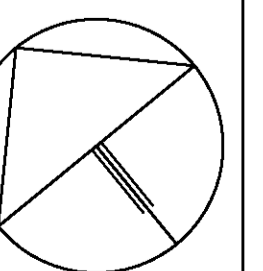
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PROJECT				DRAWING (NO.)	
[REDACTED]				TP-2B	
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO	
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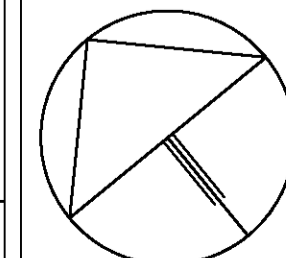
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DESIGN RESPONSE PLAN / FFP

 <p>Feras Al Asaad Building Designer DP-AD 36309 PO BOX 247 CRAIGIEBURN, VIC 3064 Tel / Fax: (03) 9305 1234 Mob: 0423 489 804 Email: feras@ferasdesign.com.au Web: www.ferasdesign.com.au </p>	 <p>VICTORIAN BUILDING AUTHORITY REGISTERED Building Practitioner</p>	 <p>Design Matters The peak body for the building design profession Member</p>	<p>This drawing is copyright. It is the property of Feras Building Design and must not be retained, copied or used without the permission of Feras Building Design. Do not scale from the drawings, refer to given dimensions. All dimensions must be checked on site before commencement of any work. Discrepancies shall be reported immediately to the Designer for interpretation. This document is to be read in conjunction with the other documents and specifications in this set.</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td>A</td> <td>ISSUED FOR PLANNING PERMIT</td> <td>17/9/22</td> <td>F.A.</td> </tr> <tr> <td>B</td> <td>AMENDED AS PER COUNCIL'S FURTHER INFORMATION LETTER DATED 17/10/2022</td> <td>18/01/2023</td> <td>F.A.</td> </tr> <tr> <td>C</td> <td></td> <td></td> <td></td> </tr> <tr> <td>D</td> <td></td> <td></td> <td></td> </tr> <tr> <td>E</td> <td></td> <td></td> <td></td> </tr> <tr> <td>F</td> <td></td> <td></td> <td></td> </tr> </tbody> </table>	REV	DESCRIPTION	DATE	BY	A	ISSUED FOR PLANNING PERMIT	17/9/22	F.A.	B	AMENDED AS PER COUNCIL'S FURTHER INFORMATION LETTER DATED 17/10/2022	18/01/2023	F.A.	C				D				E				F				<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <td colspan="2">PROJECT</td> <td colspan="2">DRAWING (NO.)</td> </tr> <tr> <td colspan="2" style="background-color: black; color: white;">[REDACTED]</td> <td colspan="2">TP-3B</td> </tr> <tr> <td>SCALE</td> <td>DATE</td> <td>DESIGNED AND DRAWN BY</td> <td>PROJECT NO</td> </tr> <tr> <td>1/250</td> <td>17/09/2022</td> <td>FERAS AL ASAAD</td> <td>MK-0322</td> </tr> <tr> <td>CAD NO</td> <td colspan="2"></td> <td></td> </tr> <tr> <td>MK-P100B</td> <td colspan="2"></td> <td></td> </tr> </table>	PROJECT		DRAWING (NO.)		[REDACTED]		TP-3B		SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	1/250	17/09/2022	FERAS AL ASAAD	MK-0322	CAD NO				MK-P100B				
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Development Summary

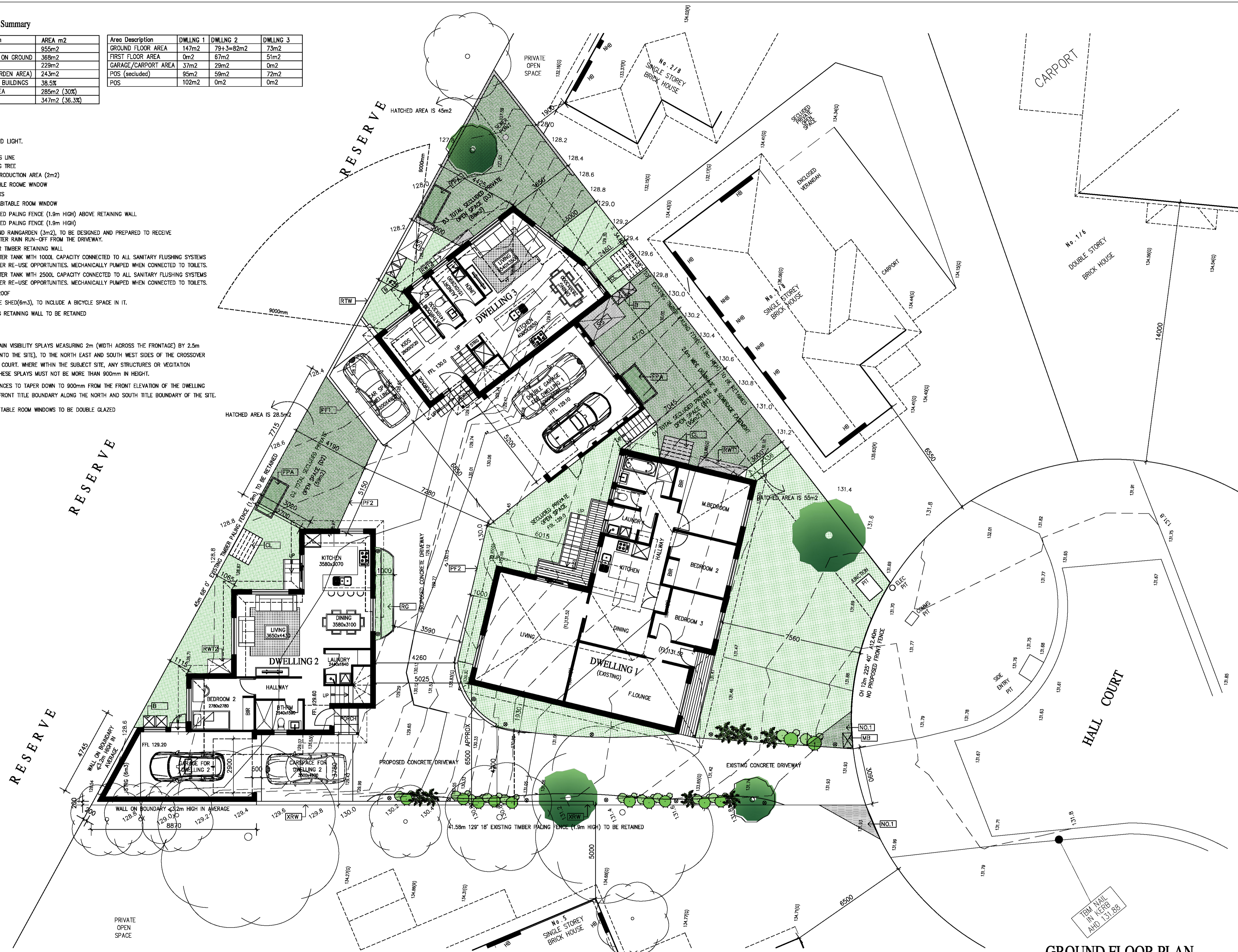
Area Description	AREA m2	Area Description	DWLLNG 1	DWLLNG 2	DWLLNG 3
SITE AREA	955m2	GROUND FLOOR AREA	147m2	79+3=82m2	73m2
BUILDING AREA ON GROUND	368m2	FIRST FLOOR AREA	0m2	67m2	51m2
DRIVEWAYS	229m2	GARAGE/CARPORT AREA	37m2	29m2	0m2
DRIVEWAYS (GARDEN AREA)	243m2	POS (secluded)	95m2	59m2	72m2
SITE COVERAGE BUILDINGS	38.5%	POS	102m2	0m2	0m2
PERMEABLE AREA	285m2 (30%)				
GARDEN AREA	347m2 (36.3%)				

LEGEND

- ⊙ BOLLARD LIGHT.
- B BINS
- CL CLOTHES LINE
- EXT EXISTING TREE
- FPA FOOD PRODUCTION AREA (2m2)
- HB HABITABLE ROOM WINDOW
- MB MAILBOXES
- NHB NON HABITABLE ROOM WINDOW
- PF1 PROPOSED PALING FENCE (1.9m HIGH) ABOVE RETAINING WALL
- PF2 PROPOSED PALING FENCE (1.9m HIGH)
- RG INGROUND RAINGARDEN (3m2), TO BE DESIGNED AND PREPARED TO RECEIVE AND FILTER RAIN RUN-OFF FROM THE DRIVEWAY.
- RTW SLEEPER TIMBER RETAINING WALL
- RWT1 RAINWATER TANK WITH 1000L CAPACITY CONNECTED TO ALL SANITARY FLUSHING SYSTEMS OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
- RWT2 RAINWATER TANK WITH 2500L CAPACITY CONNECTED TO ALL SANITARY FLUSHING SYSTEMS OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
- SR STEEL ROOF
- SS STORAGE SHED(6m3), TO INCLUDE A BICYCLE SPACE IN IT.
- XRW EXISTING RETAINING WALL TO BE RETAINED

NOTES:

- NO.1 PEDESTRAIN VISIBILITY SPLAYS MEASURING 2m (WIDTH ACROSS THE FRONTAGE) BY 2.5m (DEPTH INTO THE SITE), TO THE NORTH EAST AND SOUTH WEST SIDES OF THE CROSSOVER TO HALL COURT, WHERE WITHIN THE SUBJECT SITE, ANY STRUCTURES OR VEGETATION WITHIN THESE SPLAYS MUST NOT BE MORE THAN 900mm IN HEIGHT.
- NO.2 SIDE FENCES TO TAPER DOWN TO 900mm FROM THE FRONT ELEVATION OF THE DWELLING TO THE FRONT TITLE BOUNDARY ALONG THE NORTH AND SOUTH TITLE BOUNDARY OF THE SITE.
- NO.3 ALL HABITABLE ROOM WINDOWS TO BE DOUBLE GLAZED



GROUND FLOOR PLAN

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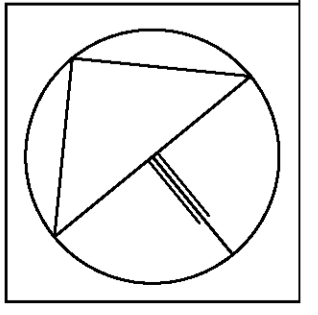
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A	ISSUED FOR PRE-APPLICATION MEETING	9/9/2022	F.A
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1/100	09/09/2022	FERAS AL ASAAD	MK-0322	MK-P100C

