

Application for Planning Permit

Planning Enquiries
 Phone: 03 9205 2200
 Web: <http://www.hume.vic.gov.au>

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#).

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) are mandatory and must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet.

Clear Form

The Land i ① Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 10	St. Name: CASTELLA COURT
Suburb/Locality: MEADOW HEIGHTS		Postcode: 3048

Formal Land Description * Complete either A or B.

⚠ This information can be found on the certificate of title.

A Lodged Plan Title Plan Plan of Subdivision

OR

B

If this application relates to more than one address, please click this button and enter relevant details.

Add Address

The Proposal i **⚠** You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

② For what use, development or other matter do you require a permit? *

If you need help about the proposal, read:
[How to Complete the Application for Planning Permit Form](#)

Select the focus of this application and describe below:

PROPOSED TWO DOUBLE STOREY DWELLINGS

📝 Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

③ Estimated cost of development for which the permit is required *

⚠ You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within **metropolitan Melbourne** (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy must be paid to the State Revenue Office and a current levy certificate must be submitted with the application. Visit www.sro.vic.gov.au for information.


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Existing Conditions i

4 Describe how the land is used and developed now *

eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

A SINGLE STOREY HOUSE AND A BUNGALOW

 Provide a plan of the existing conditions. Photos are also helpful.

Title Information i


5 Encumbrances on title *

If you need help about the title, read:

[How to complete the Application for Planning Permit form](#)

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes. (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive covenants.)

Applicant and Owner Details i

6 Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

*Please provide at least one contact phone number **

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Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

Same as applicant

Declaration i

⑦ **This form must be signed by the applicant ***

⚠ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature:



Date: 11/04/2023

day / month / year

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Need help with the Application?

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#)
General information about the planning process is available at www.delwp.vic.gov.au/planning

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

8 Has there been a pre-application meeting with a Council planning officer?

No Yes

If 'yes', with whom?: MR GREG CASEY

Date: 24/03/2023


day / month / year


Checklist

9 Have you:

Filled in the form completely?

Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 Provided all necessary supporting information and documents?

A full, current copy of title information for each individual parcel of land forming the subject site

A plan of existing conditions.

Plans showing the layout and details of the proposal

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).

If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.

Completed the relevant Council planning permit checklist?

Signed the declaration (section 7)?

Lodgement

Lodge the completed and signed form, the fee payment and all documents with:

Hume City Council
PO Box 119 Dallas VIC 3047
Pascoe Vale Road Broadmeadows VIC 3047

Contact information:

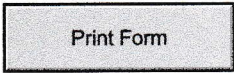
Telephone: 61 03 9205 2200

Email: email@hume.vic.gov.au

DX: 94718

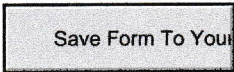
Translation: 03 9205 2200 for connection to Hume Link's multilingual telephone information service

Deliver application in person, by fax, or by post:

 Print Form

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address. This is usually your local council but can sometimes be the Minister for Planning or another body.

Save Form:

 Save Form To You

You can save this application form to your computer to complete or review later or email it to others to complete relevant sections.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

Page 1 of 1

VOLUME 09273 FOLIO 217

Security no : 124105251971M
Produced 07/04/2023 05:19 PM

LAND DESCRIPTION

Lot 236 on Plan of Subdivision 118264.
PARENT TITLE Volume 08950 Folio 934
Created by instrument LP118264 26/06/1978

REGISTERED PROPRIETOR

ENCUMBRANCES, CAVEATS AND NOTICES

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP118264 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 10 CASTELLA COURT MEADOW HEIGHTS VIC 3048

ADMINISTRATIVE NOTICES

NIL

eCT Control 16165A AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED
Effective from 20/06/2022

DOCUMENT END

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Document Type	Plan
Document Identification	LP118264
Number of Pages (excluding this cover sheet)	5
Document Assembled	07/04/2023 17:20

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LP 118264

EDITION 1

APPROVED 31.3.78

PLAN OF SUBDIVISION OF
PART OF CROWN PORTIONS 10 & 14
PARISH OF WILL WILL ROOK
COUNTY OF BOURKE

LENGTHS ARE IN METRES

VOL.8950 FOL.934

8864 869

APPROPRIATIONS	OTHER NOTES
BROWN: WAY AND DRAINAGE BLUE: DRAINAGE AND SEWERAGE	Note: Lots 76-101 & 108-217 inclusive have been omitted

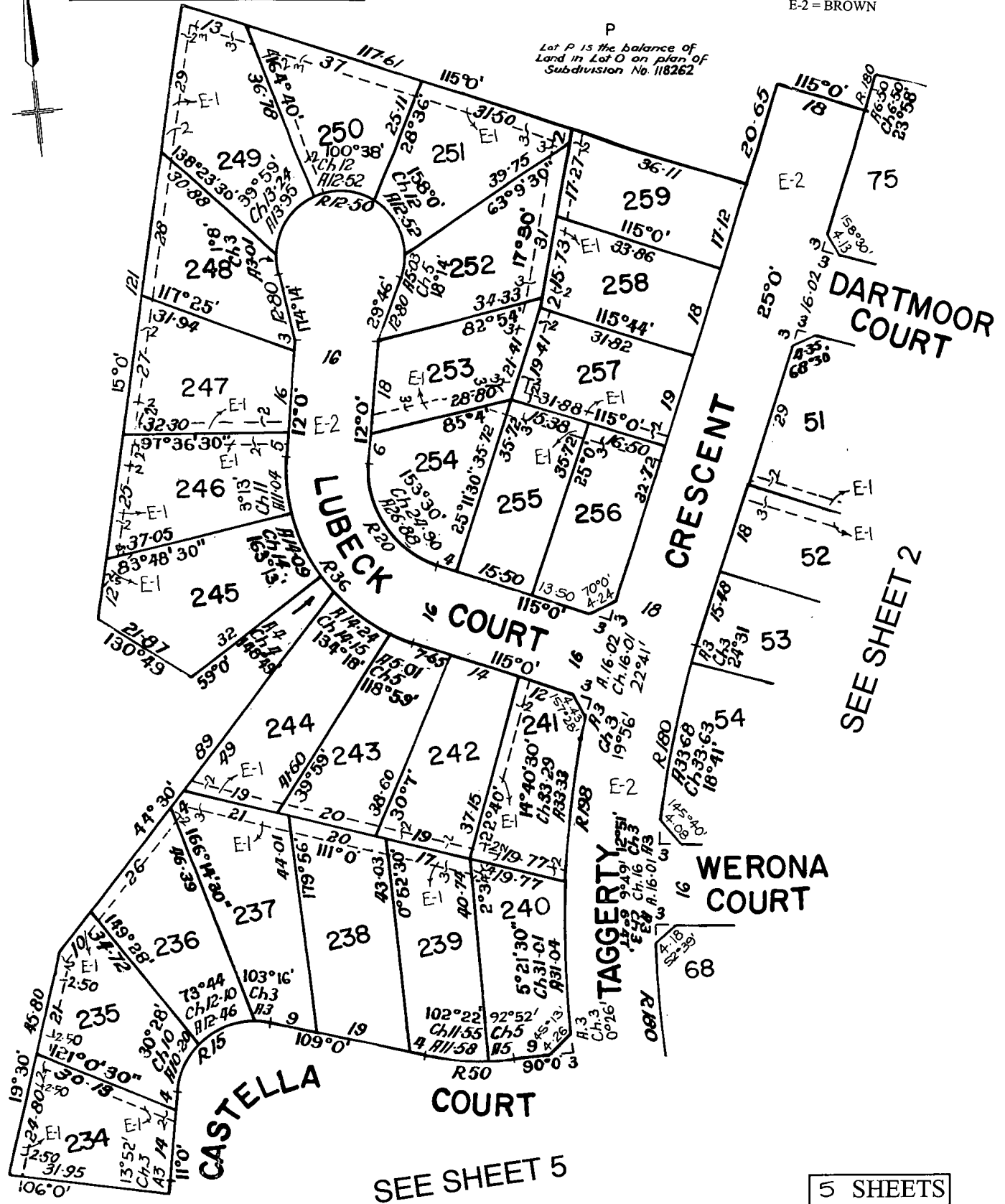
COLOUR CODE

E-1 = BLUE

E-2 = BROWN



P
Lot P is the balance of
Land in Lot O on plan of
Subdivision No. 118262



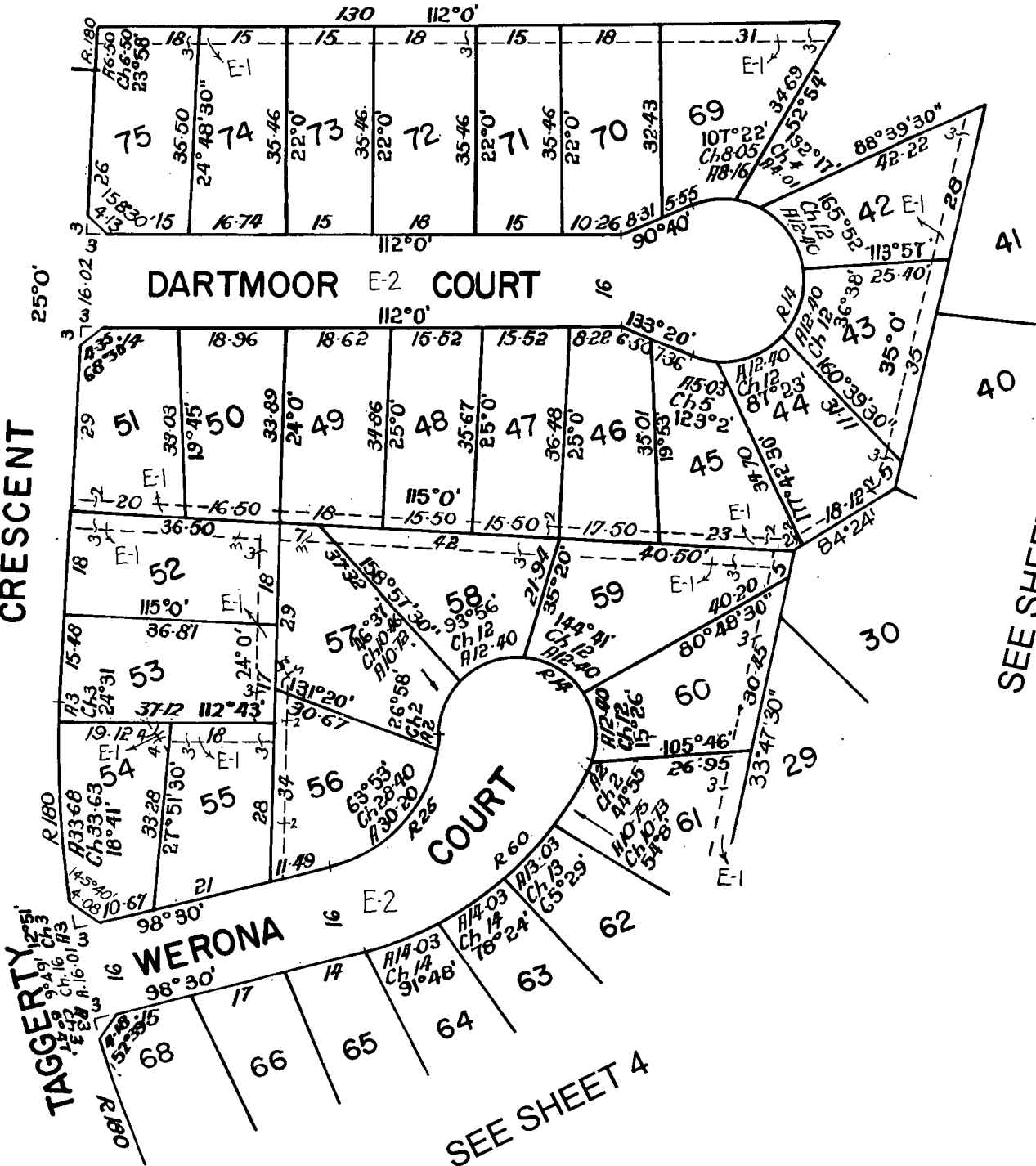
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SEE SHEET 1