PROJECT	DRAWING (NO.)
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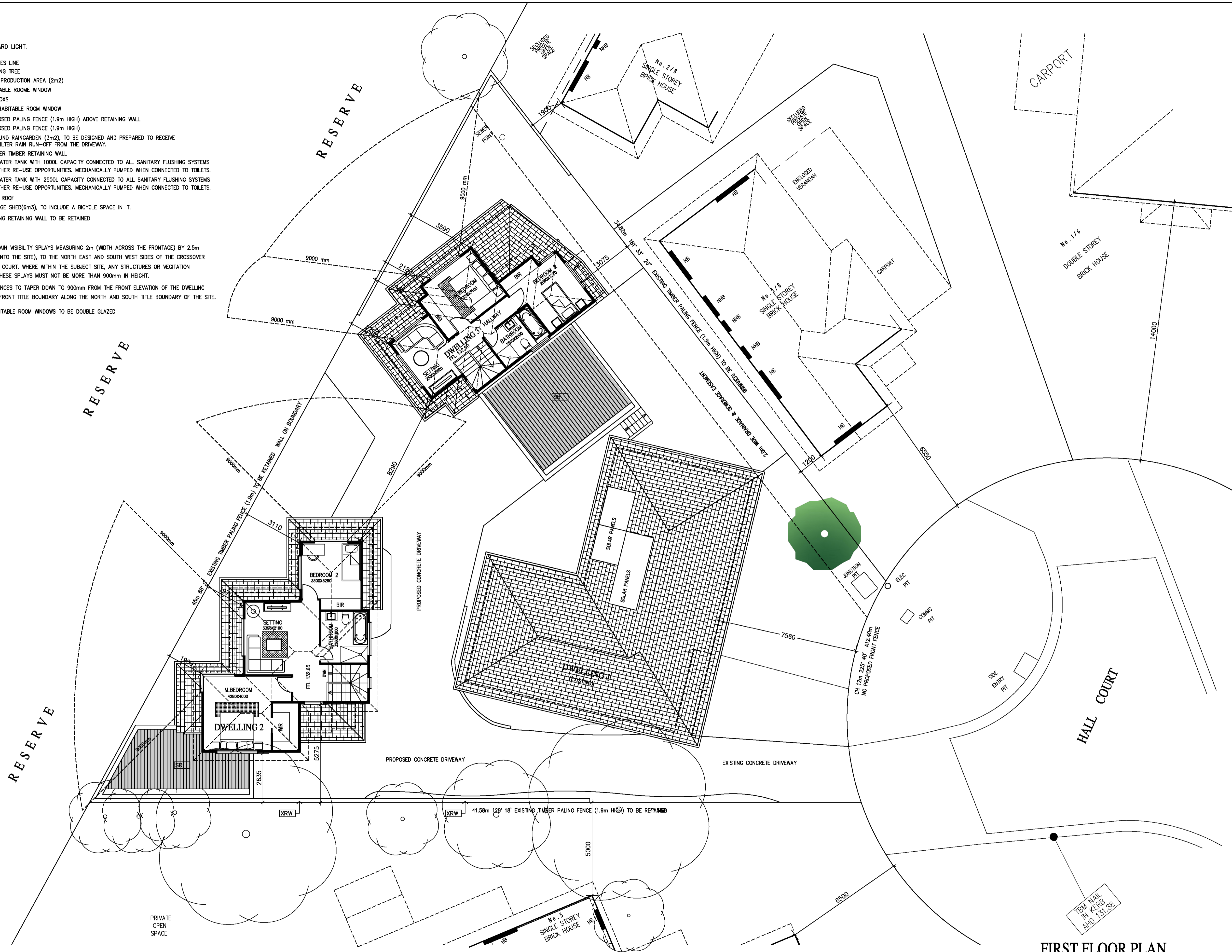


LEGEND

- ⊙ BOLLARD LIGHT.
- B BINS
- CL CLOTHES LINE
- EXT EXISTING TREE
- FPA FOOD PRODUCTION AREA (2m2)
- HB HABITABLE ROOM WINDOW
- MB MAILBOXES
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- SR STEEL ROOF
- SS STORAGE SHED(6m3), TO INCLUDE A BICYCLE SPACE IN IT.
- XRW EXISTING RETAINING WALL TO BE RETAINED

NOTES:

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- NO.2 SIDE FENCES TO TAPER DOWN TO 900mm FROM THE FRONT ELEVATION OF THE DWELLING TO THE FRONT TITLE BOUNDARY ALONG THE NORTH AND SOUTH TITLE BOUNDARY OF THE SITE.
- NO.3 ALL HABITABLE ROOM WINDOWS TO BE DOUBLE GLAZED



FIRST FLOOR PLAN



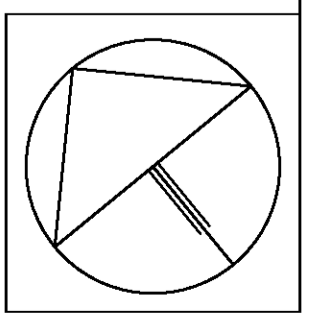
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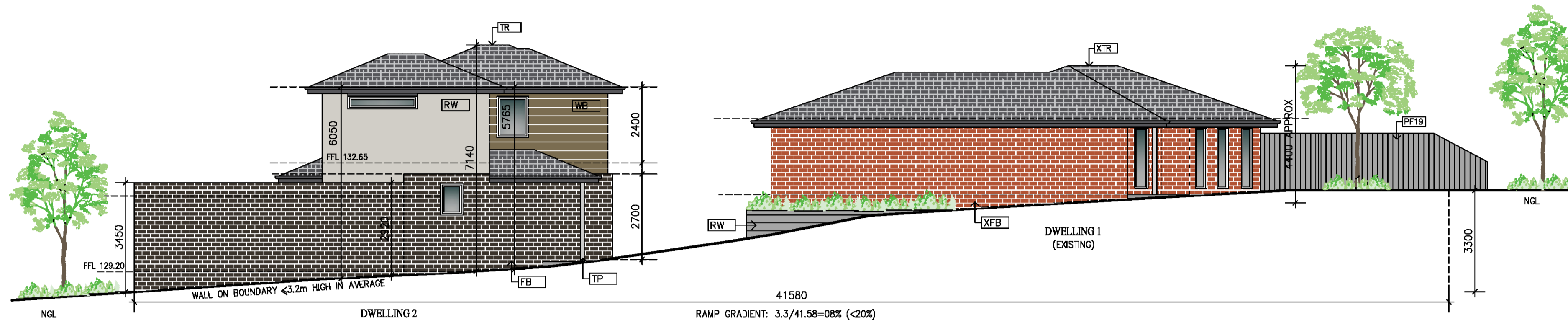
PROJECT				
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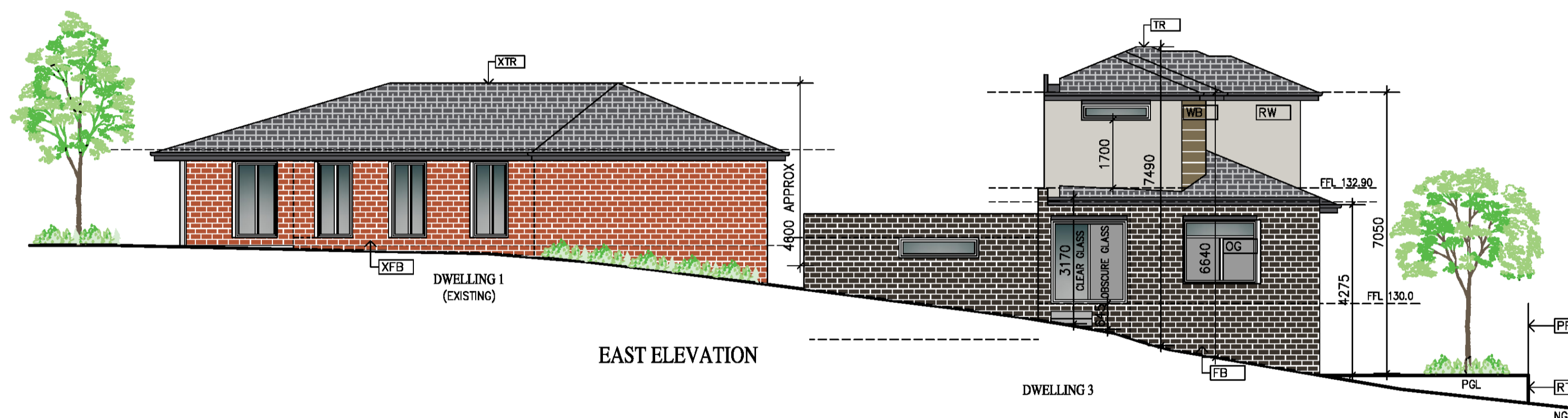
DRAWING (NO.)
TP-5C

LEGEND

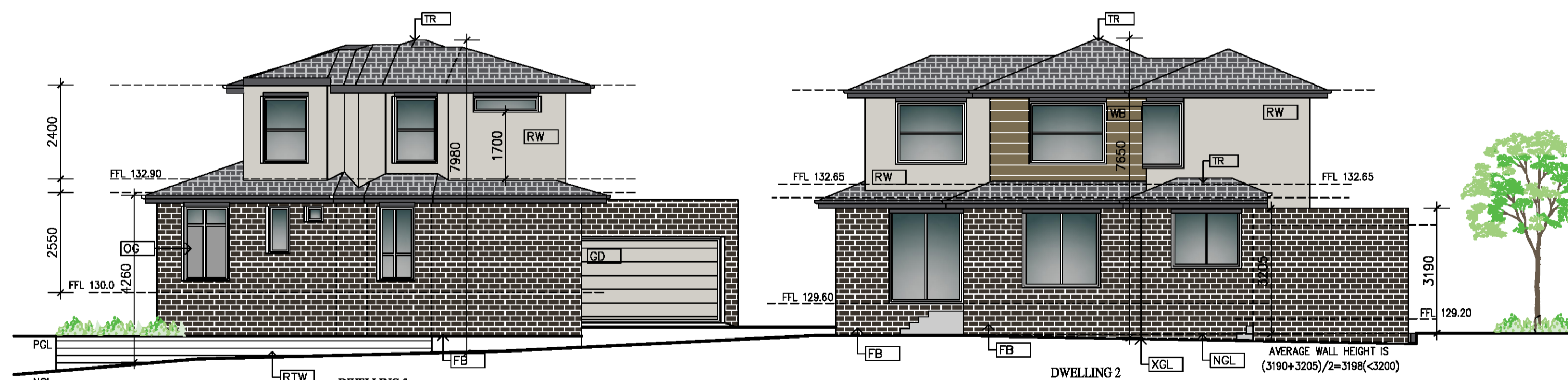
- FB FACE BRICK WALL
- GD GARAGE DOOR, SECTIONAL TILT PANEL LIFT DOOR.
- NGL NATURAL GROUND LEVEL
- OG FIXED AND OBSCURE GLAZING IN ANY PART OF THE WINDOW BELOW 1.7m AFL. OPENABLE PANEL ABOVE.
- PF19 PROPOSED PALING FENCE (1.9m HIGH)
- PGL PROPOSED NEW GROUND LEVEL
- RTW RETAINING WALL
- RW RENDERED WALL
- TP TIMBER POST
- TR TILED ROOF
- WB WEATHERBOARD CLADDING OR SIMILAR
- XFB EXISTING FACE BRICK
- XTR EXISTING TILED ROOF



SOUTH WEST ELEVATION



EAST ELEVATION



NORTH WEST ELEVATION

COLOUR SCHEDULE

- TILED ROOF: CHARCOAL
- GUTTER, FASCIA AND DOWN PIPES: MONUMENT
- FACE BRICK: DARK BROWN
- RENDERED WALL: POLYSTYRENE CLADDING-DUNE
- WEATHERBOARD CLADDING: JASPER
- MAIN DOOR: TIMBER-TIMBER LOOK
- GARAGE DOOR: COLORBOND-TIMBER LOOK
- DRIVEWAY: DARK GREY



RETRACTABLE BLIND (EXTERNAL WINDOW SHADING DEVICE), TO BE INSTALLED ON THE NORTHERN, EASTERN AND WESTERN HABITABLE ROOM WINDOWS.

ELEVATIONS / 1



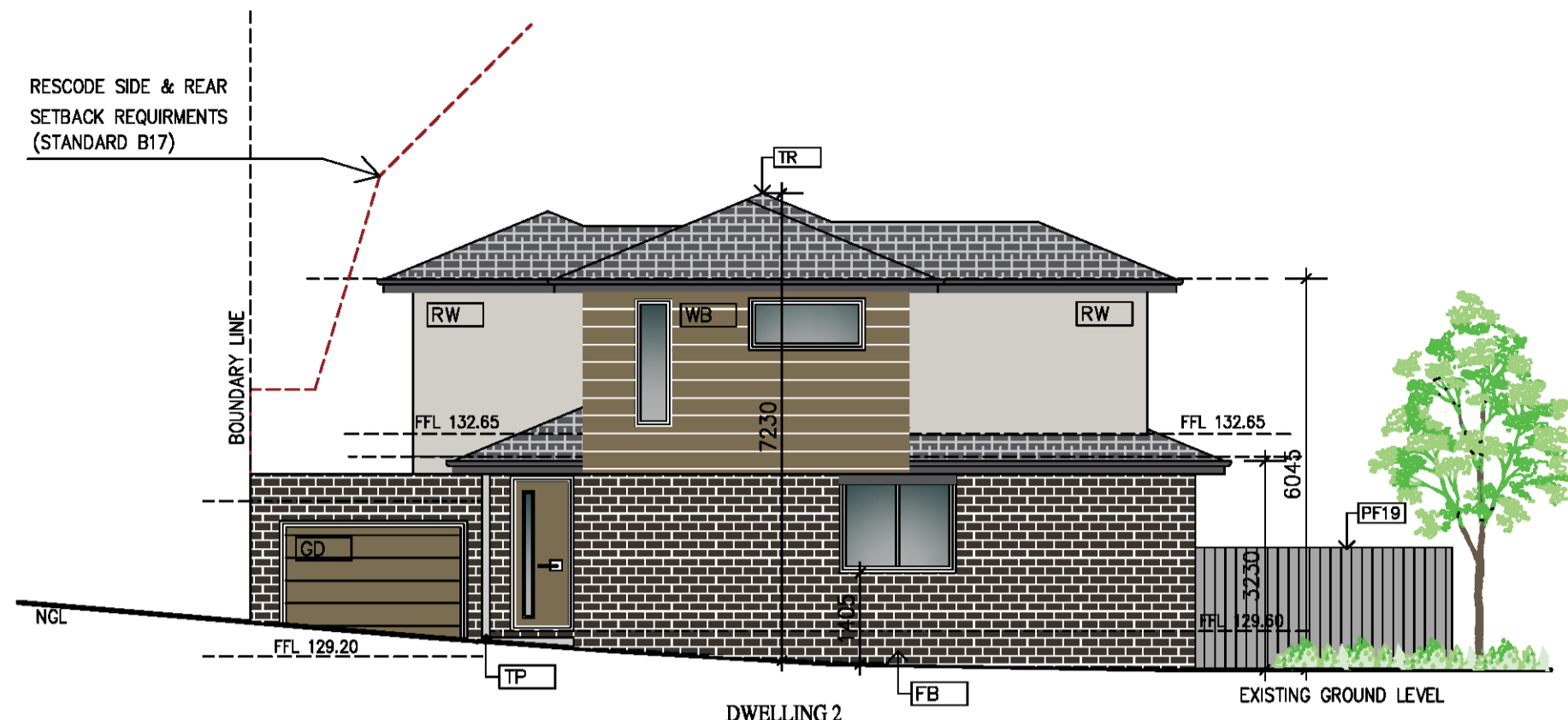
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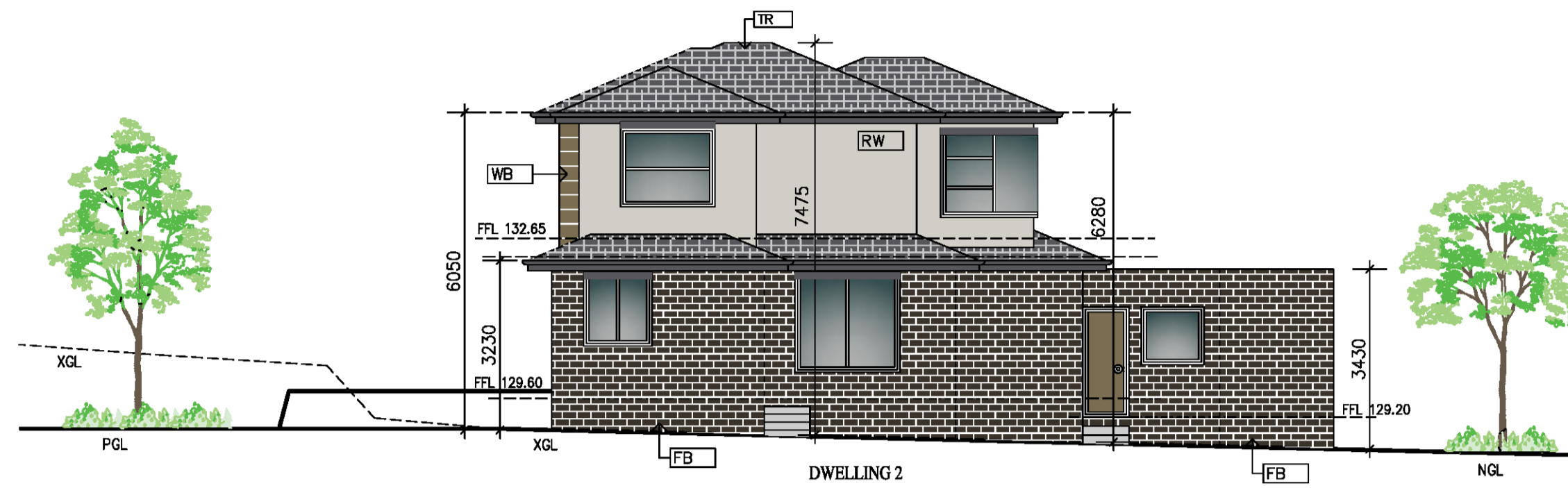
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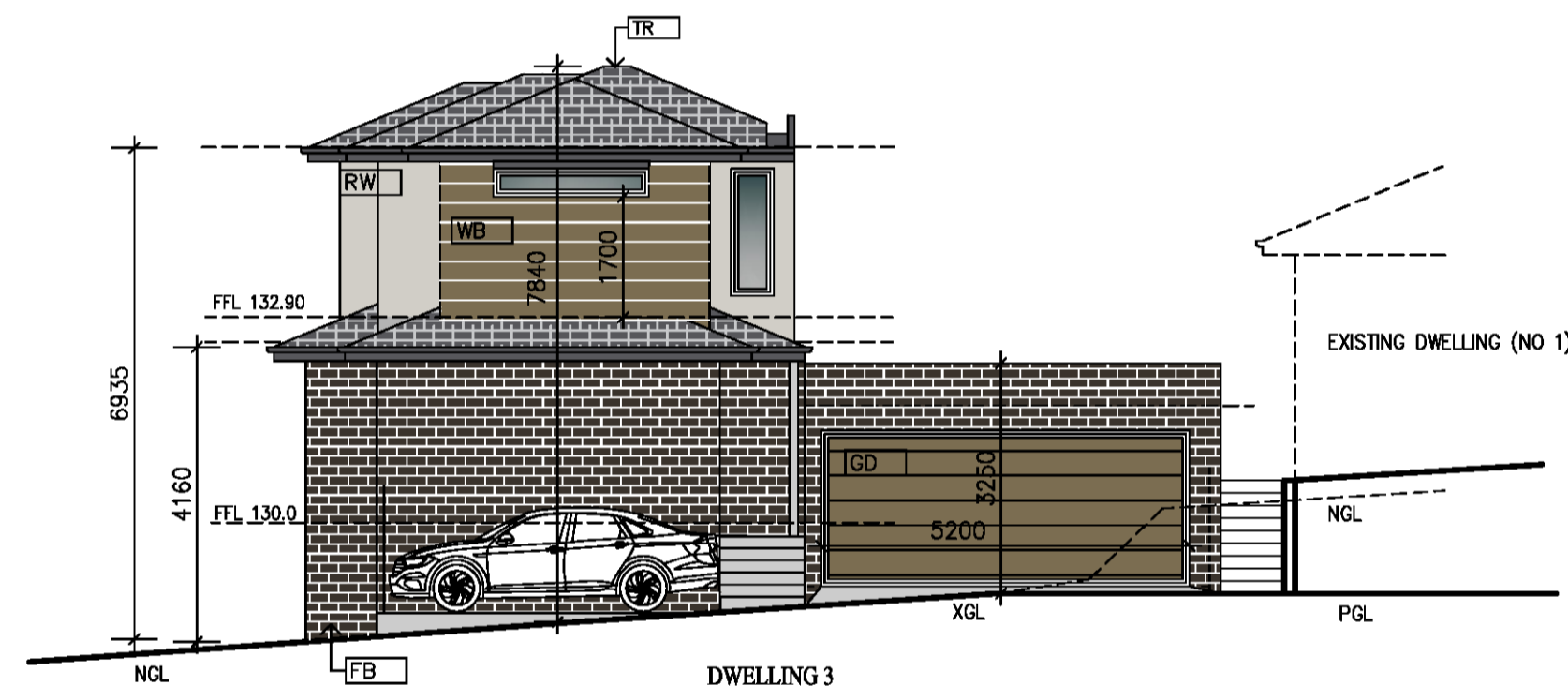
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CAD NO		CAD NO	
MK-P100C		MK-P100C	