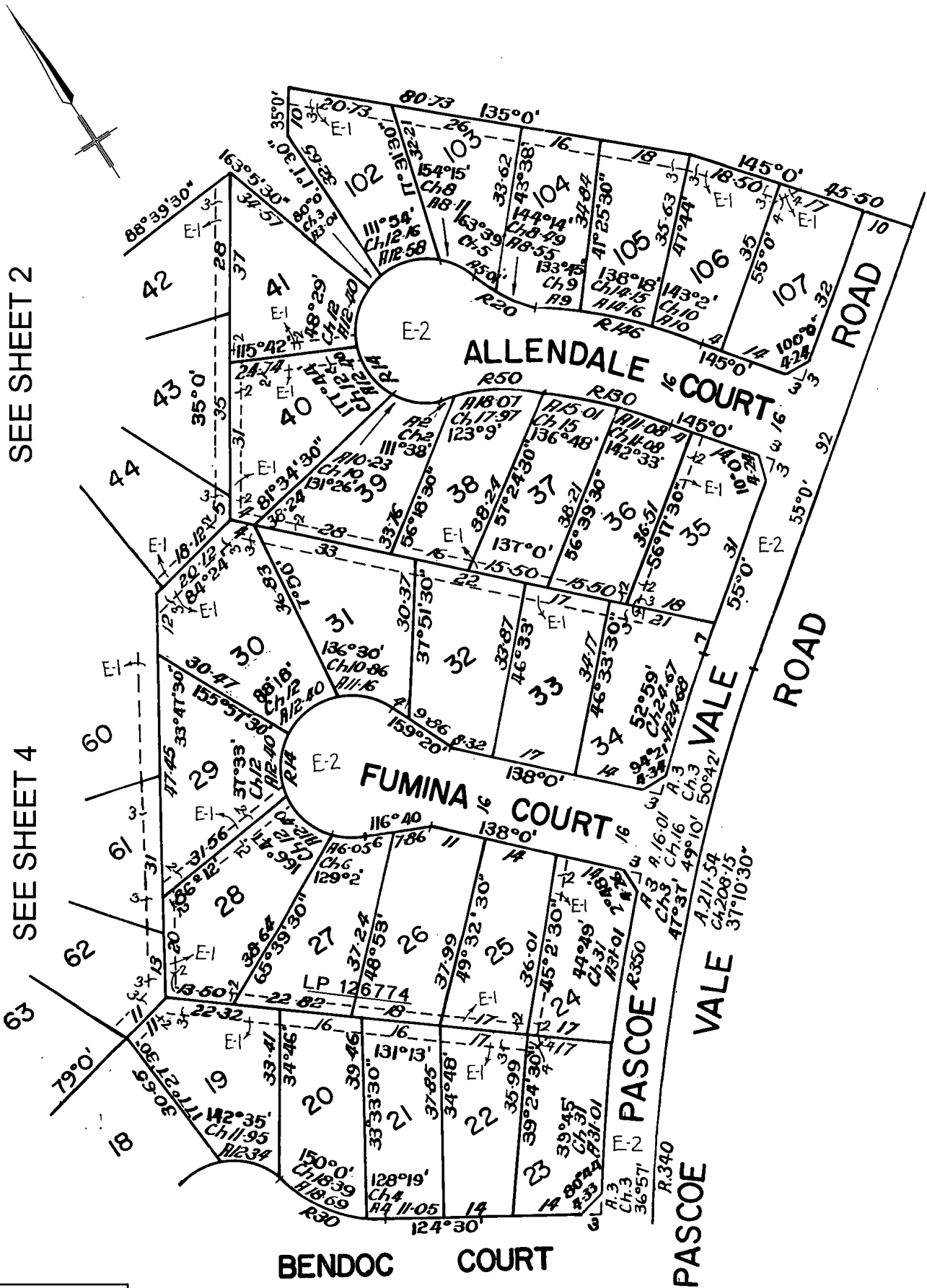
CRESCENT

SEE SHEET 3



5 SHEETS
SHEET 2

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SEE SHEET 2

SEE SHEET 4

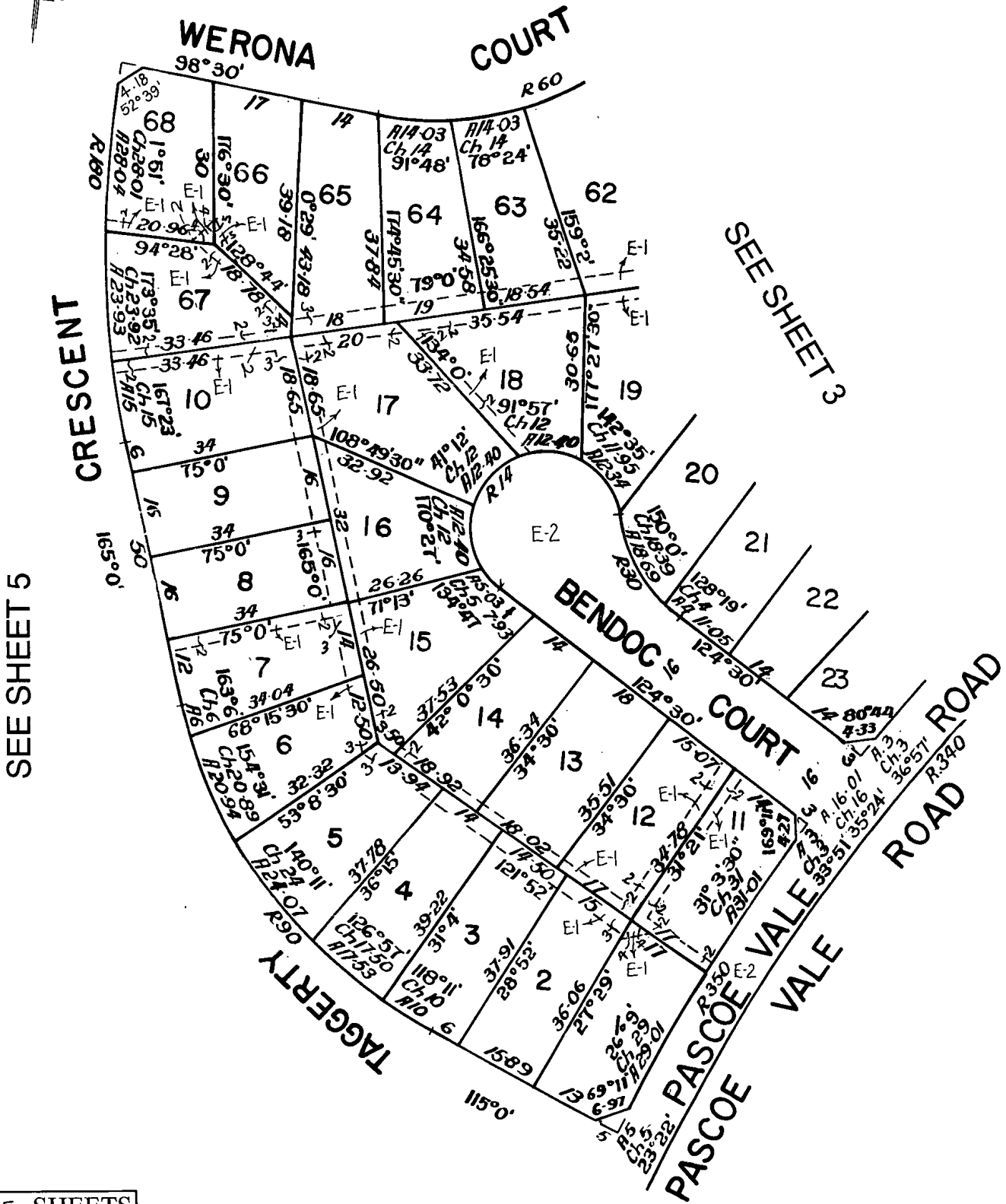
5 SHEETS
SHEET 3

SEE SHEET 4

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SEE SHEET 2

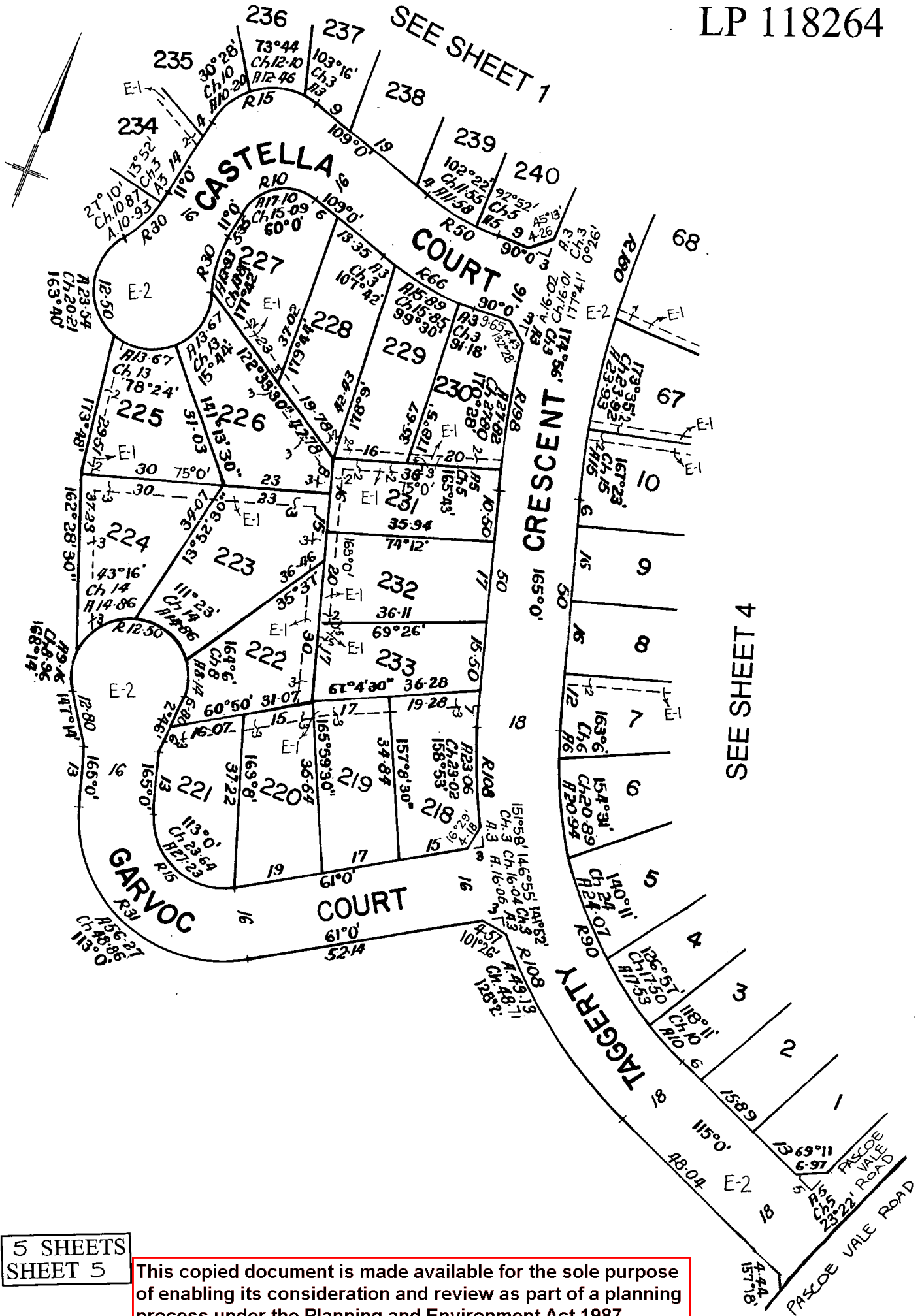


SEE SHEET 5

SEE SHEET 3

5 SHEETS
SHEET 4

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5 SHEETS
SHEET 5

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SEE SHEET 1

SEE SHEET 4

PASCOE VALE ROAD
 PASCOE VALE ROAD
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Feras Building
DESIGN

| PO Box 247-Craigieburn, Vic 3064 |

| Tel/Fax: (03) 9305 1234 | Mob: 0423 489 804 | Email: feras@ferasdesign.com.au | Web: www.ferasdesign.com.au |

11/04/2023

Re: Proposed Two Double Storey Dwellings.
Address: 10 Castella Court-Meadow Heights, Vic 3048

Dear Greg

As per our Pre-Application meeting held on 24/03/2023, Please find the following documents that make up our application for the proposal at the above-mentioned address;

- Complete and signed application form.
- Payment for planning application fee.
- Neighborhood and site description plan.
- Drawing No TP 01-Design Response Plan (GFP).
- Drawing No TP 02-Design Response Plan (FFP).
- Drawing NO TP 043-Ground Floor Plan.
- Drawing No TP 04- First Floor plan.
- Drawing No TP 05-Elevations Plan.
- Drawing No TP 06-Garden Area Plan
- Drawings No TP-07-Roof Catchment Plan
- Drawing No TP 8-Shadow Diagrams.
- Drawing No TP9 -Shadow Diagram, solar Access to open Space and Streetscape plans.
- Design Response Report.
- Bess & Storm Water Reports
- Certificate of Title, SDP & Sewer Detail.

If you have any queries, please do not hesitate to contact me.

Yours sincerely
Feras Al Asaad
Building Designer



REGISTERED
Building Practitioner



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TOWN PLANNING SUBMISION

Application for Planning Permit

Project: Proposed Two Dwelling Development
Municipality: Hume City Council
Address: 10 Castella Court-Meadow Heights, Vic 3048
Client: [REDACTED]

Content:

Design Response Report -Clause 55	Page 1-8
Carparking-Clause 52.06	Page 9
Stormwater Management in Urban Development	Page 9
General Residential Zone (GRZ1)	Page 9-10



Feras Building
DESIGN

| PO Box 247-Craigieburn, Vic 3064 |
| Tel/Fax: (03) 9305 1234 | Mob: 0423 489 804 | Email: feras@ferasdesign.com.au | Web: www.ferasdesign.com.au |

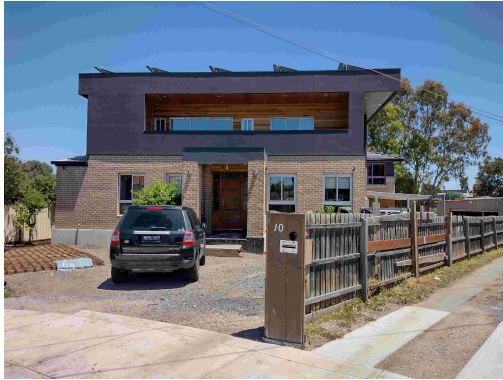
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55.01 Neighbourhood and Site Description and Design Response

01-1 In relation to the neighborhood

Pattern of Development

The area is characterised by housing types that are approximately 10-40-year-old of varying sizes – typically 200m² privately built homes. A mix of allotment sizes exists averaging 700m². The front setbacks of houses and Buildings vary from 2.5-9.9m. Houses are brick veneer and rendered residences with pitched tiled roofs, single and double storey dwellings.



Samples of houses and buildings in Castella Court

The bulk of residences in the immediate vicinity have the following characteristics;

- Single and Double storey dwellings
- Multi Dwelling Developments
- Hipped tiled roofs and flat roofs
- Front setbacks are consistently between 2.5 and 9.9metres. Predominant setback is between 7m-8m
- Rendered and face brick finishes.
- Front fences vary in height, some with no fences.

In relation to the site

The site is located on the Northern side of Castella Court with irregular shape and an area of 706m², it has an internal driveway extending along the Western boundary and a 2m wide drainage and sewerage easement running along the rear boundary. The site is relatively flat and is consistent in its levels with the sites to the North, East and West.

An existing Three-bedroom Single storey Dwelling and a Bungalow on the site are proposed to be demolished.

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The location of secluded private open spaces and habitable room windows within 9m of the boundaries have been indicated on the context plan.

Solar access to the site and surrounding sites is uninhibited. No protective native or indigenous trees exist on the site.

Neighbourhood Character and Infrastructure

55.02.1

The proposed design seeks to be respectful to the existing neighborhood character by;

1. Proposing Tow double storey dwellings.
2. Hipped tiled Roof and flat Roof.
3. Variation in the use of materials and colours to articulate the elevations including face brick and rendering.
4. Implementing the use of protruding and recessed forms to articulate the façade.
5. Respect for the scale and massing of building forms common to the area has been incorporated by ensuring that the second storey elements are kept to a reasonable size and are recessed in relation to the ground floor footprint.