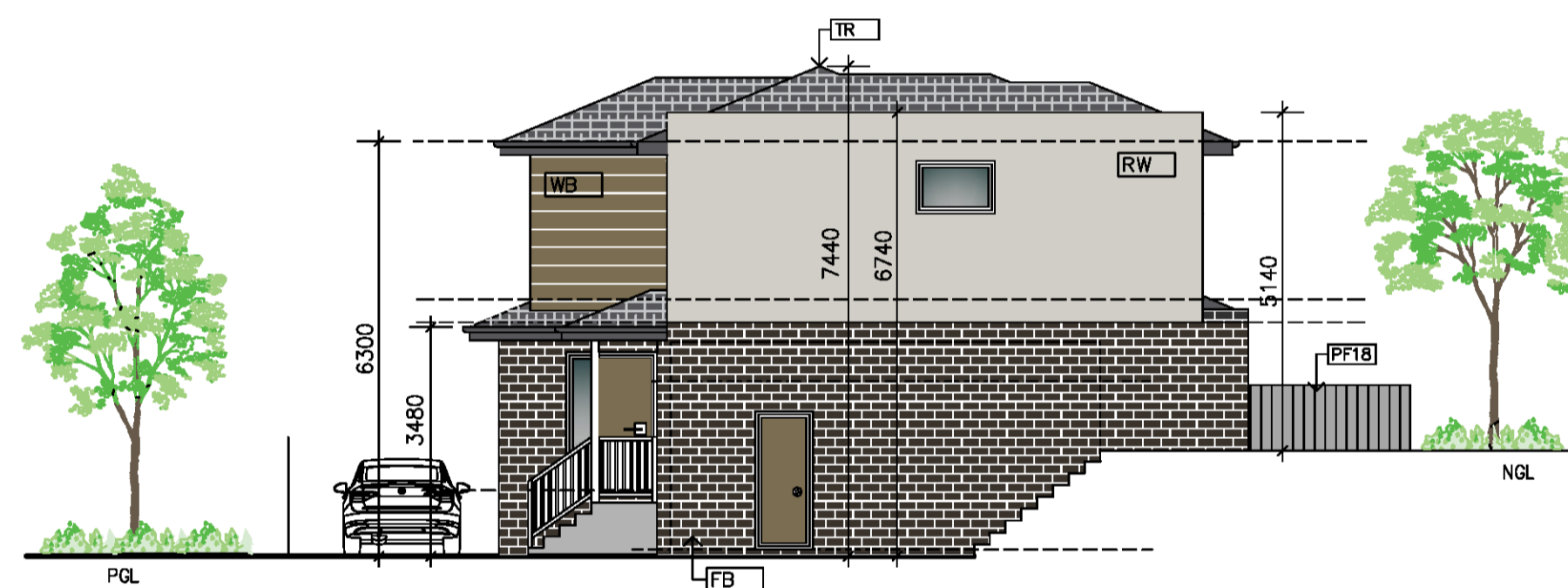
SOUTH EAST ELEVATION



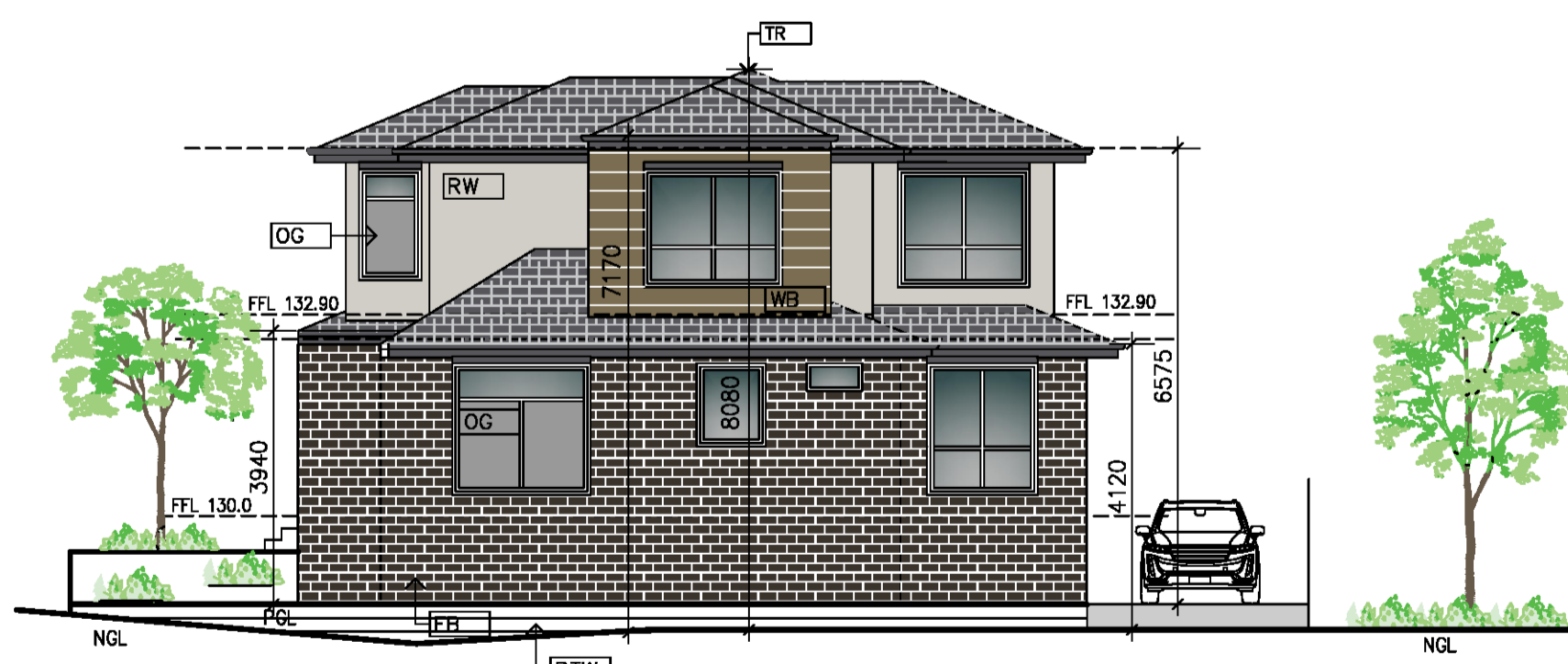
NORTH EAST ELEVATION



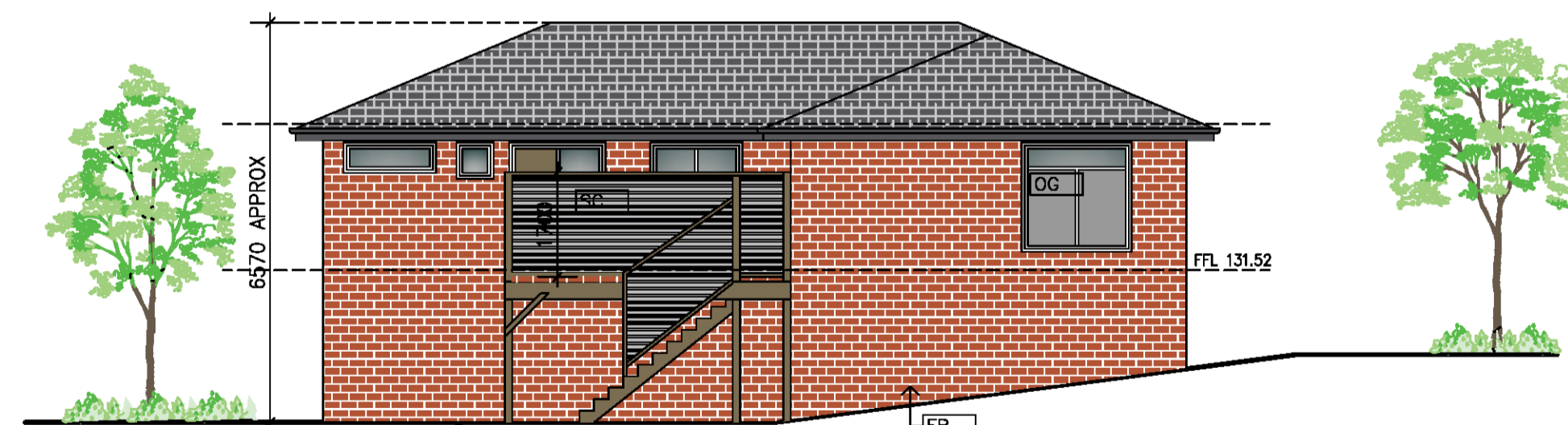
WEST ELEVATION



SOUTH ELEVATION



NORTH ELEVATION



NORTH WEST ELEVATION

LEGEND

- FB FACE BRICK WALL
- GD GARAGE DOOR. SECTIONAL TILT PANEL LIFT DOOR.
- NGL NATURAL GROUND LEVEL
- OG FIXED AND OBSCURE GLAZING IN ANY PART OF THE WINDOW BELOW 1.7m AFL. OPENABLE PANEL ABOVE.
- PF19 PROPOSED PALING FENCE (1.9m HIGH)
- PGL PROPOSED NEW GROUND LEVEL
- RTW RETAINING WALL
- RW RENDERED WALL
- TP TIMBER POST
- TR TILED ROOF
- WB WEATHERBOARD CLADDING OR SIMILAR
- XFB EXISTING FACE BRICK
- XTR EXISTING TILED ROOF

SC FIXED EXTERNAL SCREEN TO 1.7m AFL WITH NO MORE THAN 25% TRANSPARENT.

COLOUR SCHEDULE

-  TILED ROOF: CHARCOAL
-  GUTTER, FASCIA AND DOWN PIPES: MONUMENT
-  FACE BRICK: DARK BROWN
-  RENDERED WALL: POLYSTYRENE CLADDING-DUNE
-  WEATHERBOARD CLADDING: JASPER
-  MAIN DOOR: TIMBER-TIMBER LOOK
-  GARAGE DOOR: COLORBOND-TIMBER LOOK
-  DRIVEWAY: DARK GREY






RETRACTABLE BLIND (EXTERNAL WINDOW SHADING DEVICE), TO BE INSTALLED ON THE NORTHERN, EASTERN AND WESTERN HABITABLE ROOM WINDOWS.

ELEVATIONS / 2

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PROJECT				DRAWING (NO.)	
[REDACTED]				TP-7C	
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO	
1/100	09/09/2022	FERAS AL ASAAD	MK-0322	MK-P100C	

LEGEND

-  GARDEN AREA
-  SITE COVERAGE BUILDING
-  DRIVEWAY
- B BINS
- CL CLOTHES LINE
- FPA FOOD PRODUCTION AREA (2m2)
- MB MAILBOXES
- PF1 PROPOSED PALING FENCE (1.9m HIGH) ABOVE RETAINING WALL
- PF2 PROPOSED PALING FENCE (1.9m HIGH)
- RG INGROUND RAINGARDEN (3m2), TO BE DESIGNED AND PREPARED TO RECEIVE AND FILTER RAIN RUN-OFF FROM THE DRIVEWAY.
- RTW SLEEPER TIMBER RETAINING WALL
- RW1 RAINWATER TANK WITH 1000L CAPACITY CONNECTED TO ALL SANITARY FLUSHING SYSTEMS OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
- RW2 RAINWATER TANK WITH 2500L CAPACITY CONNECTED TO ALL SANITARY FLUSHING SYSTEMS OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
- SR STEEL ROOF
- SS STORAGE SHED(6m3), TO INCLUDE A BICYCLE SPACE IN IT.
- XRW EXISTING RETAINING WALL TO BE RETAINED

CALCULATION

SITE AREA: 955m²
 BUILDING AREA ON GROUND: 368m²
 BUILDING AREA OVER DRIVEWAY: 3m²
 DRIVEWAY (GARDEN AREA): 243m²-3m²=240m²
 REQUIRED GARDEN AREA: 955x0.35=334m²
 PROPOSED GARDEN AREA: 955-368-240=347m² (36.3%)



GARDEN AREA PLAN



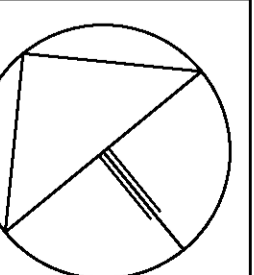
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PROJECT				DRAWING (NO.)	
[Redacted]				TP-8B	
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- LEGEND**
- EXISTING DWELLING, DRIVEWAY AND LAND (422m2), NOT SUBJECT TO TREATMENT
 - CONCRETE DRIVEWAY
 - PERMEABLE SURFACE
 - ROOF CATCHMENT CONNECTED TO RAINWATER TANK WITH THE USE OF CHARGED RAINWATER HARVESTING SYSTEM.
 - B BINS
 - CL CLOTHES LINE
 - FPA FOOD PRODUCTION AREA (3m2)
 - RG INGROUND RAINGARDEN (3m2), TO BE DESIGNED AND PREPARED TO RECEIVE AND FILTER RAIN RUN-OFF FROM THE DRIVEWAY.
 - RWT1 RAINWATER TANK WITH 1000L CAPACITY CONNECTED TO ALL SANITARY FLUSHING SYSTEMS OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
 - RWT2 RAINWATER TANK WITH 2500L CAPACITY CONNECTED TO ALL SANITARY FLUSHING SYSTEMS OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
 - SS STORAGE SHED(6m3).

SDA NOTES:

KEY SUSTAINABLE DESIGN STRATEGIES CONSIDERED IN THE DEVELOPMENT INCLUDE:

- HIGH-PERFORMANCE BUILDING FABRIC WITH GOOD LEVELS OF INSULATION
- ENERGY EFFICIENT LED LIGHTS

WATER

- SHOWERHEADS 4 STAR WELS (>= 4.5 BUT <= 6.0)
- TAPS: KITCHEN, BATHROOM 5 STAR WELS RATING
- DISHWASHERS WATER EFFICIENCY: 3 STAR
- WC: 4 STAR WELS RATING
- WASHING MACHINE WATER EFFICIENCY: 3 STAR WELS
- WATER EFFICIENT LANDSCAPING TO BE INSTALLED
- RAINWATER TANKS CONNECTED TO TOILETS.

NOTE: RAINWATER HARVESTING TANKS TO BE USED ONLY FOR RE-USE WITHIN THE DWELLING AND THAT THEY ARE COMPLETELY INDEPENDENT OF ANY DETENTION REQUIREMENTS

ENERGY

- DOUBLE GLAZING TO BE PROVIDED TO ALL HABITABLE ROOM WINDOWS.
- HEATING SYSTEM GAS CENTRAL DUCTS 3 STAR
- COOLING SYSTEM REFRIGERATIVE SPACE 3 STARS
- 5-STAR GAS INSTANTANEOUS HOT WATER SERVICE
- EXTERNAL LIGHTING TO BE CONTROLLED BY MOTION DETECTORS TO ALL EXTERNAL AREAS
- PRIVATE OUTDOOR CLOTHESLINE TO BE PROVIDED

INDOOR ENVIRONMENT QUALITY

- DOUBLE GLAZING REQUIRED TO ALL HABITABLE ROOM WINDOWS.
- SHADING DEVICES TO BE PROVIDED TO EAST, WEST AND NORTH FACING GLAZING

WASTE MANAGEMENT.

THE ADOPTION OF A RECYCLING TARGET OF AT LEAST 70% (BY MASS) FOR ALL DEMOLITION AND CONSTRUCTION WASTE IS RECOMMENDED.