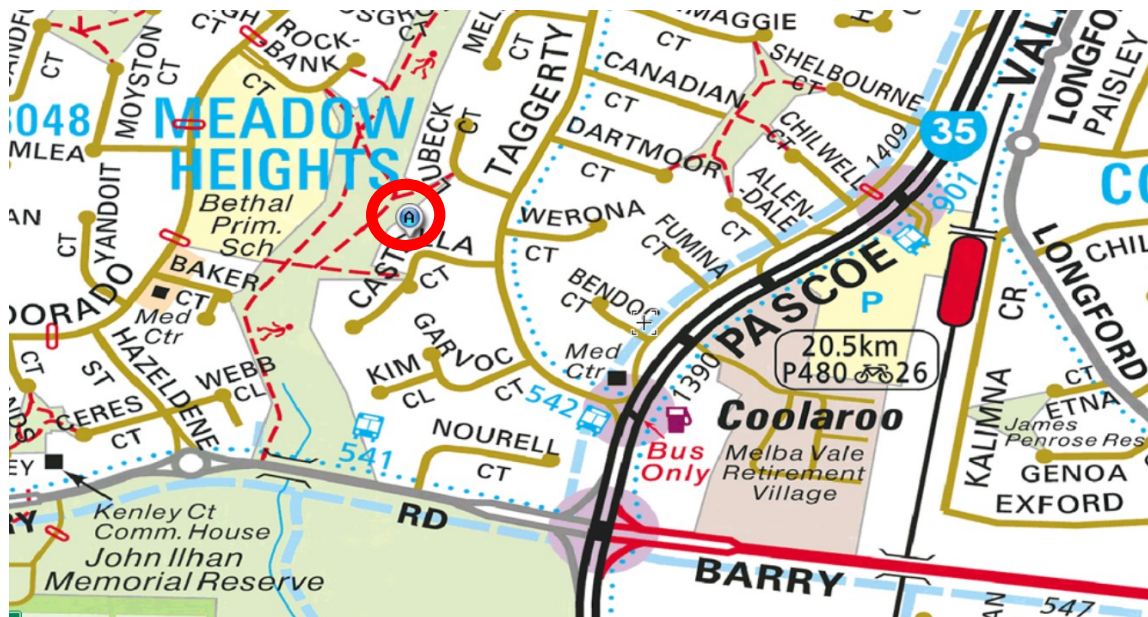
Our proposal is not excessive, the two-storey aspect is becoming common to the area and the visual bulk has been minimized. The proposal can be described as innovative and yet not unfamiliar. The planning of the dwellings itself seeks to create an intimate relationship between the interior and exterior through the use of sliding doors to the private open spaces. Windows have been treated and are placed strategically so as not to intrude on neighbors' privacy.

Residential Policy Objectives

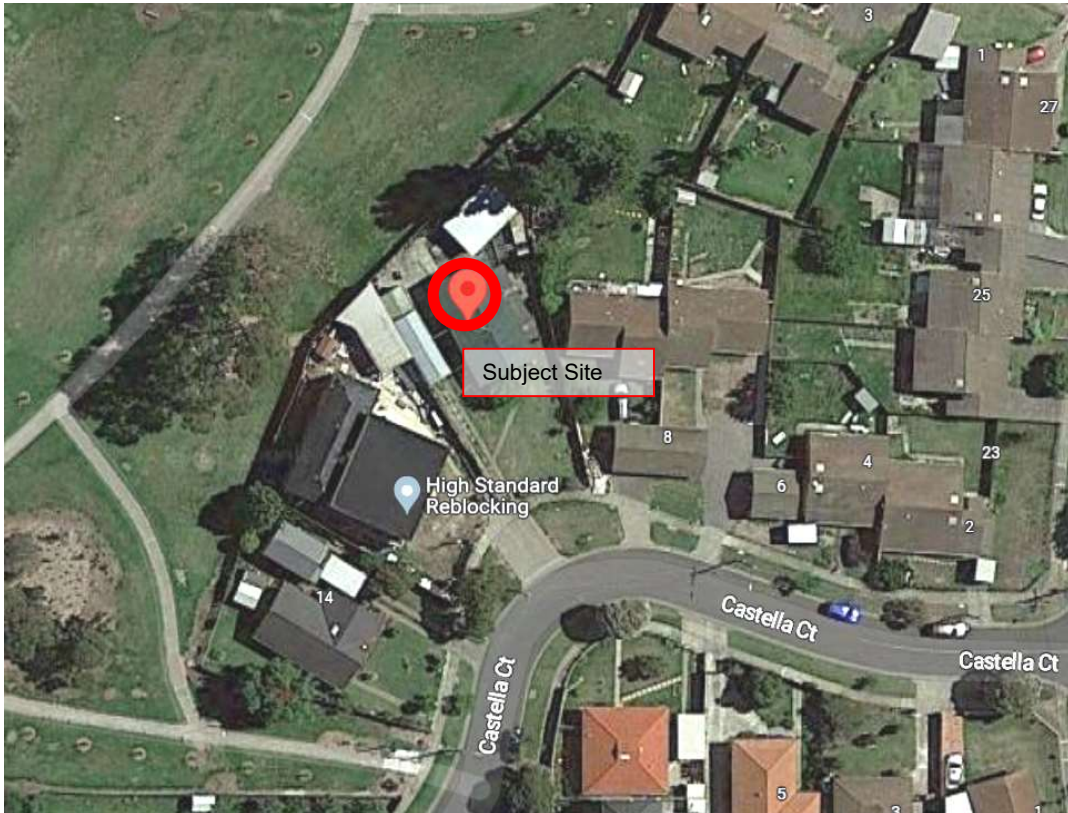
55.02.2

The proposal seeks to provide medium density housing where it can take advantage of close distances to;

1. Meadow Heights Plaza.
2. Transport links
3. Nearby community infrastructure including parks, schools, sports and medical facilities



Castella Court



Satellite image for 10 Castella Court

Dwelling diversity objective

55.02-3

N.A

Infrastructure objectives

55.02-4

Our proposal is not excessive, it will not exceed the capacity of utility services and infrastructure, including reticulated services and roads.

Integration with the Street Objective

55.02.5

The proposal seeks to integrate its layout with the street by;

- Maintaining the average front setback.
- Using materials and forms that are in keeping with the scale and configuration of new and existing dwellings in the neighbourhood

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SITE LAYOUT AND MASSING

55.03 SITE LAYOUT AND MASSING/ 52.06 CAR PARKING	
(B6) -Street Setback	Proposed Front Setback is 7.5m, it is greater than the average front setback of No 8 Castella Court (2.5m) and No 12 Castella Court (9.05m) (5.78m average). As per Hume Planning Scheme the average front setback is for any buildings (including carports or garages) but not only Houses.
(B7) -Building Heights	Dwelling 1: The apex of its roof is approximately 7.87m above the natural ground line. Dwelling 2: The apex of its roof is approximately 7.92m above the natural ground line. All walls on and in proximity of boundaries conform to heights set out in Rescode.
(B8) -Site coverage	Site Area is approximately 706m ² Site coverage of buildings is 330m ² (47%).
(B9) -Permeability	Permeable area proposed is 204m ² which equates to 29% of the site area. This exceeds the ratio required in Rescode.
(B10) -Energy efficiency	We have been advised by Energy Concepts in their preliminary analysis that the proposed dwellings can achieve 6-star rating. The energy efficiency of dwellings on adjacent sites is not affected.
(B11) -Open space objective	N.A
(B12) -Safety Objective	Entries of all dwellings are easily identifiable and exposed to Castella Court.
(B13) -Landscaping Objective	An extensive landscaping proposal has been indicatively depicted and will be confirmed with a landscape architect. One shade tree is proposed for each Dwelling.
(B14) -Access Objectives	The existing Driveway will be used for all Dwellings with a minimum width of 3m. all Cars can exist the Driveway in forward direction.
(B15) -Parking location objectives	Each proposed Garage/Carport is located close and convenient to its dwelling, secure and well ventilated.
55.04 AMENITY IMPACTS	
(B17) -Side and Rear Setbacks	The proposed North East side boundary setbacks are 1m,

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	<p>3.26m and 6.25m. The proposed South West side boundary setbacks vary from being on boundary to 3m and up to 7.73m.</p> <p>The rear boundary varies from being on boundary to 2.6m and up to 6.35m.</p>
(B18) -Walls on boundaries	All walls on boundaries are ≤ 3.2 m in height and comply well with Rescode requirements.
(B19) -Daylight to existing windows	There are no existing habitable room windows opposite the proposed new walls that are within one meter of boundaries.
(B20) -North-facing windows objective	There are no existing North habitable room windows opposite the proposed new walls within 3m of the southern boundary.
(B21) -Over shadowing open space objective.	A small amount of overshadowing occurs (exceeding the existing fence shadow) over the secluded private open space of N0 8 Castella Court from at 3.00PM. However, the remaining area that is not overshadowed is much greater than 40m ² at any time between 9.00AM and 3PM.
(B22) -Overlooking objective.	No overlooking exists exceeding the requirements of standard B22.
(B23) -Internal views objective	No internal views exist within the development.
(B24) -Noise impact objectives.	N.A
55.05 ON-SITE AMINITY AND FACILITIES	
(B25) -Accessibility objective	The entries of all dwellings are able to be easily made accessible to people with limited mobility.
(B26) -Dwelling entry objective	Each dwelling has its own entry with a porch visible and easily identifiable from Castella Court.
(B27) -Daylight to new windows objective.	All habitable room windows of the proposed dwellings receive adequate daylight.
(B28) -Private Open Space Objective	<p>For Dwelling 1; we propose 60m² of secluded private open space as well as approximately 78m² of open space at the front of the dwelling onto which the Master Bedroom and bedroom 2 are directed and a 13m² Verandah at the first floor accessed from the Setting area.</p> <p>For Dwelling 2 ; we propose 112m² of secluded private open space.</p>
(B29) -Solar access to open space objective.	The proposed private open spaces of the all dwellings facing North and have good solar access. Please refer to Solarr access plan

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(B30) -Storage objective.	Each dwelling has its own 6m3 storage shed/space with a convenient access from its private open space.
55.06 DETAILED DESIGN	
(B31) -Design detail objective	<p>Proposing pitched tiled roof.</p> <p>Use of protruding and recessed form to articulate the elevations.</p> <p>Variation in the use of materials and colours</p>
(B32) -Front fences objective	Proposed brick with metal upright infill (0.9m high).
(B33) -Common property objectives	Our proposal will not cause future management difficulties in areas of common ownership.
(B34) -Site services objectives.	Mailboxes, bins and recycling enclosures are located for convenient access by residents.



looking to North West from within subject site



looking to North East from within subject site



looking to North West from within subject site



looking to South East from within subject site

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52.06 CAR PARKING

Parking Provision Objectives 52.06-5: Number of car parking spaces.	Car parking is provided at the rate required by Clause 52.06-5 A double garage is proposed for Dwelling 1 and a Carport is proposed for Dwelling 2 (3 in total).
--	---

53.18 Storm Water Management in Urban Development

The proposal complies well with the requirement of clause 53.18 as shown on the Roof Catchment Plan No TP-7A

General Residential Zone (GRZ1)

Construction or extension of a dwelling or residential building

Minimum garden area requirement

An application to construct or extend a dwelling or residential building on a lot must provide a minimum garden area as set out in the following table:

Lot size	Minimum percentage of a lot set aside as garden area
400 - 500 sqm	25%
Above 500 - 650 sqm	30%
Above 650 sqm	35%

Response: Subject site area is 706m²
 Required Garden area is 35%. $706 \times 0.35 = 247.1\text{m}^2$
 Garden area proposed is 254m² (36%)

Construction and extension of two or more dwellings on a lot, Dwellings On common property and residential buildings

Permit requirement

A permit is required to:

- Construct a dwelling if there is at least one dwelling existing on the lot.
- Construct two or more dwellings on a lot.
- Extend a dwelling if there are two or more dwellings on the lot.
- Construct or extend a dwelling if it is on common property.
- Construct or extend a residential building.
- A permit is required to construct or extend a front fence within 3 metres of a street if:
- The fence is associated with 2 or more dwellings on a lot or a residential building, and
- The fence exceeds the maximum height specified in Clause 55.06-2.

- A development must meet the requirements of Clause 55. This does not apply to a development of five or more storeys, excluding a basement.

SCHEDULE 3 TO CLAUSE 32.08 GENERAL RESIDENTIAL ZONE

Requirements of Clause 55 Standard Requirements

Minimum street setback	B6	Refer to above Table
Site coverage	B8	(Site coverage proposed is 47%) Refer to above Table
Permeability	B9	29%
Landscaping	B13	Refer to above Table
Side and rear setbacks	B17	Refer to above Table
Walls on boundaries	B18	Not Exceeding 3.2m in height in average
Private open space	B28	Refer to above Table
Front fence height	B32	0.9m to 1.1m

Maximum building height requirement for a dwelling or residential building

- The building height must not exceed 11 metres; and
- The building must contain no more than 3 storeys at any point