THE CONSTRUCTION STAGE IS WHERE ALL WASTE MANAGEMENT STRATEGIES ARE IMPLEMENTED, TO ENSURE THAT CONTRACTORS ARE ABLE TO MEET DESCRIBED PROCESS AND TARGETS. WE RECOMMEND THE FOLLOWING:

- ALLOW FOR SUFFICIENT SPACE ON SITE TO ACCOMMODATE NOT ONLY NEW MATERIALS, BUT ALSO DIFFERENT
- SKIPS FOR DIFFERENT WASTE AND RECYCLING STREAMS.
- CLEARLY LABEL INDIVIDUAL SKIPS AND BINS AND PROTECT THEM FROM CONTAMINATION, RAIN AND WIND.
- ORGANISE REGULAR PICK UP OF SKIPS AND BINS TO AVOID OVERLOADING OR FALSE USE OF CONTAINERS
- ENSURE SUB-CONTRACTORS ARE FULLY AWARE OF THE SITE'S WASTE MANAGEMENT PRACTICES.
- MAKE SURE WRITTEN CONTRACTS WITH TRADES INCLUDE WASTE MINIMIZATION PRACTICES.
- PROVIDE SEPARATE BINS FOR HOUSEHOLD WASTE.
- ASK SUPPLIERS TO COLLECT/RECYCLE PACKAGING.

MATERIALS.

MATERIALS THAT WILL BE USED ARE: CONCRETE SLAB, BRICK WORK, TIMBER FRAMES, LIGHT WEIGHT CLADDING AND TILED ROOF. WALL AND CEILING INSULATIONS TO BE IMPLEMENTED AS PER ENERGY RATING REPORT AND RECOMMENDATIONS TO IMPROVE ENERGY EFFICIENCY RATING.

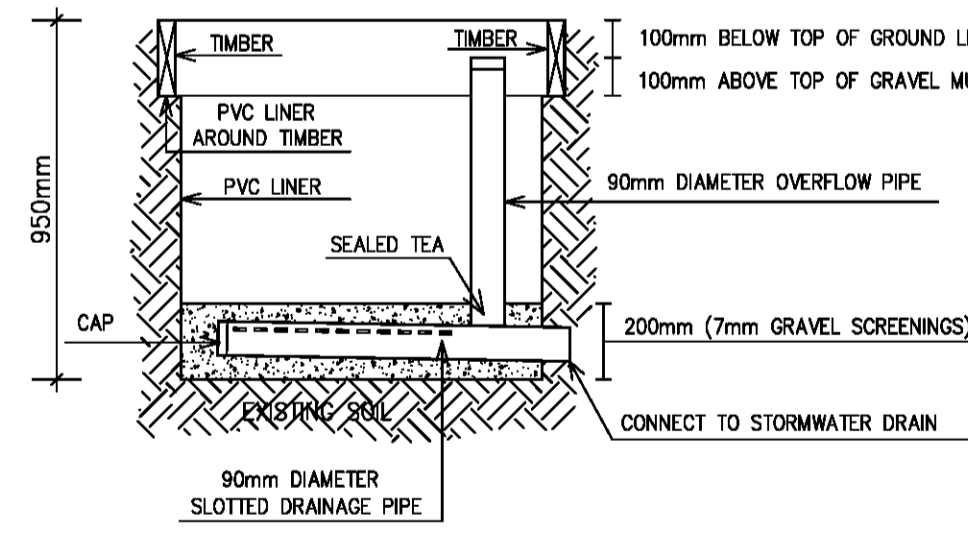
VOC

IT IS REQUIRED AND COMMITMENT TO USE LOW VOLATILE ORGANIC COMPOUNDS (VOC) FOR:

- INTERNAL FINISHES AND INTERNAL PAINTED SURFACES. NOT TO EXCEED 50G/L
- CERAMIC TILE ADHESIVE. NOT TO EXCEED 65G/L
- STRUCTURAL GLAZING ADHESIVE. NOT TO EXCEED 100G/L
- ADHESIVES AND SEALANTS. NOT TO EXCEED 50G/L

RAINWATER TANK MAINTENANCE:

REGULAR MAINTENANCE WILL IMPROVE THE WATER QUALITY AND EXTEND THE LIFE OF YOUR SYSTEM. EMPLOY PROFESSIONAL SERVICES FIRMS TO CARRY OUT THE MAINTENANCE WORKS, AND OBSERVE ALL PRACTICE RECOMMENDATIONS AND SAFETY REGULATIONS.



INGROUND RAINGARDEN
SCALE : 1/20



Melbourne Water STORM Rating Report

TransactionID: 1514201
Municipality: HUME
Rainfall Station: HUME
Address: 7 Hall Ct

Meadow Heights
VIC 3048
Assessor: FERAS AL ASAAD
Development Type: Residential - Multiunit
Allotment Site (m2): 533.00
STORM Rating %: 100

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
DWELLING 2 ROOF	111.00	Rainwater Tank	2,500.00	3	127.00	93.00
DWELLING 3 ROOF	73.00	Rainwater Tank	2,500.00	2	131.00	94.90
DWELLING 1 GARAGE	37.00	Rainwater Tank	1,000.00	0	0.00	100.00
TREATED DRIVEWAY	119.00	Raingarden 100mm	3.00	0	130.45	0.00
UNTREATED DRIVEWAY	60.00	None	0.00	0	0.00	0.00

Date Generated: 18-Jan-2023

Program Version: 1.0.0

ROOF CATCHMENT PLAN

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Building Designer DP-AD 36309
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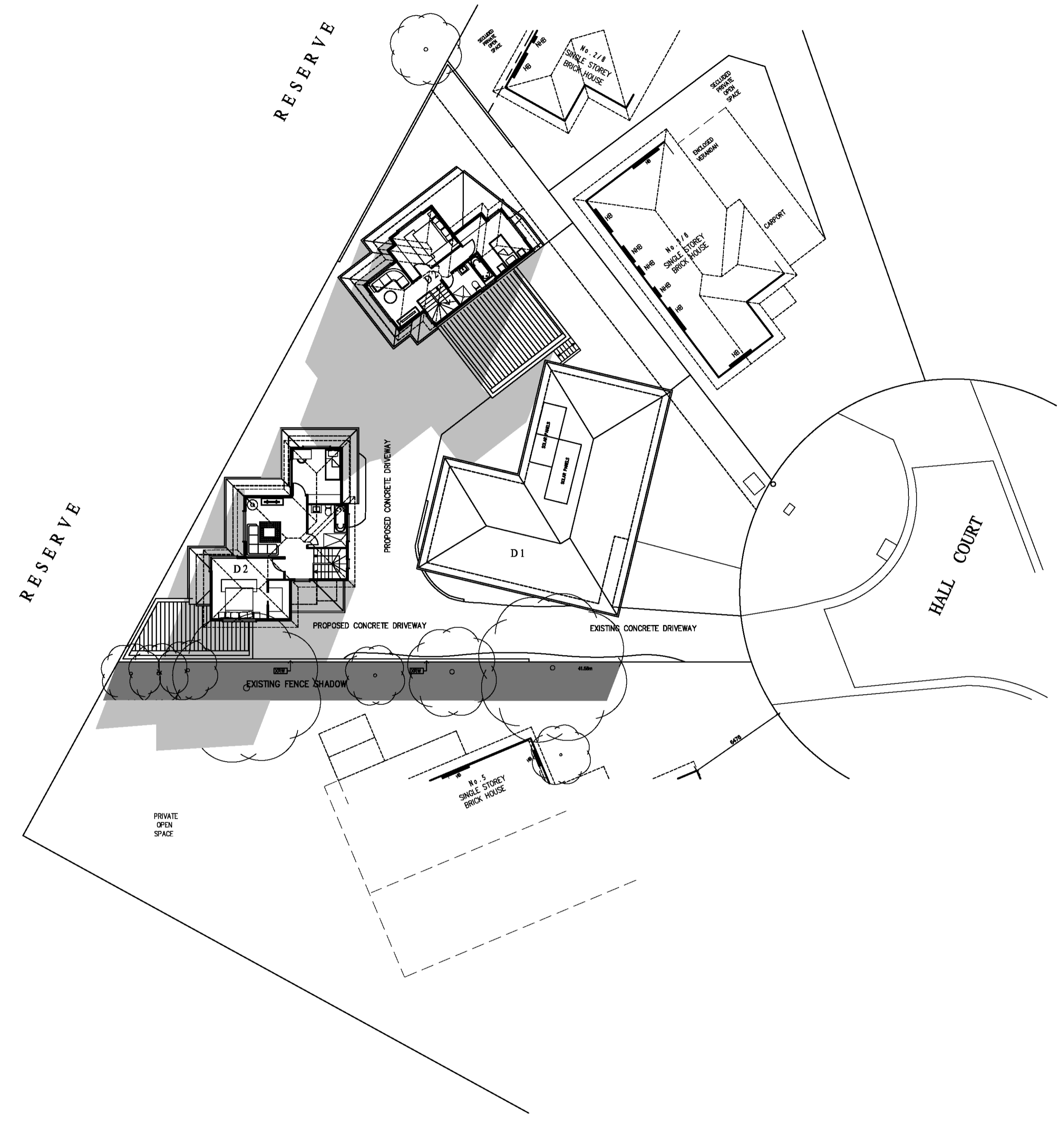
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A	ISSUED FOR PLANNING PERMIT	17/9/22	F.A
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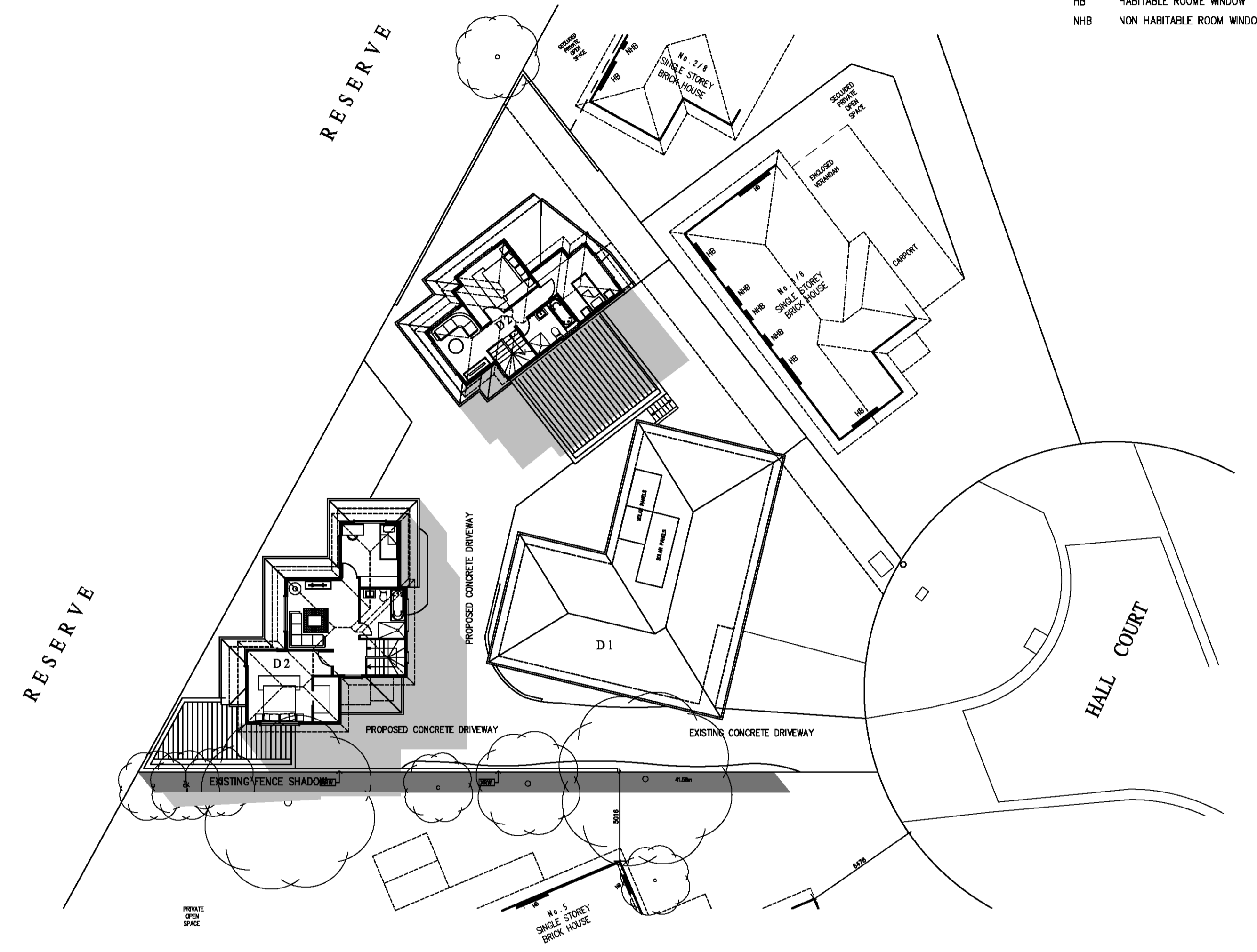
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TP-9B