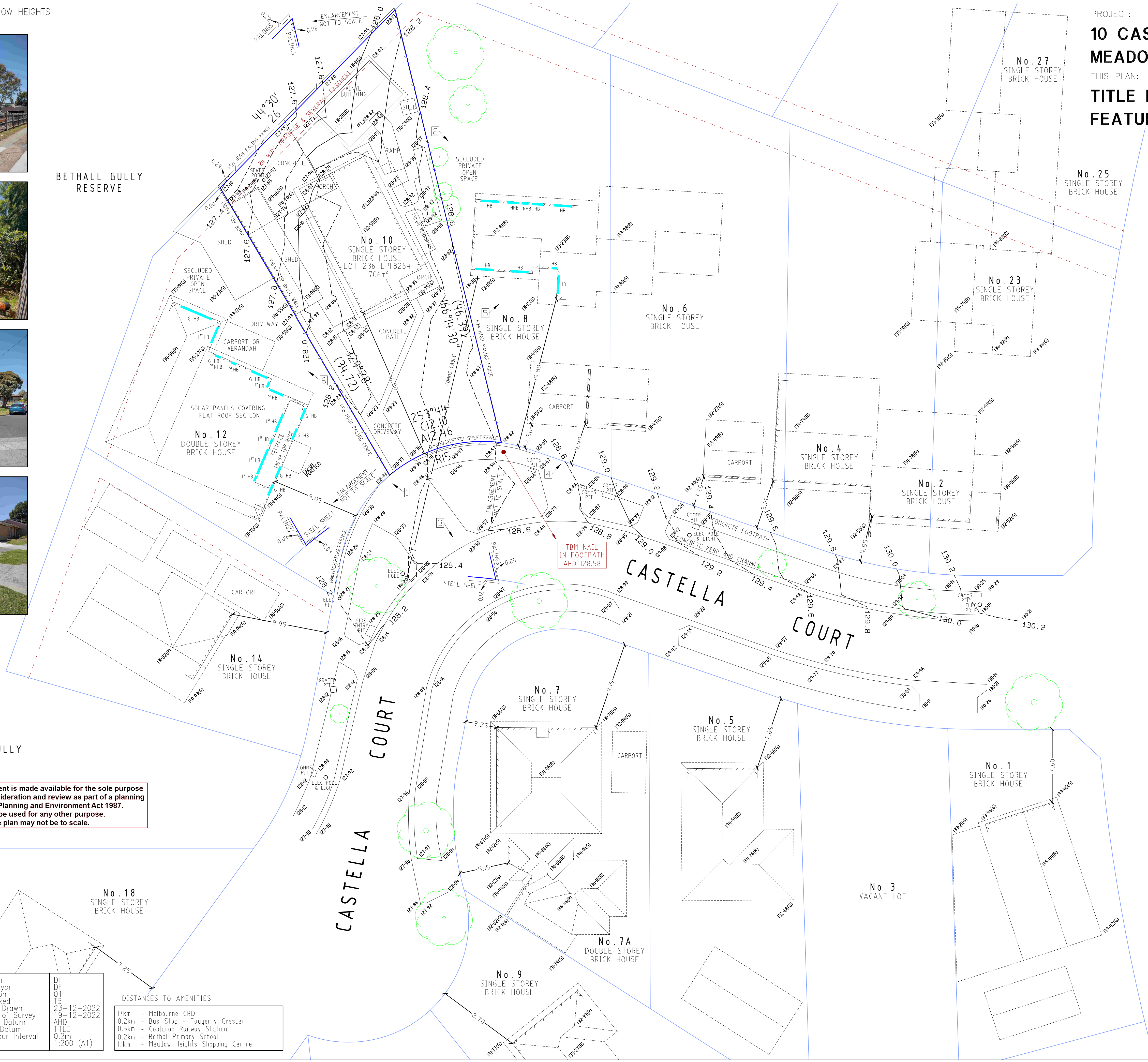
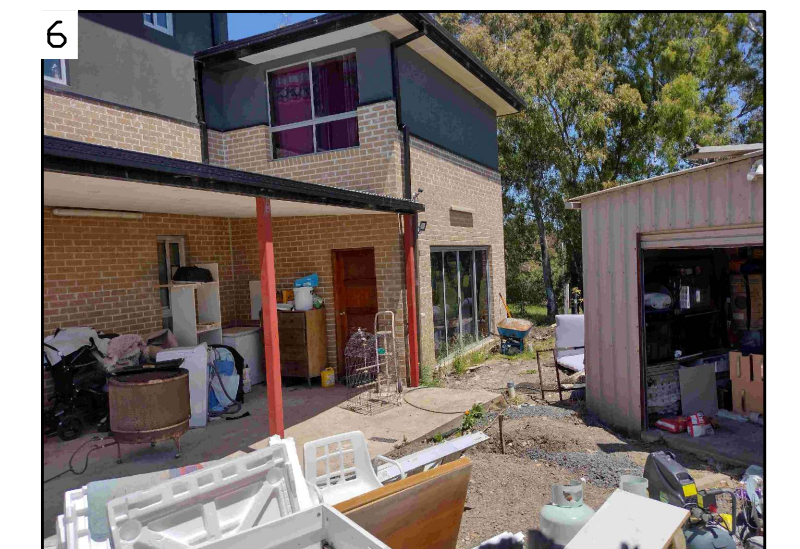
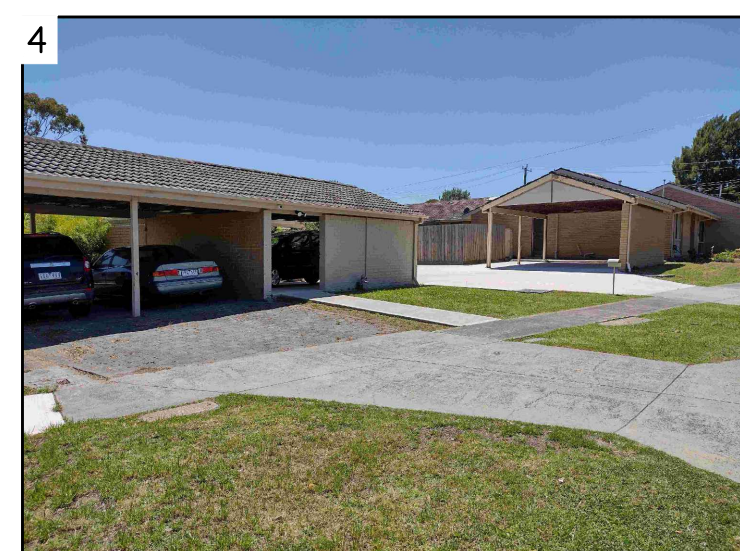
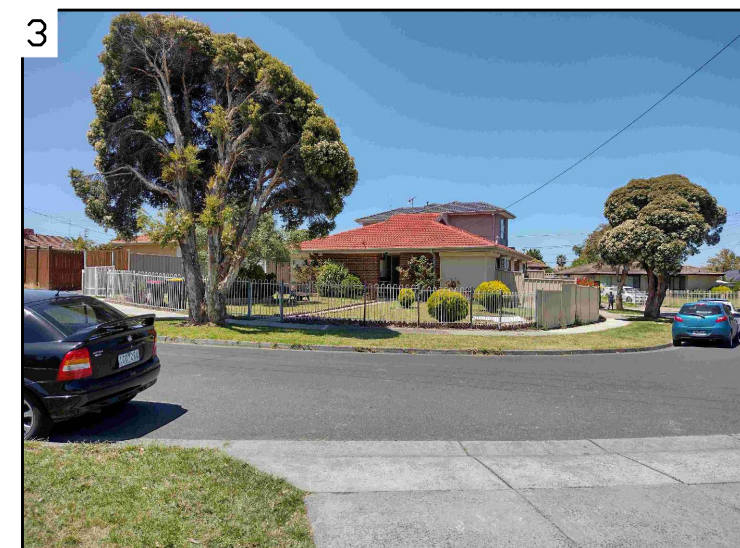
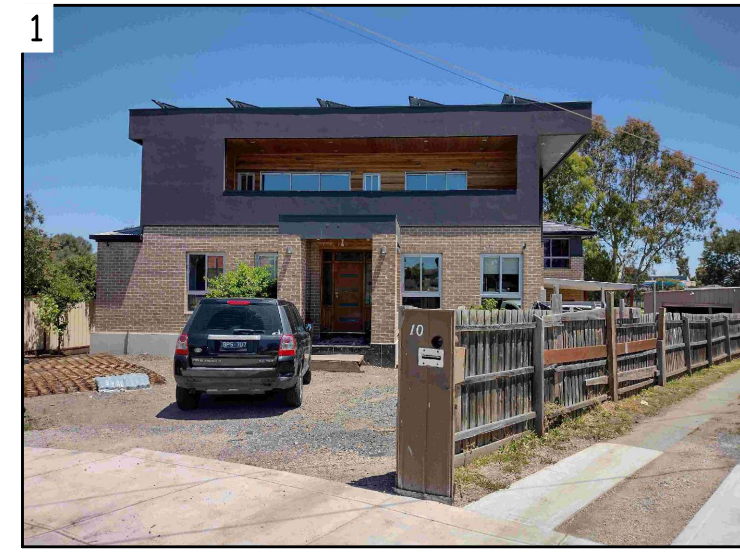
Response: The maximum proposed height of the development is 7.9m which is less than 11m, and the number of storeys proposed is 2.

If a requirement is not specified in a schedule to this zone, the requirement set out in the relevant standard of Clause 55 applies - (refer to above Table)

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PROJECT:
**10 CASTELLA COURT
 MEADOW HEIGHTS**
 THIS PLAN:
**TITLE RE-ESTABLISHMENT
 FEATURE AND LEVEL SURVEY**



TAGGERTY
 CRESCENT

BETHALL GULLY
 RESERVE

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- LEGEND
- (R) - RIDGE
 - (G) - GUTTER
 - (FL) - FLOOR LEVEL
 - WINDOW
 - TITLE BOUNDARY
 - ROOF STRUCTURE

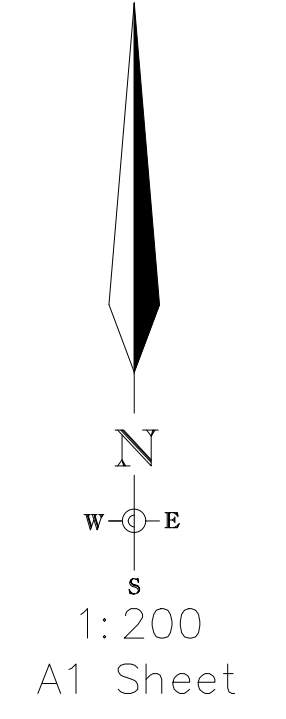
MULTI SURVEYING
 PO BOX 2154
 OAK PARK 3046

MOB 0422 981337
 surveyors@multisurveying.com

Drawn	DF
Surveyor	DF
Version	01
Checked	TB
Date Drawn	23-12-2022
Date of Survey	19-12-2022
Level Datum	AHD
Grid Datum	TITLE
Contour Interval	0.2m
Scale	1:200 (A1)

DISTANCES TO AMENITIES

17km	- Melbourne CBD
0.2km	- Bus Stop - Taggerty Crescent
0.5km	- Coolaroo Railway Station
0.2km	- Bethal Primary School
1.1km	- Meadow Heights Shopping Centre



- 1 INDIVIDUAL ADDRESS AND READILY IDENTIFIABLE ENTRY
- 2 SPOS; SUFFICIENT DIMENSIONS, SOLAR ACCESS, VARYING DIMENSIONS SUITABLE VARIETY OF USES, CLOSELY INTEGRATED WITH INSIDE AND INCORPORATING ONE LARGE SHADE TREE
- 3 DRIVEWAY MEANDERED AND GARDEN BEDS PROVIDED TO AVOID "GUN-BARREL" EFFECT
- 4 CLOTHES LINE LOCATED FOR MAXIMUM SOLAR ACCESS.
- 5 SETBACKS ARE MAINTAINED AS PER RESCODE.
- 6 FRONT YARD IS MAINTAINED AS AN OPEN SPACE.
- 8 WINDOWS POSITIONED TO AVOID OVERLOOKING TO ADJACENT SECLUDED PRIVATE OPEN SPACES.
- 9 FIRST FLOOR IS REDUCED IN RELATION TO GROUND FLOOR TO MINIMISE VISUAL BULK.
- 10 FIRST FLOOR WALLS SETBACKS FROM BOUNDARIES ARE WITHIN RESCODE REQUIREMENTS.
- 11 HIPPED TILED ROOF AND FLAT ROOF
- 12 DOUBLE STOREY DWELLING.
- 13 BRICK AND RENDER FINISHES

LEGEND

- B BINS
 CL CLOTHES LINE
 EXT EXISTING TREE
 FPA FOOD PRODUCTION AREA (2m²)
 HB HABITABLE ROOM WINDOW
 M1 DWELLING 1 MAILBOX (MAXIMUM HEIGHT OF 900mm)
 M2 DWELLING 2 MAILBOX (MAXIMUM HEIGHT OF 900mm)
 MG AUTOMATIC DRIVEWAY METAL GATE
 NHB NON-HABITABLE ROOM WINDOW
 PF19 PROPOSED PALING FENCE (1.9m HIGH)
 RG INGROUND RAINGARDEN (1.5m²), TO BE DESIGNED AND PREPARED TO RECEIVE AND FILTER RAIN RUN-OFF FROM THE DRIVEWAY.
 RWT RAINWATER TANK (3000L OR 2X1500L TANKS) CONNECTED TO TOILETS, IRRIGATION OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
 SR STEEL ROOF
 SS STORAGE SHED(6m³)

NOTES:

- NO.1 PEDESTRAIN VISIBILITY SPLAYS MEASURING 2m (WIDTH ACROSS THE FRONTAGE) BY 2.5m (DEPTH INTO THE SITE), TO THE NORTH EAST AND SOUTH WEST SIDES OF THE CROSSOVER TO CASTELLA COURT, WHERE WITHIN THE SUBJECT SITE, ANY STRUCTURES OR VEGETATION WITHIN THESE SPLAYS MUST NOT BE MORE THAN 900mm IN HEIGHT, OR HAS AT LEAST 50% CLEAR OF VISUAL OBSTRUCTIONS.
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DESIGN RESPONSE /GFP

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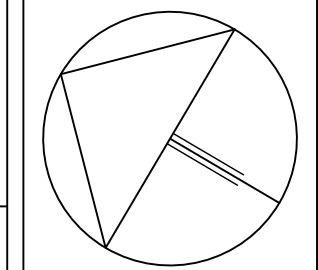
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REV	DESCRIPTION	DATE	BY
A	ISSUED FOR PLANNING PERMIT	7/4/2023	F.A
B			
C			
D			
E			
F			

PROJECT				DRAWING (NO.)	
PROPOSED TWO DWELLING DEVELOPMENT AT 10 CASTELLA COURT IN MEADOW HEIGHTS FOR MR BASSAM EL HOULI				TP-1A	
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO	
1/250	05/03/2023	FERAS AL ASAAD	BE-1222	BE-P100A	



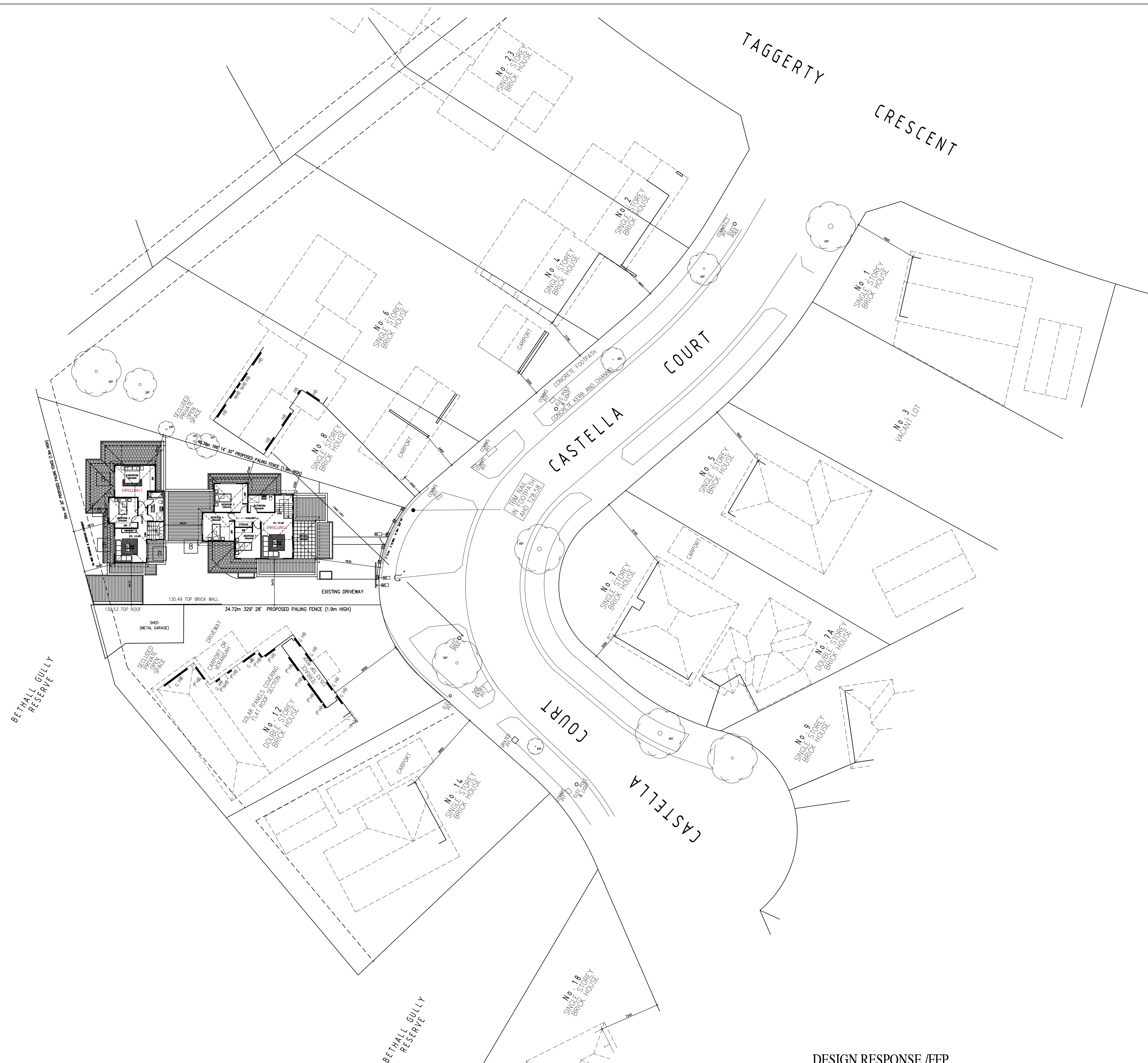
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- 11 HIPPED TILED ROOF AND FLAT ROOF
- 12 DOUBLE STOREY DWELLING.
- 13 BRICK AND RENDER FINISHES