LEGEND

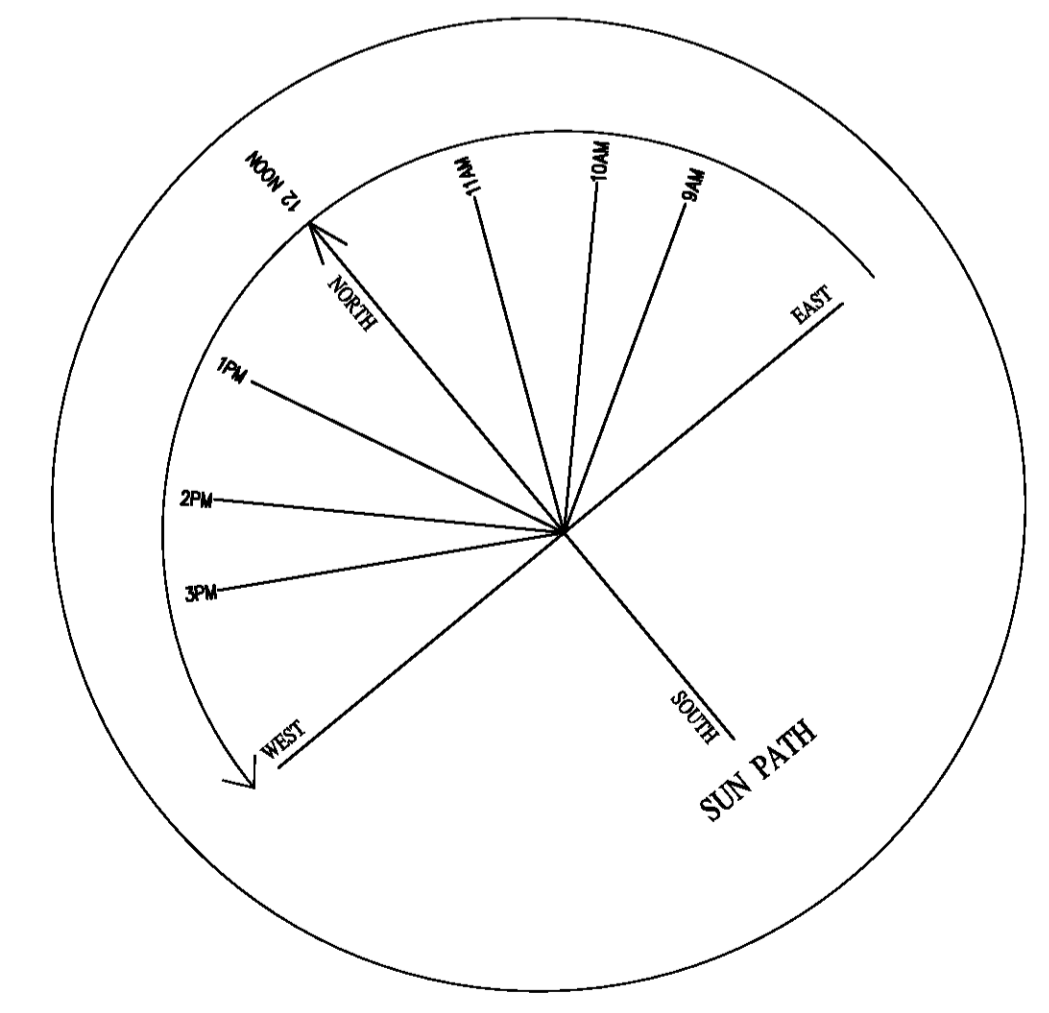
- NEW SHADOW
- EXISTING FENCE SHADOW
- HB HABITABLE ROOM WINDOW
- NHB NON HABITABLE ROOM WINDOW



22nd SEP - 9AM SHADOW DIAGRAM



22nd SEP - 12 NOON SHADOW DIAGRAM



9AM & 12 NOON SHADOW DIAGRAMS



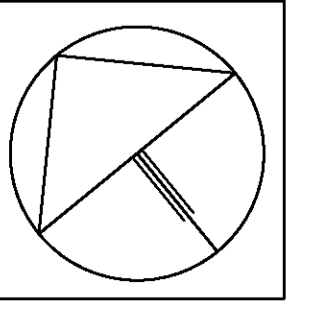
Feras Al Asaad
Building Designer DP-AD 36309
 | PO BOX 247 CRAIGIEBURN, VIC 3064 |
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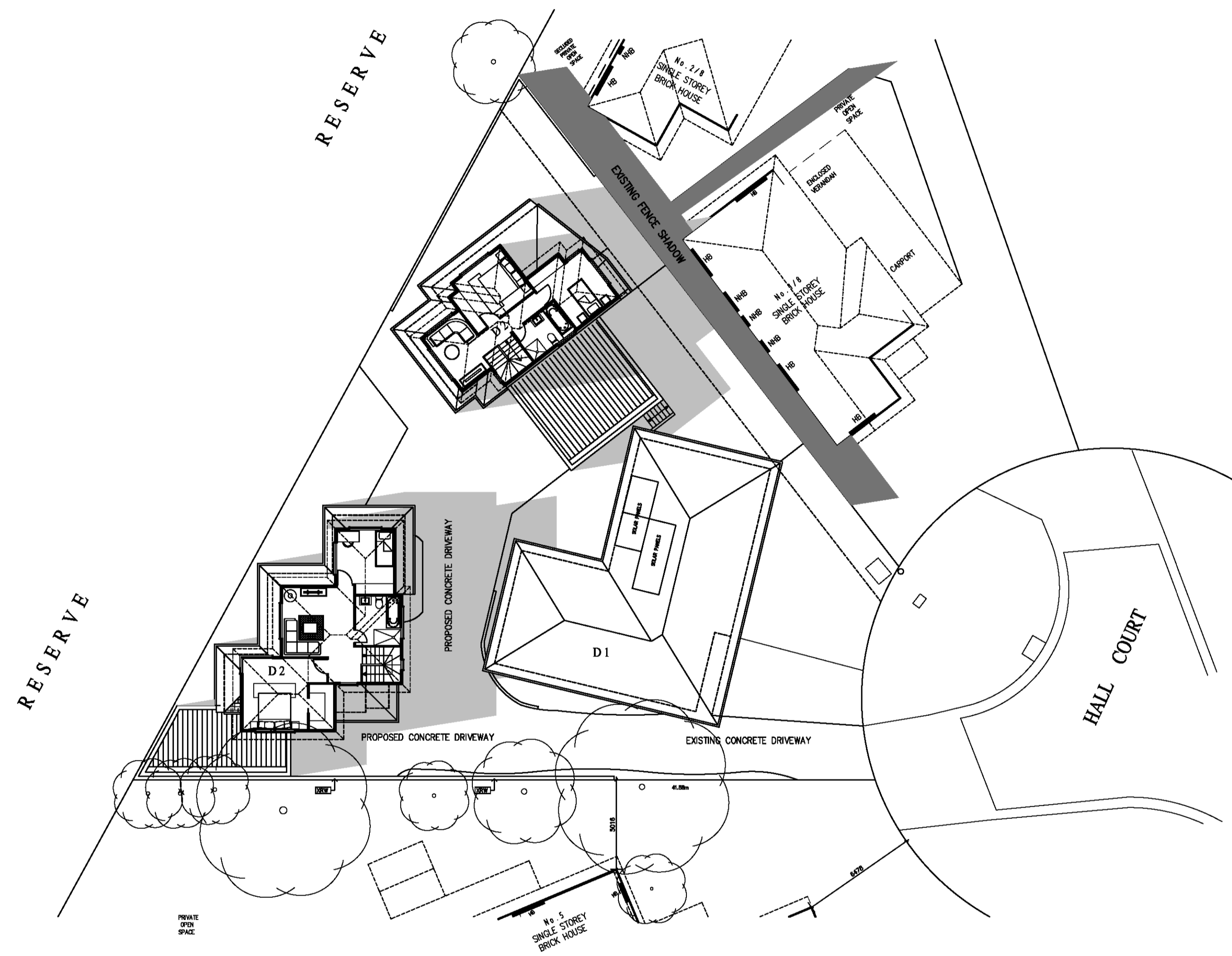
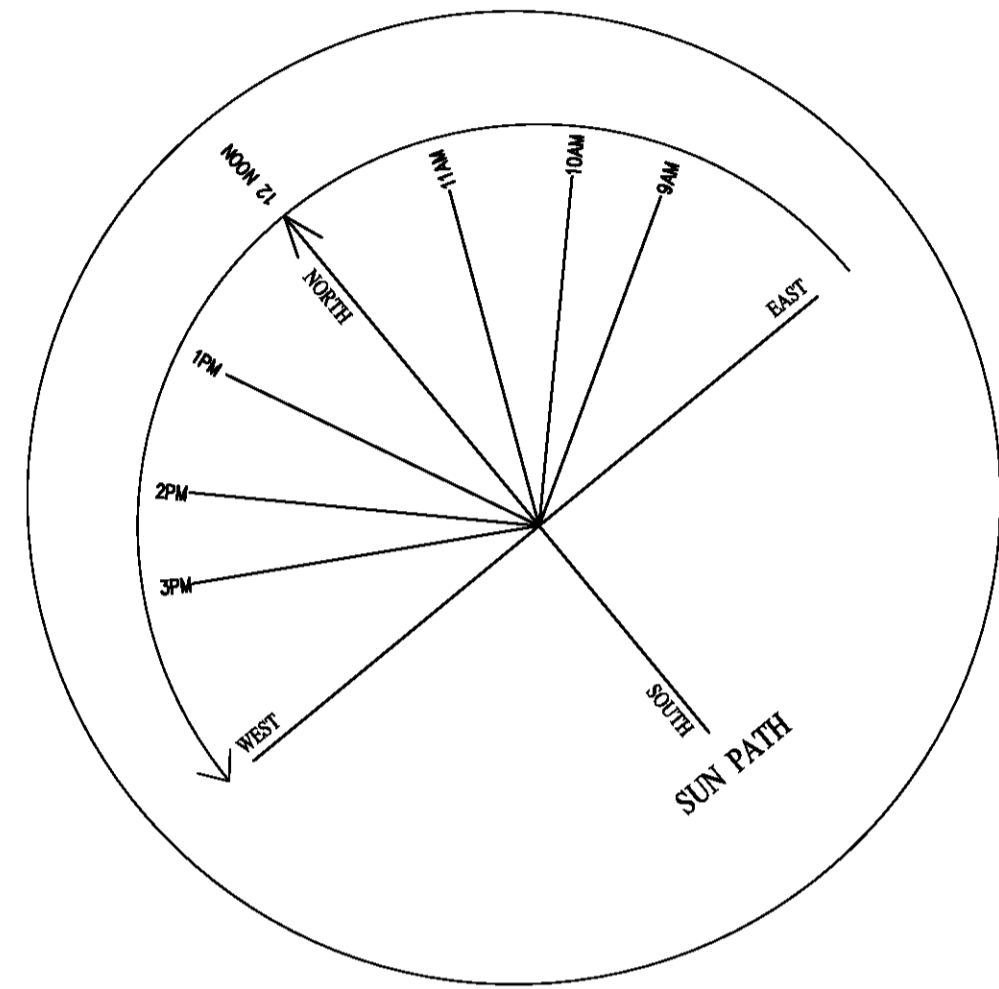
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REV	DESCRIPTION	DATE	BY
A	ISSUED FOR PLANNING PERMIT	17/9/2022	F.A
B	AMENDED AS PER COUNCIL'S FURTHER INFORMATION LETTER DATED 17/10/2022	18/11/2023	F.A
C			
D			
E			
F			

PROJECT				DRAWING (NO.)	
[REDACTED]				TP-10B	
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO	
1/200	17/09/2022	FERAS AL ASAAD	MK-0322	MK-P100B	



- LEGEND**
- NEW SHADOW
 - EXISTING FENCE SHADOW
 - HB HABITABLE ROOM WINDOW
 - NHB NON HABITABLE ROOM WINDOW

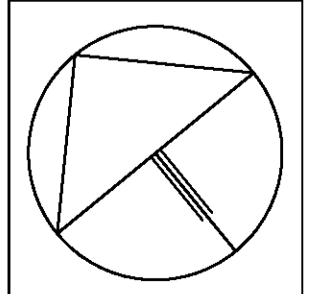


22nd SEP - 3PM SHADOW DIAGRAM

3PM SHADOW DIAGRAM

REV	DESCRIPTION	DATE	BY
A	ISSUED FOR PLANNING PERMIT	17/9/2022	F.A
B	AMENDED AS PER COUNCIL'S FURTHER INFORMATION LETTER DATED 17/10/2022	18/01/2023	F.A
C			
D			
E			
F			

PROJECT				DRAWING (NO.)	
				TP-11B	
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO	
1/200	17/09/2022	FERAS AL ASAAD	MK-0322	MK-P1008	



Sustainable Design Assessment

Project: Proposed Three Dwelling Development
(including existing)

Municipality: Hume City Council

Address: 7 Hall Court-Meadow Heights, Vic 3048

Client: [REDACTED]



Feras Building
DESIGN

| PO Box 247-Craigieburn, Vic 3064 | Tel/Fax: (03) 9305 1234 | Mob: 0423 489 804 | Email: feras@ferasdesign.com.au |
Web: www.ferasdesign.com.au

The Report outlines the key Ecologically Sustainable Design (ESD) initiatives for No 7 Hall Court in Meadow Heights. It addresses the ESD requirements of Hume City Council and provide an overview of the sustainable design initiatives.