LEGEND

- B BRIS
- CL CLOTHES LINE
- EXT EXISTING TREE
- FPA FOOD PRODUCTION AREA (2m2)
- HB HABITABLE ROOM WINDOW
- M1 DWELLING 1 MAILBOX (MAXIMUM HEIGHT OF 900mm)
- M2 DWELLING 2 MAILBOX (MAXIMUM HEIGHT OF 900mm)
- MG AUTOMATIC DRIVEWAY METAL GATE
- NHB NON-HABITABLE ROOM WINDOW
- PF19 PROPOSED PALING FENCE (1.9m HIGH)
- RG INGROUND RAINGARDEN (1.5m2), TO BE DESIGNED AND PREPARED TO RECEIVE AND FILTER RAIN RUN-OFF FROM THE DRIVEWAY.
- RWT RAINWATER TANK (3000L OR 2X1500L TANKS) CONNECTED TO TOILETS, IRRIGATION OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
- SR STEEL ROOF
- SS STORAGE SHED(6m3)

NOTES:

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DESIGN RESPONSE /FFP

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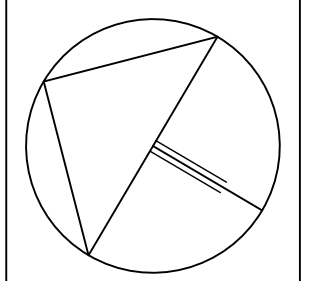
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REV	DESCRIPTION	DATE	BY
A	ISSUED FOR PLANNING PERMIT	7/4/2023	F.A
B			
C			
D			
E			
F			

PROJECT			
PROPOSED TWO DWELLING DEVELOPMENT AT 10 CASTELLA COURT IN MEADOW HEIGHTS FOR MR BASSAM EL HOULI			
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO
1/250	05/03/2023	FERAS AL ASAAD	BE-1222
DRAWING (NO.)			CAD NO
TP-2A			BE-P100A



Development Summary

Area Description	AREA m2
SITE AREA	706m2
BUILDING AREA ON GROUND	330m2
DRIVEWAYS	121m2
DRIVEWAYS (GARDEN AREA)	122m2
SITE COVERAGE BUILDINGS	47%
PERMEABLE AREA	204m2 (29%)
GARDEN AREA	254m2 (36%)

Area Description	DWLLNG 1	DWLLNG 2
GROUND FLOOR AREA	148m2	116m2
FIRST FLOOR AREA	82m2	66m2
VERANDA-GROUND FLOOR	0m2	4m2
VERANDA-FIRST FLOOR	13m2	0m2
GARAGE/CARPORIT AREA	38m2	24m2
POS (secluded)	60m2	112m2
POS	78m2	0m2

LEGEND

- B BINS
- CL CLOTHES LINE
- EXT EXISTING TREE
- FPA FOOD PRODUCTION AREA (2m2)
- HB HABITABLE ROOM WINDOW
- M1 DWELLING 1 MAILBOX (MAXIMUM HEIGHT OF 900mm)
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GROUND FLOOR PLAN

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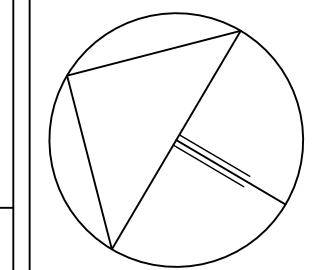
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A	ISSUED FOR PRE-APPLICATION MEETING	5/3/2023	FA
B	ISSUED FOR PLANNING PERMIT	07/04/2023	FA
C			
D			
E			
F			

PROJECT				DRAWING (NO.)	
PROPOSED TWO DWELLING DEVELOPMENT AT 10 CASTELLA COURT IN MEADOW HEIGHTS FOR MR BASSAM EL HOULI				TP-3A	
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO	
1/100	05/03/2023	FERAS AL ASAAD	BE-1222	BE-P100A	



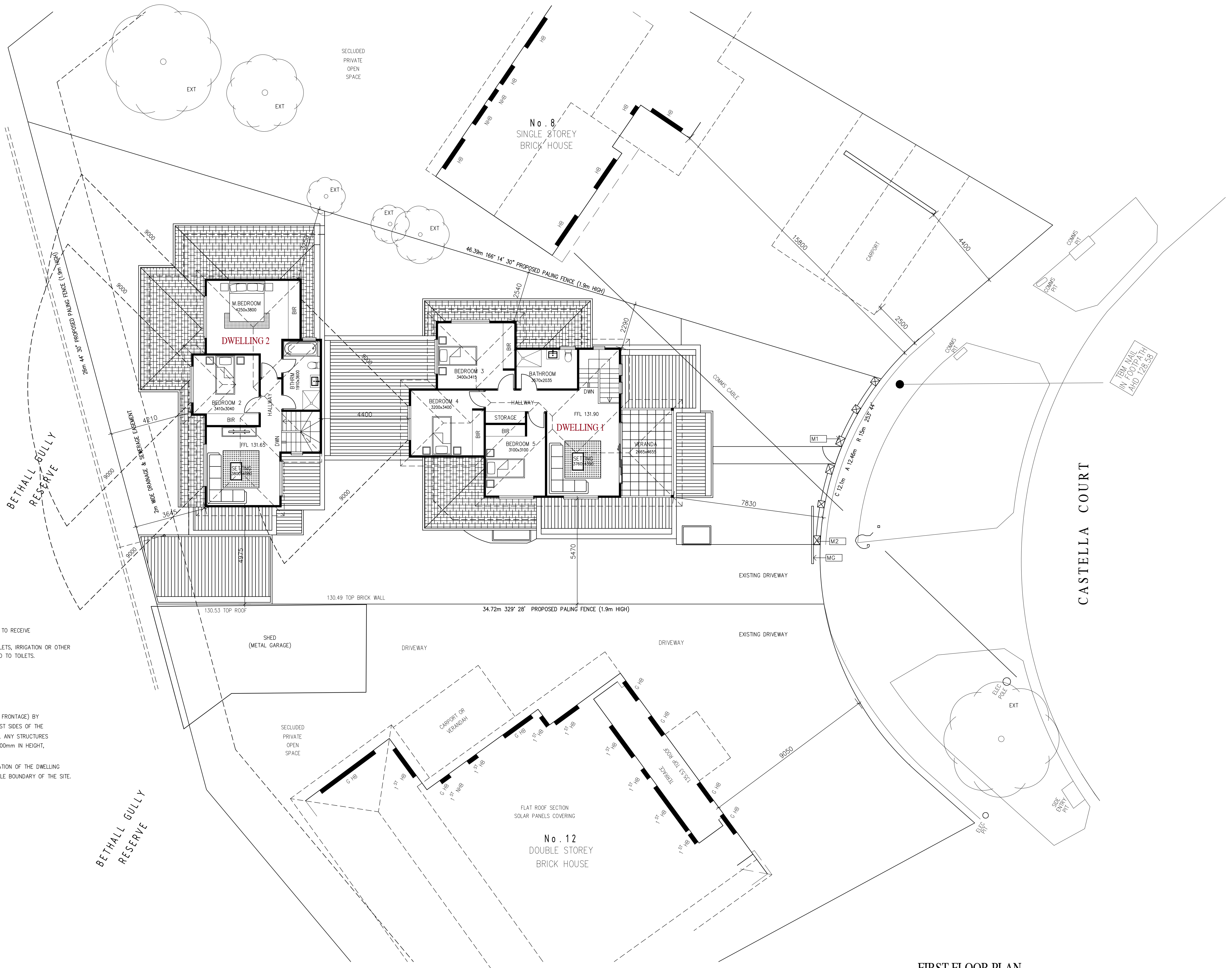
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LEGEND

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- EXT EXISTING TREE
- FPA FOOD PRODUCTION AREA (2m²)
- HB HABITABLE ROOM WINDOW
- M1 DWELLING 1 MAILBOX (MAXIMUM HEIGHT OF 900mm)
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- SR STEEL ROOF
- SS STORAGE SHED(6m³)

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FIRST FLOOR PLAN



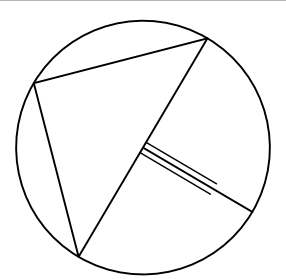
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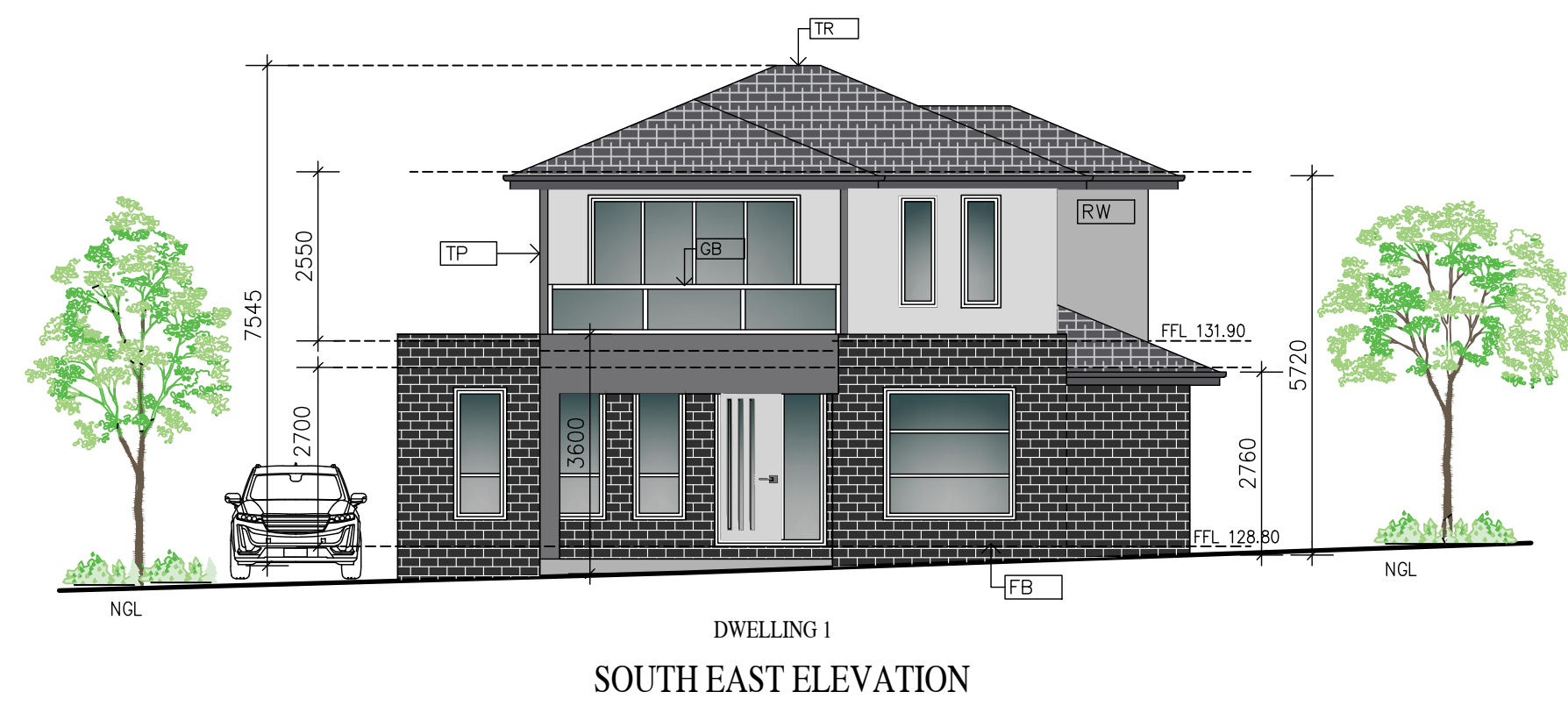