Subject site/Proposal

Site area is 955m² located to the North West side of Hall Court. The area of the new Dwellings that has been treated is 533m².

Dwelling No 1 and the existing driveway have not been treated as they are existing, the report provide treatment for the new buildings including the proposed double Garage for Dwelling No 1.

Key sustainable design strategies considered in the development include;

- High-performance building fabric with good levels of insulation
- Energy efficient LED lights

WATER

- Showerheads 4 Star WELS (≥ 4.5 but ≤ 6.0)
- Taps: Kitchen, Bathroom 5 Star WELS Rating
- Dishwashers water efficiency: 3 Star
- WC: 4 Star WELS Rating
- Washing Machine Water Efficiency: 3 Star Weis
- Water Efficient Landscaping to be installed
- Rainwater connected to toilets

Note: Rainwater harvesting tanks noted to be used only for re-use within the dwellings and that they are completely independent of any detention requirements

ENERGY

- Double glazing to be provided to All Habitable Room Windows
- Heating System Gas Central Ducts 3 Star
- Cooling System Refrigerative space 3 Stars
- 5-star Gas Instantaneous Hot Water Service
- External lighting to be controlled by motion detectors to all external areas
- Private outdoor clothesline to be provided

INDOOR ENVIRONMENT QUALITY

- Double glazing required to all Habitable Room Windows.
- Shading devises to be provided to North, East and West facing windows.

TRANSPORT

- No Requirements

Materials.

Materials that will be used are: concrete slab, brick work, timber frames, light weight cladding and Tiled roof. Wall and ceiling insulations to be implemented as per energy rating reports and recommendations to improve energy efficiency rating.

VOC

It is required and commitment to use low Volatile Organic Compounds (VOC) for:

- Internal finishes and internal painted surfaces. Not to exceed 50g/L
- Ceramic tile adhesive. Not to exceed 65g/L
- Structural glazing adhesive. Not to exceed 100g/L
- Adhesives and sealants. Not to exceed 50g/L

Conclusion

The project achieves all the minimum requirements under BESS, the new industry ESD best practice Benchmark, achieving a rating of 51%

BESS Report

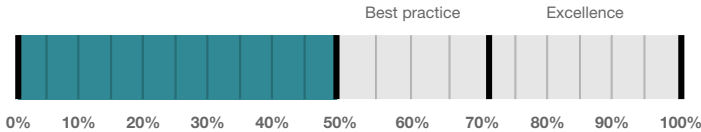
Built Environment Sustainability Scorecard



This BESS report outlines the sustainable design commitments of the proposed development at 7 Hall Ct Meadow Heights VIC 3048. The BESS report and accompanying documents and evidence are submitted in response to the requirement for a Sustainable Design Assessment or Sustainability Management Plan at Hume City Council.

Note that where a Sustainability Management Plan is required, the BESS report must be accompanied by a report that further demonstrates the development's potential to achieve the relevant environmental performance outcomes and documents the means by which the performance outcomes can be achieved.

Your BESS Score



51%

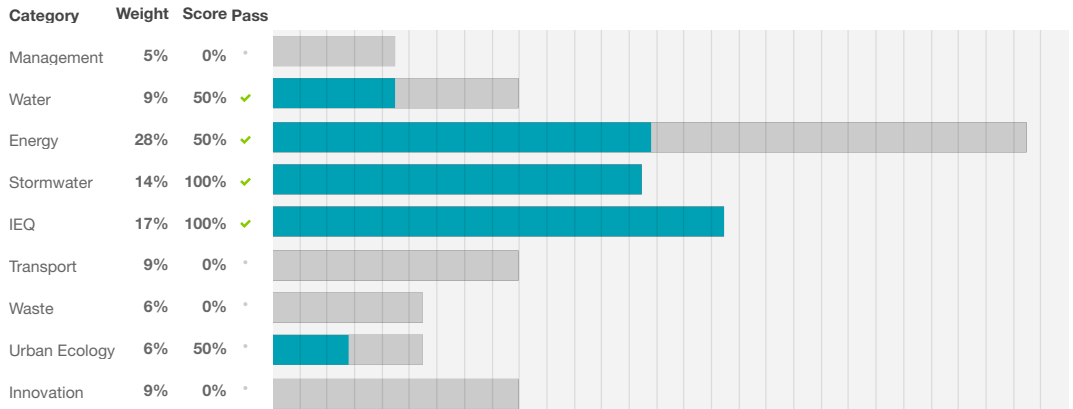
Project details

Address 7 Hall Ct Meadow Heights VIC 3048
Project no CD87BEEA-R2
BESS Version BESS-6

Site type Multi dwelling (dual occupancy, townhouse, villa unit etc)
Account feras@ferasdesign.com.au
Application no.
Site area 533.00 m²
Building floor area 155.00 m²
Date 18 January 2023
Software version 1.7.1-B.393



Performance by category ● Your development ● Maximum available



Dwellings & Non Res Spaces

Dwellings

Name	Quantity	Area	% of total area
Townhouse			
Town house 2	1	82.0 m ²	52%
Town House 3	1	73.0 m ²	47%
Total	2	155 m²	100%

Supporting information

Floorplans & elevation notes

Credit	Requirement	Response	Status
Water 3.1	Water efficient garden annotated	To be printed Indicated on plans	✓
Energy 3.3	External lighting sensors annotated	To be printed Indicated on the plans	✓
Energy 3.4	Clothes line annotated (if proposed)	To be printed Shown on the plans	✓
Stormwater 1.1	Location of any stormwater management systems used in STORM or MUSIC modelling (e.g. Rainwater tanks, raingarden, buffer strips)	To be printed Shown on the plans	✓
IEQ 2.2	Dwellings meeting the requirements for having 'natural cross flow ventilation'	To be printed As per the design	✓
IEQ 3.1	Glazing specification to be annotated	To be printed Will be confirmed when energy rating reports have been completed	✓
IEQ 3.2	Adjustable shading systems	To be printed Shown on the plans	✓
IEQ 3.3	North-facing living areas	To be printed As pe the design	✓
Urban Ecology 2.1	Vegetated areas	To be printed Shown on the plan	✓

Supporting evidence

Credit	Requirement	Response	Status
Stormwater 1.1	STORM report or MUSIC model	Uploaded Storm Rating Report.PDF Attached is the report https://bess.net.au/t/024440AA	✓
IEQ 2.2	A list of dwellings with natural cross flow ventilation	To be printed Attached is the floor plan	✓
IEQ 3.1	Reference to floor plans or energy modelling showing the glazing specification (U-value and Solar Heat Gain Coefficient, SHGC)	To be printed Will be confirmed when the energy rating reports have been completed	✓
IEQ 3.2	Reference to floor plans and elevations showing shading devices	Uploaded MK-ELE1.pdf Attached is the elevations plan showing the device https://bess.net.au/t/53E21DEA	✓
IEQ 3.3	Reference to the floor plans showing living areas orientated to the north.	To be printed Refer to attached floor plan	✓

Credit summary

Management Overall contribution 4.5%

		0%
1.1 Pre-Application Meeting		0%
2.2 Thermal Performance Modelling - Multi-Dwelling Residential		0%
4.1 Building Users Guide		0%

Water Overall contribution 9.0%

		Minimum required 50%	50%	✔ Pass
1.1 Potable water use reduction			40%	
3.1 Water Efficient Landscaping			100%	






Energy Overall contribution 27.5%

		Minimum required 50%	50%	✔ Pass
1.2 Thermal Performance Rating - Residential			16%	
2.1 Greenhouse Gas Emissions			100%	
2.2 Peak Demand			0%	
2.3 Electricity Consumption			100%	
2.4 Gas Consumption			100%	
2.5 Wood Consumption			N/A	✦ Scoped Out
No wood heating system present				
3.2 Hot Water			100%	
3.3 External Lighting			100%	
3.4 Clothes Drying			100%	
3.5 Internal Lighting - Residential Single Dwelling			0%	
4.4 Renewable Energy Systems - Other			0%	⊘ Disabled
No other (non-solar PV) renewable energy is in use.				
4.5 Solar PV - Houses and Townhouses			0%	⊘ Disabled
No solar PV renewable energy is in use.				

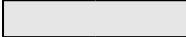

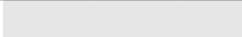
Stormwater Overall contribution 13.5%

		Minimum required 100%	100%	✔ Pass
1.1 Stormwater Treatment			100%	

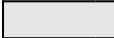

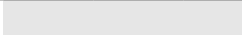
IEQ Overall contribution 16.5%

		Minimum required 50%	100%	✔ Pass
2.2	Cross Flow Ventilation		100%	
3.1	Thermal comfort - Double Glazing		100%	
3.2	Thermal Comfort - External Shading		100%	
3.3	Thermal Comfort - Orientation		100%	







Transport Overall contribution 9.0%

			0%	
1.1	Bicycle Parking - Residential		0%	
1.2	Bicycle Parking - Residential Visitor		N/A	✦ Scoped Out Not enough dwellings.
2.1	Electric Vehicle Infrastructure		0%	

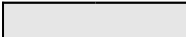
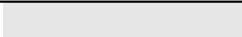
Waste Overall contribution 5.5%

			0%	
1.1	Construction Waste - Building Re-Use		0%	
2.1	Operational Waste - Food & Garden Waste		0%	

Urban Ecology Overall contribution 5.5%

			50%	
2.1	Vegetation		100%	
2.2	Green Roofs		0%	
2.3	Green Walls and Facades		0%	
2.4	Private Open Space - Balcony / Courtyard Ecology		0%	
3.1	Food Production - Residential		0%	

Innovation Overall contribution 9.0%

			0%	
1.1	Innovation		0%	

Credit breakdown

Management Overall contribution 0%

1.1 Pre-Application Meeting	0%
Score Contribution	This credit contributes 50.0% towards the category score.
Criteria	Has an ESD professional been engaged to provide sustainability advice from schematic design to construction? AND Has the ESD professional been involved in a pre-application meeting with Council?
Question	Criteria Achieved ?
Project	No
2.2 Thermal Performance Modelling - Multi-Dwelling Residential	0%
Score Contribution	This credit contributes 33.3% towards the category score.
Criteria	Have preliminary NatHERS ratings been undertaken for all thermally unique dwellings?
Question	Criteria Achieved ?
Townhouse	No
4.1 Building Users Guide	0%
Score Contribution	This credit contributes 16.7% towards the category score.
Criteria	Will a building users guide be produced and issued to occupants?
Question	Criteria Achieved ?
Project	No