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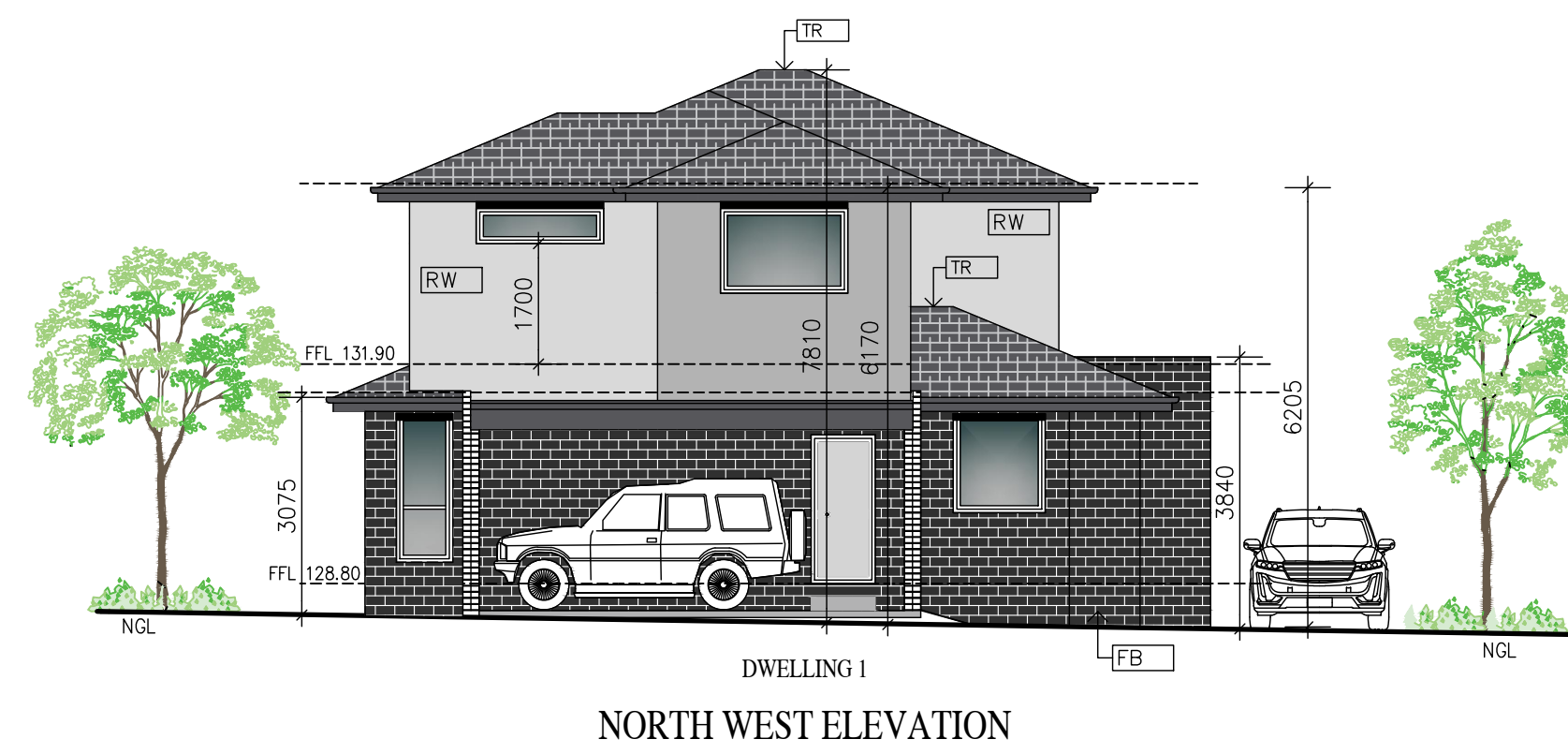
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B	ISSUED FOR PLANNING PERMIT	07/04/2023	F.A
C			
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PROJECT				DRAWING (NO.)	
PROPOSED TWO DWELLING DEVELOPMENT AT 10 CASTELLA COURT IN MEADOW HEIGHTS FOR MR BASSAM EL HOULI				TP-4A	
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO	
1/100	05/03/2023	FERAS AL ASAAD	BE-1222	BE-P100A	

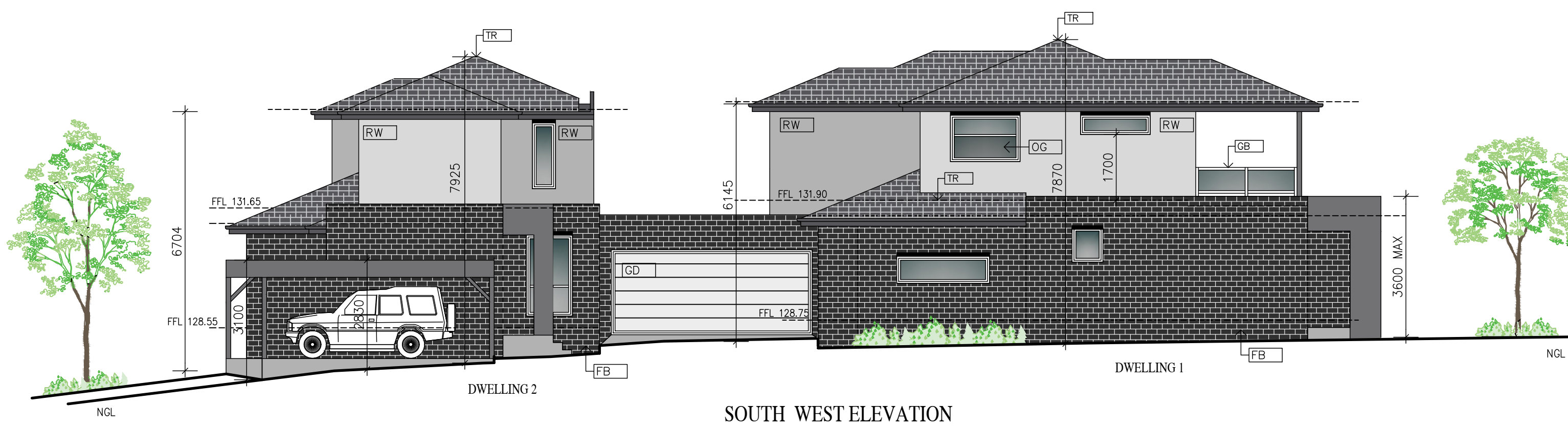




DWELLING 1
SOUTH EAST ELEVATION



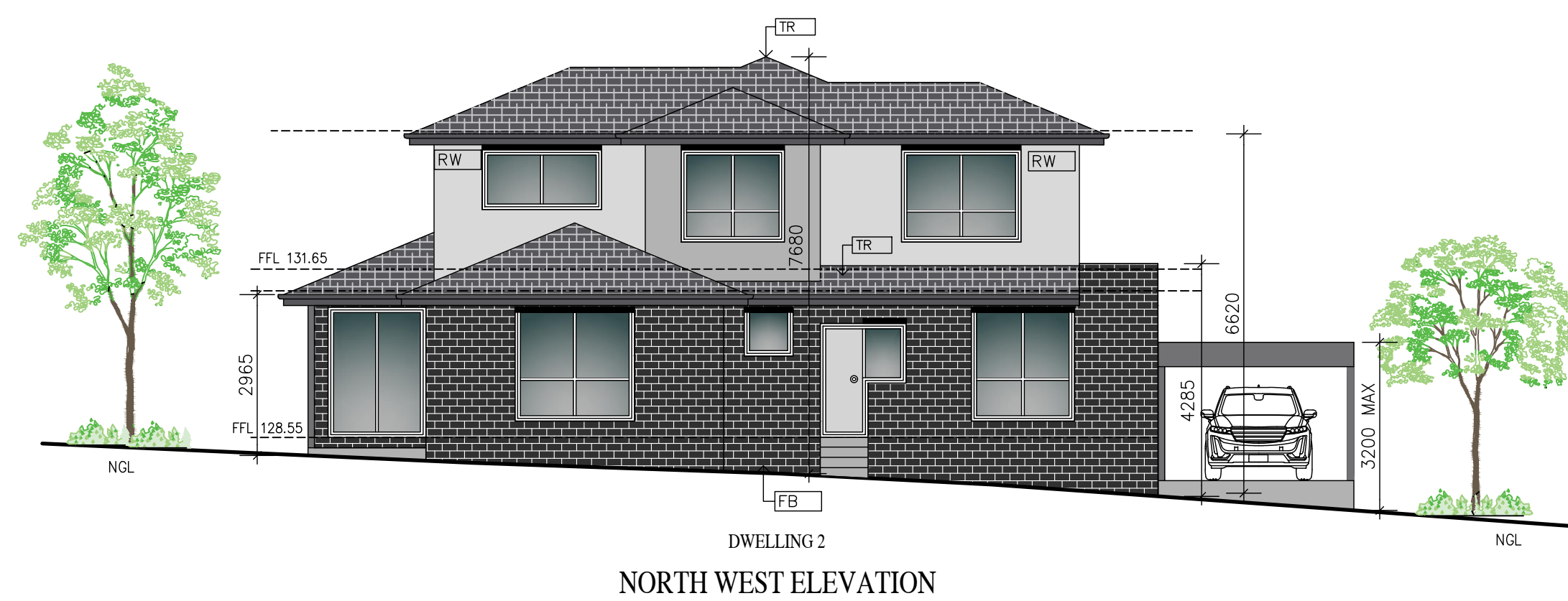
DWELLING 1
NORTH WEST ELEVATION



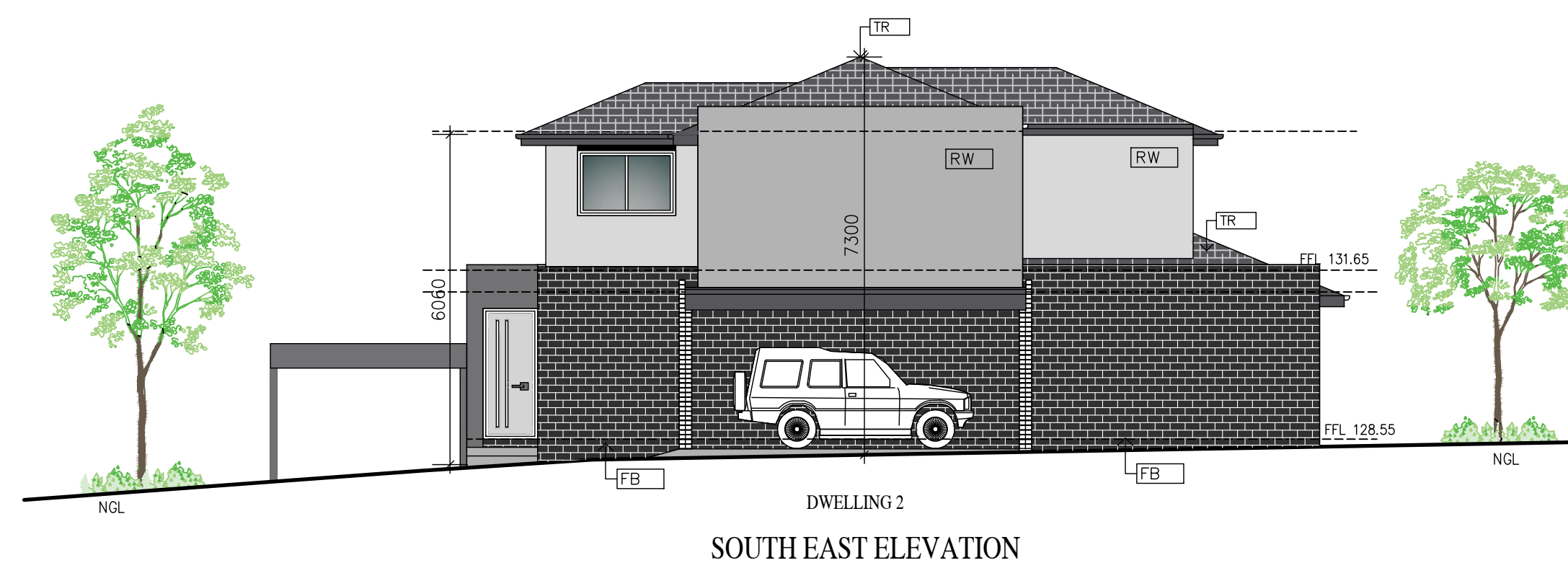
DWELLING 2
SOUTH WEST ELEVATION



DWELLING 1
DWELLING 2
NORTH EAST ELEVATION



DWELLING 2
NORTH WEST ELEVATION



DWELLING 2
SOUTH EAST ELEVATION

LEGEND

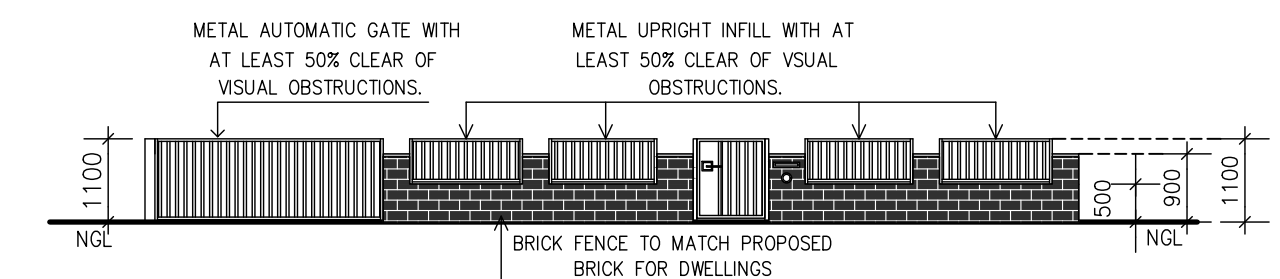
- RETRACTABLE BLIND (EXTERNAL WINDOW SHADING DEVICE), TO BE INSTALLED ON EAST, WEST AND NORTH FACING WINDOWS
- FB FACE BRICK WALL
- GB GLASS BALUSTRADE
- GD GARAGE DOOR: SECTIONAL TILT PANEL LIFT DOOR.
- NGL NATURAL GROUND LEVEL
- OG FIXED AND OBSCURE GLAZING IN ANY PART OF THE WINDOW BELOW 1.7m AFL, OPENABLE PANEL ABOVE.
- PF19 PROPOSED PALING FENCE (1.9m HIGH)
- RW RENDERED WALL
- TP TIMBER POST
- TR TILED ROOF.
- WB WEATHERBOARD CLADDING OR SIMILAR

COLOUR SCHEDULE

- TILED ROOF: MONUMENT
- FASCIA AND GUTTER: COLORBOND-MONUMENT
- WINDOW FRAMES: ALUMINIUM-DARK GREY
- FACE BRICK: DARK GREY
- RENDERED WALL: POLYSTYRENE CLADDING-LIGHT GREY
- RENDERED WALL: POLYSTYRENE CLADDING-GREY
- CONCRETE DRIVEWAY: DARK GREY



RETRACTABLE BLIND (EXTERNAL WINDOW SHADING DEVICE), TO BE INSTALLED ON NORTH, EAST & WEST FACING WINDOWS



FRONT FENCE

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ELEVATIONS



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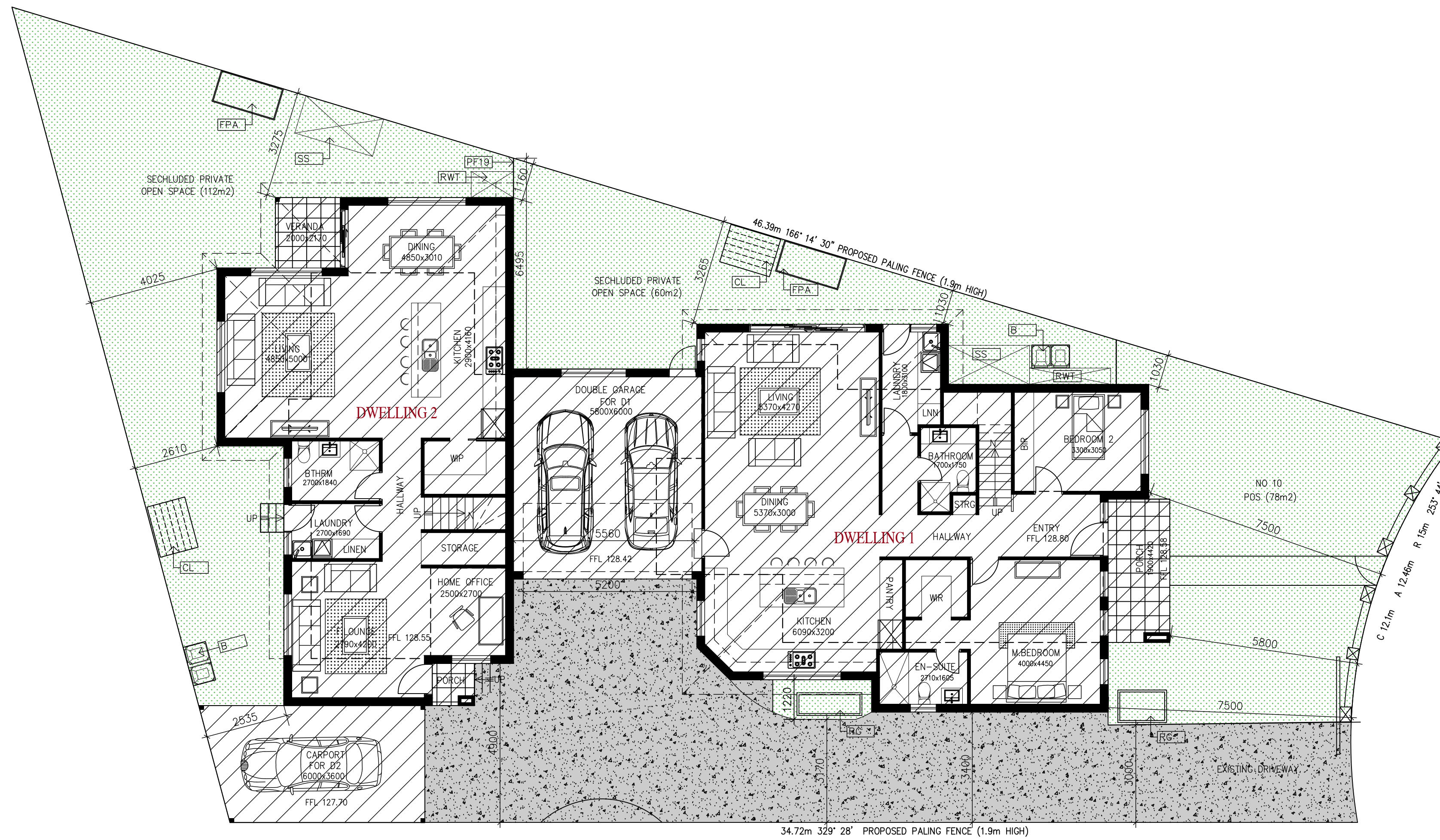
PROJECT				DRAWING (No.)	
PROPOSED TWO DWELLING DEVELOPMENT AT 10 CASTELLA COURT IN MEADOW HEIGHTS FOR MR BASSAM EL HOULI				TP-5A	
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO	
1/100	05/03/2023	FERAS AL ASAAD	BE-1222	BE-P100A	

LEGEND

- GARDEN AREA
- SITE COVERAGE BUILDING
- DRIVEWAY
- B BINS
- CL CLOTHES LINE
- FPA FOOD PRODUCTION AREA (2m2)
- PF19 PROPOSED PALING FENCE (1.9m HIGH)
- RG RAINGARDEN (1.5m2), TO BE DESIGNED AND PREPARED TO RECEIVE AND FILTER RAIN RUN-OFF FROM THE DRIVEWAY.
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- SS STORAGE SHED(6m3)
- TR TILED ROOF

CALCULATION

SITE AREA: 706m2
 BUILDING AREA ON GROUND: 330m2
 DRIVEWAY: 122m2
 REQUIRED GARDEN AREA: 706x0.35=247m2
 PROPOSED GARDEN AREA: 706-330-122=254m2 (36%)



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GARDEN AREA PLAN

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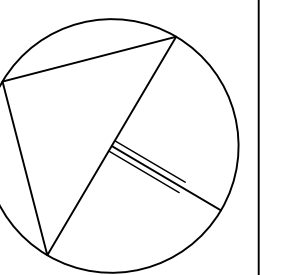
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REV	DESCRIPTION	DATE	BY
A	ISSUED FOR PRE-APPLICATION MEETING	5/3/2023	F.A
B	ISSUED FOR PLANNING PERMIT	07/04/2023	F.A
C			
D			
E			
F			

PROJECT				
PROPOSED TWO DWELLING DEVELOPMENT AT 10 CASTELLA COURT IN MEADOW HEIGHTS FOR MR BASSAM EL HOULI				
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO
1/100	05/03/2023	FERAS AL ASAAD	BE-1222	BE-P100A
DRAWING (NO.)				
TP-6A				

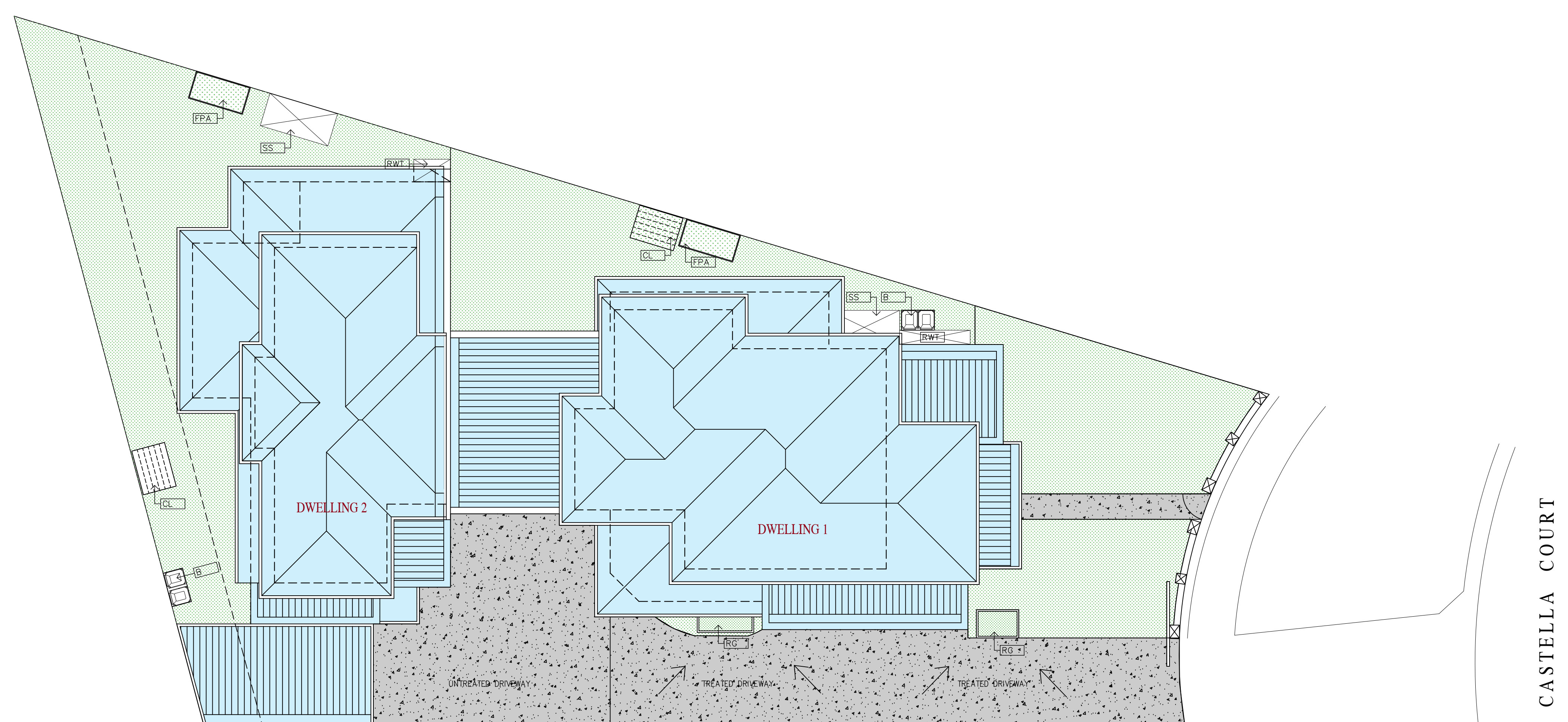


LEGEND

-  CONCRETE DRIVEWAY & PAVING. PAVING DRAINS INTO ADJACENT GARDEN AREA.
-  PERMEABLE SURFACE
-  ROOF CATCHMENT CONNECTED TO RAINWATER TANK WITH THE USE OF CHARGED RAINWATER HARVESTING SYSTEM.
- B BINS
- CL CLOTHES LINE
- FPA FOOD PRODUCTION AREA (2m²)
- RG INGROUND RAINGARDEN (1.5m²), TO BE DESIGNED AND PREPARED TO RECEIVE AND FILTER RAIN RUN-OFF FROM THE DRIVEWAY.
- RWT RAINWATER TANK (3000L OR 2X1500L TANKS) CONNECTED TO TOILETS, IRRIGATION OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
- SS STORAGE SHED(6m³).

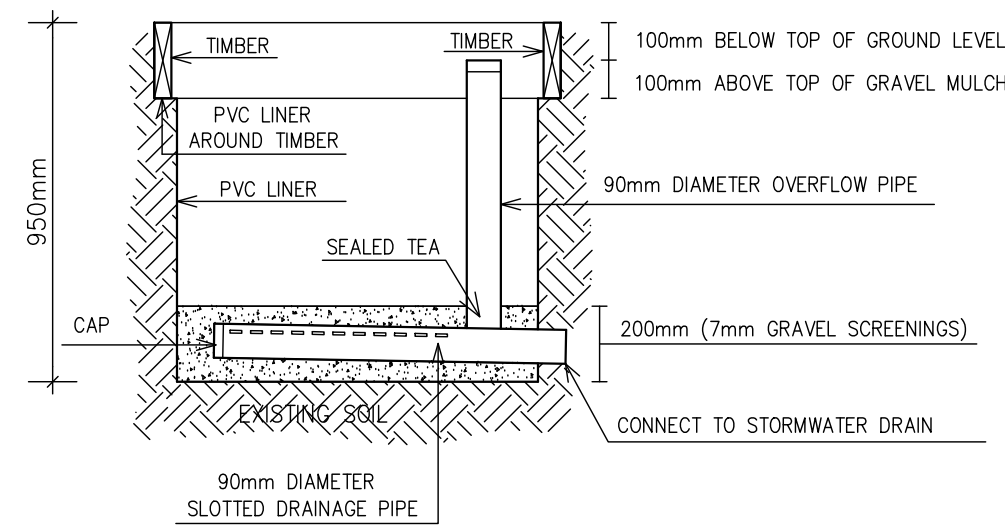
SDA NOTES:

- KEY SUSTAINABLE DESIGN STRATEGIES CONSIDERED IN THE DEVELOPMENT INCLUDE:**
- HIGH-PERFORMANCE BUILDING FABRIC WITH GOOD LEVELS OF INSULATION
 - ENERGY EFFICIENT LED LIGHTS
- WATER**
- SHOWERHEADS 4 STAR WELS (>= 4.5 BUT <= 6.0)
 - TAPS: KITCHEN, BATHROOM 5 STAR WELS RATING
 - DISHWASHERS WATER EFFICIENCY: 3 STAR
 - WC: 4 STAR WELS RATING
 - WASHING MACHINE WATER EFFICIENCY: 3 STAR WELS
 - WATER EFFICIENT LANDSCAPING TO BE INSTALLED
 - RAINWATER TANKS CONNECTED TO TOILETS.
- NOTE:** RAINWATER HARVESTING TANKS NOTED TO BE USED ONLY FOR RE-USE WITHIN THE DWELLING AND THAT THEY ARE COMPLETELY INDEPENDENT OF ANY DETENTION REQUIREMENTS
- ENERGY**
- DOUBLE GLAZING TO BE PROVIDED TO ALL HABITABLE ROOM WINDOWS.
 - HEATING SYSTEM GAS CENTRAL DUCTS 3 STAR
 - COOLING SYSTEM REFRIGERATIVE DUCTED 3 STARS
 - 5-STAR GAS INSTANTANEOUS HOT WATER SERVICE
 - EXTERNAL LIGHTING TO BE CONTROLLED BY MOTION DETECTORS TO ALL EXTERNAL AREAS
 - MAXIMUM ILLUMINATION POWER DENSITY OF 4W/SQM OR LESS
 - PRIVATE OUTDOOR CLOTHESLINE TO BE PROVIDED
- INDOOR ENVIRONMENT QUALITY**
- DOUBLE GLAZING REQUIRED TO ALL HABITABLE ROOM WINDOWS.
 - SHADING DEVICES TO BE PROVIDED TO EAST, WEST AND NORTH FACING GLAZING
- URBAN ECOLOGY**
- PROVIDE A TAP AND FLOOR WASTE IN EVERY BALCONY/VERANDAH AND COURTYARD
- WASTE MANAGEMENT.**
- THE ADOPTION OF A RECYCLING TARGET OF AT LEAST 70% (BY MASS) FOR ALL DEMOLITION AND CONSTRUCTION WASTE IS RECOMMENDED.
- THE CONSTRUCTION STAGE IS WHERE ALL WASTE MANAGEMENT STRATEGIES ARE IMPLEMENTED TO ENSURE THAT CONTRACTORS ARE ABLE TO MEET DESCRIBED PROCESS AND TARGETS, WE RECOMMEND THE FOLLOWING:
- ALLOW FOR SUFFICIENT SPACE ON SITE TO ACCOMMODATE NOT ONLY NEW MATERIALS, BUT ALSO DIFFERENT
 - SKIPS FOR DIFFERENT WASTE AND RECYCLING STREAMS.
 - CLEARLY LABEL INDIVIDUAL SKIPS AND BINS AND PROTECT THEM FROM CONTAMINATION, RAIN AND WIND.
 - ORGANISE REGULAR PICK UP OF SKIPS AND BINS TO AVOID OVERLOADING OR FALSE USE OF CONTAINERS
 - ENSURE SUB-CONTRACTORS ARE FULLY AWARE OF THE SITE'S WASTE MANAGEMENT PRACTICES.
 - MAKE SURE WRITTEN CONTRACTS WITH TRADES INCLUDE WASTE MINIMIZATION PRACTICES.
 - PROVIDE SEPARATE BINS FOR HOUSEHOLD WASTE.
 - ASK SUPPLIERS TO COLLECT/RECYCLE PACKAGING.
- MATERIALS.**
- MATERIALS THAT WILL BE USED ARE: CONCRETE SLAB, BRICK WORK, TIMBER FRAMES, LIGHT WEIGHT CLADDING AND TILED ROOF. WALL AND CEILING INSULATIONS TO BE IMPLEMENTED AS PER ENERGY RATING REPORT AND RECOMMENDATIONS TO IMPROVE ENERGY EFFICIENCY RATING.
- VOC**
- IT IS REQUIRED AND COMMITMENT TO USE LOW VOLATILE ORGANIC COMPOUNDS (VOC) FOR:
- INTERNAL FINISHES AND INTERNAL PAINTED SURFACES. NOT TO EXCEED 50G/L
 - CERAMIC TILE ADHESIVE. NOT TO EXCEED 65G/L
 - STRUCTURAL GLAZING ADHESIVE. NOT TO EXCEED 100G/L
 - ADHESIVES AND SEALANTS. NOT TO EXCEED 50G/L



RAINWATER TANK MAINTENANCE :

REGULAR MAINTENANCE WILL IMPROVE THE WATER QUALITY AND EXTEND THE LIFE OF YOUR SYSTEM.
EMPLOY PROFESSIONAL SERVICES FIRMS TO CARRY OUT THE MAINTENANCE WORKS, AND OBSERVE ALL PRACTICE RECOMMENDATIONS AND SAFETY REGULATIONS.