Water Overall contribution 4% Minimum required 50%

Water Approach	
What approach do you want to use for Water?:	Use the built in calculation tools
Project Water Profile Question	
Do you have a reticulated third pipe or an on-site water recycling system?:	No
Are you installing a swimming pool?:	No
Are you installing a rainwater tank?:	Yes
Water fixtures, fittings and connections	
Showerhead: All	4 Star WELS (>= 6.0 but <= 7.5)
Bath: All	Medium Sized Contemporary Bath
Kitchen Taps: All	>= 5 Star WELS rating
Bathroom Taps: All	>= 5 Star WELS rating
Dishwashers: All	>= 3 Star WELS rating
WC: All	>= 4 Star WELS rating
Urinals: All	Scope out
Washing Machine Water Efficiency: All	Default or unrated
Which non-potable water source is the dwelling/space connected to?:	
Town house 2	Rainwater Tank 1
Town House 3	Rainwater Tank 2
Non-potable water source connected to Toilets: All	Yes
Non-potable water source connected to Laundry (washing machine): All	No
Non-potable water source connected to Hot Water System: All	No
Rainwater Tanks	
What is the total roof area connected to the rainwater tank?:	
Rainwater Tank 1	82.0 m ²
Rainwater Tank 2	73.0 m ²
Tank Size:	
Rainwater Tank 1	2,500 Litres
Rainwater Tank 2	2,500 Litres
Irrigation area connected to tank:	
Rainwater Tank 1	20.0 m ²
Rainwater Tank 2	20.0 m ²
Is connected irrigation area a water efficient garden?:	
Rainwater Tank 1	No
Rainwater Tank 2	No
Other external water demand connected to tank?:	
Rainwater Tank 1	-
Rainwater Tank 2	-

1.1 Potable water use reduction		40%
Score Contribution	This credit contributes 83.3% towards the category score.	
Criteria	What is the reduction in total potable water use due to efficient fixtures, appliances, rainwater use and recycled water use? To achieve points in this credit there must be >25% potable water reduction.	
Output	Reference	
Project	298 kL	
Output	Proposed (excluding rainwater and recycled water use)	
Project	253 kL	
Output	Proposed (including rainwater and recycled water use)	
Project	206 kL	
Output	% Reduction in Potable Water Consumption	
Project	30 %	
Output	% of connected demand met by rainwater	
Project	98 %	
Output	How often does the tank overflow?	
Project	Often	
Output	Opportunity for additional rainwater connection	
Project	101 kL	
3.1 Water Efficient Landscaping		100%
Score Contribution	This credit contributes 16.7% towards the category score.	
Criteria	Will water efficient landscaping be installed?	
Question	Criteria Achieved ?	
Project	Yes	

Energy Overall contribution 14% Minimum required 50%

Dwellings Energy Approach	
What approach do you want to use for Energy?:	Use the built in calculation tools
Project Energy Profile Question	
Are you installing any solar photovoltaic (PV) system(s)?:	No
Are you installing any other renewable energy system(s)?:	No
Gas supplied into building:	Natural Gas
Dwelling Energy Profiles	
Below the floor is: All	Ground or Carpark
Above the ceiling is: All	Outside
Exposed sides: All	4
NatHERS Annual Energy Loads - Heat: All	90.0 MJ/sqm
NatHERS Annual Energy Loads - Cool: All	28.0 MJ/sqm
NatHERS star rating: All	6.5
Type of Heating System: All	B Gas central ducts
Heating System Efficiency: All	3 Star
Type of Cooling System: All	Refrigerative space
Cooling System Efficiency: All	3 Stars
Type of Hot Water System: All	I Gas Instantaneous 5 star
% Contribution from solar hot water system: All	-
Is the hot water system shared by multiple dwellings?: All	No
Clothes Line: All	D Private outdoor clothesline
Clothes Dryer: All	Occupant to Install
1.2 Thermal Performance Rating - Residential	
16%	
Score Contribution	This credit contributes 30.0% towards the category score.
Criteria	What is the average NatHERS rating?
Output	Average NATHERS Rating (Weighted)
Townhouse	6.5 Stars
2.1 Greenhouse Gas Emissions	
100%	
Score Contribution	This credit contributes 10.0% towards the category score.
Criteria	What is the % reduction in annual greenhouse gas emissions against the benchmark?
Output	Reference Building with Reference Services (BCA only)
Townhouse	7,075 kg CO2
Output	Proposed Building with Proposed Services (Actual Building)
Townhouse	4,560 kg CO2
Output	% Reduction in GHG Emissions
Townhouse	35 %

2.2 Peak Demand	0%
Score Contribution	This credit contributes 5.0% towards the category score.
Criteria	What is the % reduction in the instantaneous (peak-hour) demand against the benchmark?
Output	Peak Thermal Cooling Load - Baseline
Townhouse	25.2 kW
Output	Peak Thermal Cooling Load - Proposed
Townhouse	24.5 kW
Output	Peak Thermal Cooling Load - % Reduction
Townhouse	2 %
2.3 Electricity Consumption	100%
Score Contribution	This credit contributes 10.0% towards the category score.
Criteria	What is the % reduction in annual electricity consumption against the benchmark?
Output	Reference
Townhouse	3,435 kWh
Output	Proposed
Townhouse	1,995 kWh
Output	Improvement
Townhouse	41 %
2.4 Gas Consumption	100%
Score Contribution	This credit contributes 10.0% towards the category score.
Criteria	What is the % reduction in annual gas consumption against the benchmark?
Output	Reference
Townhouse	69,492 MJ
Output	Proposed
Townhouse	49,120 MJ
Output	Improvement
Townhouse	29 %
2.5 Wood Consumption	N/A  Scoped Out
This credit was scoped out	No wood heating system present
3.2 Hot Water	100%
Score Contribution	This credit contributes 5.0% towards the category score.
Criteria	What is the % reduction in annual energy consumption (gas and electricity) of the hot water system against the benchmark?
Output	Reference
Townhouse	7,983 kWh
Output	Proposed
Townhouse	5,748 kWh
Output	Improvement
Townhouse	27 %

3.3 External Lighting		100%
Score Contribution	This credit contributes 5.0% towards the category score.	
Criteria	Is the external lighting controlled by a motion detector?	
Question	Criteria Achieved ?	
Townhouse	Yes	
3.4 Clothes Drying		100%
Score Contribution	This credit contributes 5.0% towards the category score.	
Criteria	What is the % reduction in annual energy consumption (gas and electricity) from a combination of clothes lines and efficient driers against the benchmark?	
Output	Reference	
Townhouse	961 kWh	
Output	Proposed	
Townhouse	192 kWh	
Output	Improvement	
Townhouse	80 %	
3.5 Internal Lighting - Residential Single Dwelling		0%
Score Contribution	This credit contributes 5.0% towards the category score.	
Criteria	Does the development achieve a maximum illumination power density of 4W/sqm or less?	
Question	Criteria Achieved?	
Townhouse	No	
4.4 Renewable Energy Systems - Other		0% <input type="checkbox"/> Disabled
This credit is disabled	No other (non-solar PV) renewable energy is in use.	
4.5 Solar PV - Houses and Townhouses		0% <input type="checkbox"/> Disabled
This credit is disabled	No solar PV renewable energy is in use.	


Stormwater Overall contribution 14% Minimum required 100%

Which stormwater modelling are you using?:		Melbourne Water STORM tool
1.1 Stormwater Treatment		100%
Score Contribution	This credit contributes 100.0% towards the category score.	
Criteria	Has best practice stormwater management been demonstrated?	
Question	STORM score achieved	
Project	100	
Output	Min STORM Score	
Project	100	

IEQ Overall contribution 16% Minimum required 50%

2.2 Cross Flow Ventilation	100%
Score Contribution	This credit contributes 20.0% towards the category score.
Criteria	Are all habitable rooms designed to achieve natural cross flow ventilation?
Question	Criteria Achieved ?
Townhouse	Yes
3.1 Thermal comfort - Double Glazing	100%
Score Contribution	This credit contributes 40.0% towards the category score.
Criteria	Is double glazing (or better) used to all habitable areas?
Question	Criteria Achieved ?
Townhouse	Yes
3.2 Thermal Comfort - External Shading	100%
Score Contribution	This credit contributes 20.0% towards the category score.
Criteria	Is appropriate external shading provided to east, west and north facing glazing?
Question	Criteria Achieved ?
Townhouse	Yes
3.3 Thermal Comfort - Orientation	100%
Score Contribution	This credit contributes 20.0% towards the category score.
Criteria	Are at least 50% of living areas orientated to the north?
Question	Criteria Achieved ?
Townhouse	Yes

Transport Overall contribution 0%

1.1 Bicycle Parking - Residential	0%
Score Contribution	This credit contributes 50.0% towards the category score.
Criteria	How many secure and undercover bicycle spaces are there per dwelling for residents?
Question	Bicycle Spaces Provided ?
Townhouse	0
1.2 Bicycle Parking - Residential Visitor	N/A  Scoped Out
This credit was scoped out	Not enough dwellings.
2.1 Electric Vehicle Infrastructure	0%
Score Contribution	This credit contributes 50.0% towards the category score.
Criteria	Are facilities provided for the charging of electric vehicles?
Question	Criteria Achieved ?
Project	No

Waste Overall contribution 0%

1.1 - Construction Waste - Building Re-Use		0%
Score Contribution	This credit contributes 50.0% towards the category score.	
Criteria	If the development is on a site that has been previously developed, has at least 30% of the existing building been re-used?	
Question	Criteria Achieved ?	
Project	No	
2.1 - Operational Waste - Food & Garden Waste		0%
Score Contribution	This credit contributes 50.0% towards the category score.	
Criteria	Are facilities provided for on-site management of food and garden waste?	
Question	Criteria Achieved ?	
Project	No	

Urban Ecology Overall contribution 3%

2.1 Vegetation	100%
Score Contribution	This credit contributes 50.0% towards the category score.
Criteria	How much of the site is covered with vegetation, expressed as a percentage of the total site area?
Question	Percentage Achieved ?
Project	30 %
2.2 Green Roofs	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Does the development incorporate a green roof?
Question	Criteria Achieved ?
Project	No
2.3 Green Walls and Facades	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Does the development incorporate a green wall or green façade?
Question	Criteria Achieved ?
Project	No
2.4 Private Open Space - Balcony / Courtyard Ecology	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Is there a tap and floor waste on every balcony / in every courtyard?
Question	Criteria Achieved ?
Townhouse	No
3.1 Food Production - Residential	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	What area of space per resident is dedicated to food production?
Question	Food Production Area
Townhouse	-
Output	Min Food Production Area
Townhouse	2 m²

Innovation Overall contribution 0%

1.1 Innovation	0%
Score Contribution	This credit contributes 100.0% towards the category score.
Criteria	What percentage of the Innovation points have been claimed (10 points maximum)?

Disclaimer

The Built Environment Sustainability Scorecard (BESS) has been provided for the purpose of information and communication. While we make every effort to ensure that material is accurate and up to date (except where denoted as 'archival'), this material does in no way constitute the provision of professional or specific advice. You should seek appropriate, independent, professional advice before acting on any of the areas covered by BESS.

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STORM Rating Report

TransactionID: 1514291
Municipality: HUME
Rainfall Station: HUME
Address: 7 Hall Ct

Meadow Heights

VIC 3048

Assessor: [REDACTED]
Development Type: Residential - Multiunit
Allotment Site (m2): 533.00
STORM Rating %: 100

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
DWELLING 2 ROOF	111.00	Rainwater Tank	2,500.00	3	127.00	93.60
DWELLING 3 ROOF	73.00	Rainwater Tank	2,500.00	2	131.00	94.90
DWELLING 1 GARAGE	37.00	Rainwater Tank	1,000.00	0	0.00	100.00
TREATED DRIVEWAY	119.00	Raingarden 100mm	3.00	0	130.45	0.00
UNTREATED DRIVEWAY	50.00	None	0.00	0	0.00	0.00

Date Generated: 18-Jan-2023

Program Version: 1.0.0