INGROUND RAINGARDEN

SCALE : 1/20

Melbourne Water STORM Rating Report

TransactionID: 1256206
 Municipality: HUME
 Rainfall Station: HUME
 Address: 10 Castella Court
 Meadow Heights
 VIC: 3048
 Assessor: FERAS AL ASAAD
 Development Type: Residential - Multiunit
 Allotment Site (m²): 708.00
 STORM Rating %: 100

Description	Impervious Area (m ²)	Treatment Type	Treatment Area/Volume (m ² or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
DWELLING 1 ROOF	180.00	Rainwater Tank	3,000.00	5	117.80	89.30
DWELLING 2 ROOF	144.00	Rainwater Tank	3,000.00	2	96.10	100.00
TREATED DRIVEWAY 1	70.00	Raingarden 100mm	3.00	0	133.00	0.00
UNTREATED DRIVEWAY	61.00	None	0.00	0	0.00	0.00

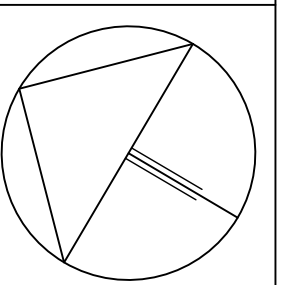
Date Generated: 06-Apr-2023 Program Version: 1.0.0

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ROOF CATCHMENT PLAN

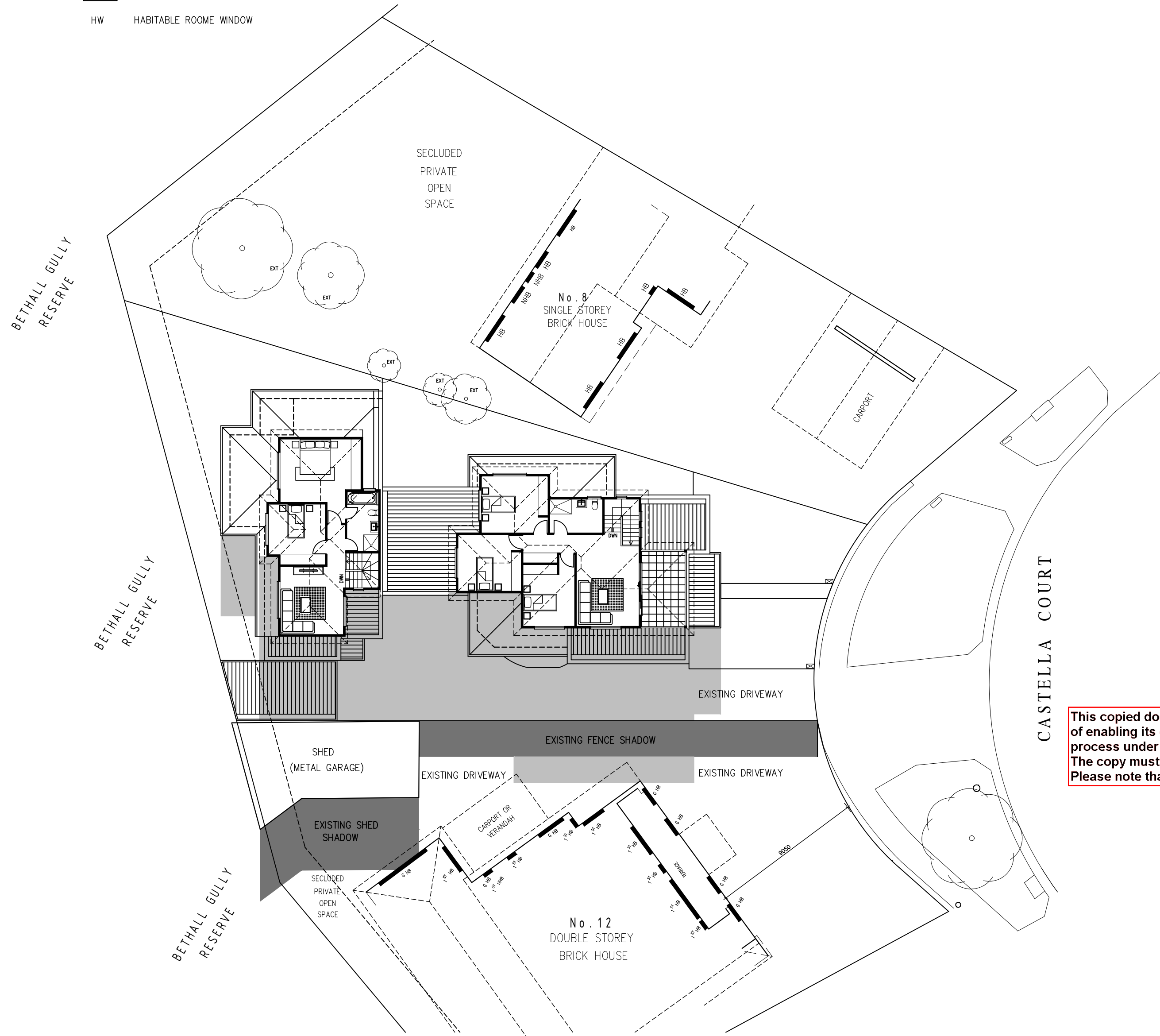
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PROJECT				DRAWING (NO.)	
PROPOSED TWO DWELLING DEVELOPMENT AT 10 CASTELLA COURT IN MEADOW HEIGHTS FOR MR BASSAM EL HOULI				TP-7A	
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO	
1/100	05/03/2023	FERAS AL ASAAD	BE-1222	BE-P100A	



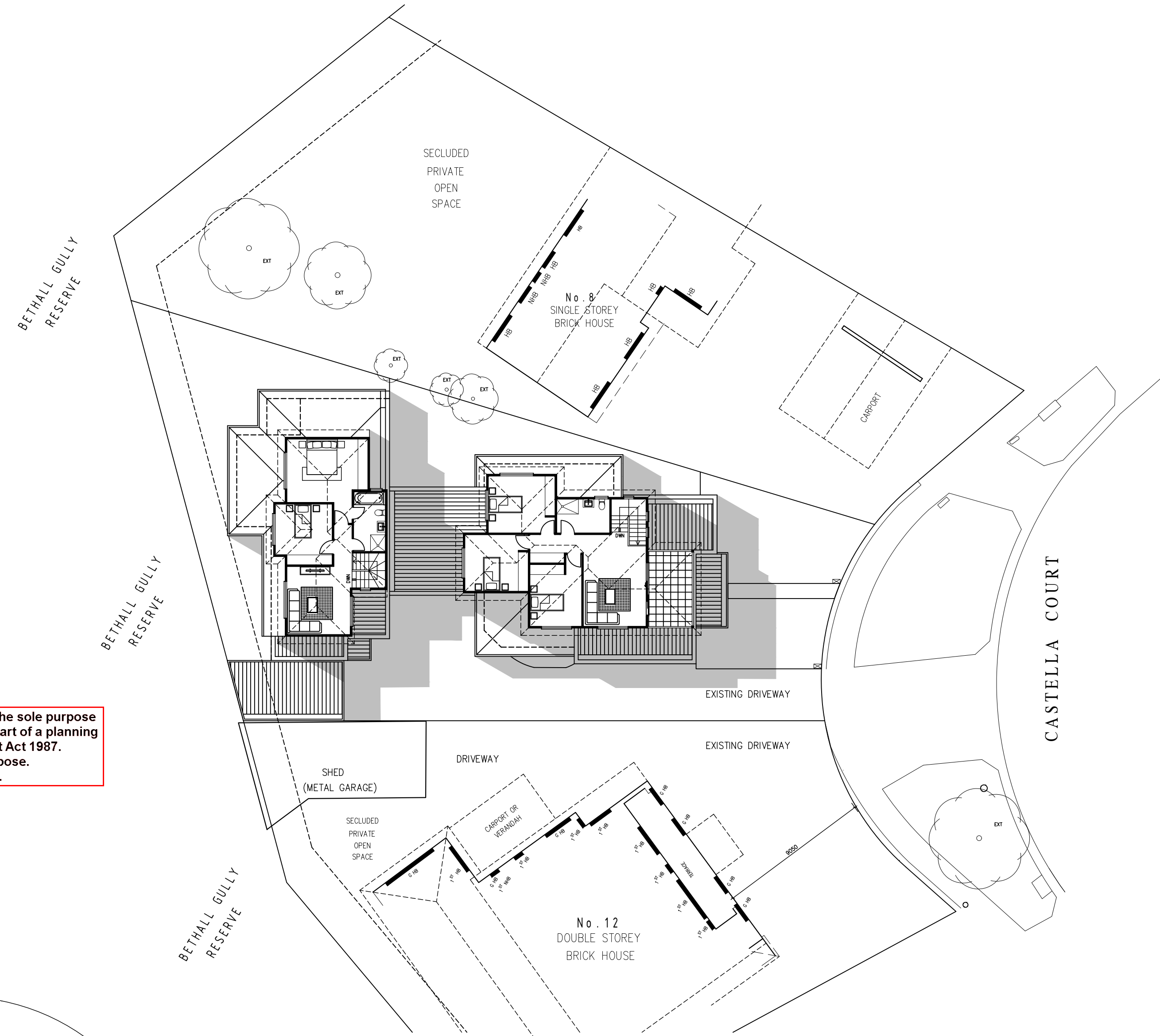
LEGEND

- NEW SHADOW
- EXISTING FENCE AND BUILDING(S) SHADOW
- HW HABITABLE ROOM WINDOW

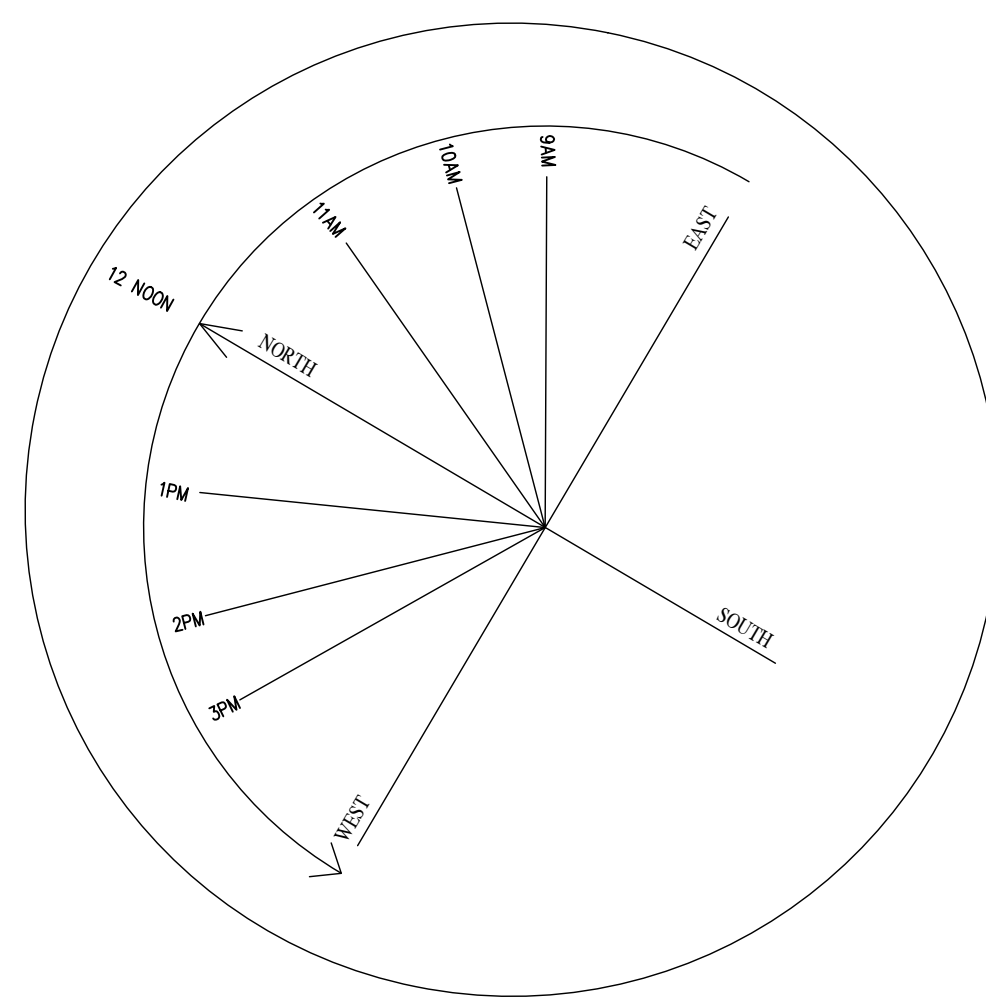


22nd SEP - 9AM SHADOW DIAGRAM

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22nd SEP - 12 NOON SHADOW DIAGRAM



SUN PATH

SHADOW DIAGRAMS / 9:00 AM & 12:00 NOON



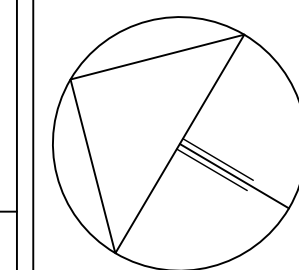
Feras Al Asaad
 Building Designer DP-AD 36309
 | PO BOX 247 CRAIGIEBURN, VIC 3064 |
 | Tel / Fax: (03) 9305 1234 | Mob: 0423 489 804 |
 | Email: feras@ferasdesign.com.au | Web: www.ferasdesign.com.au |



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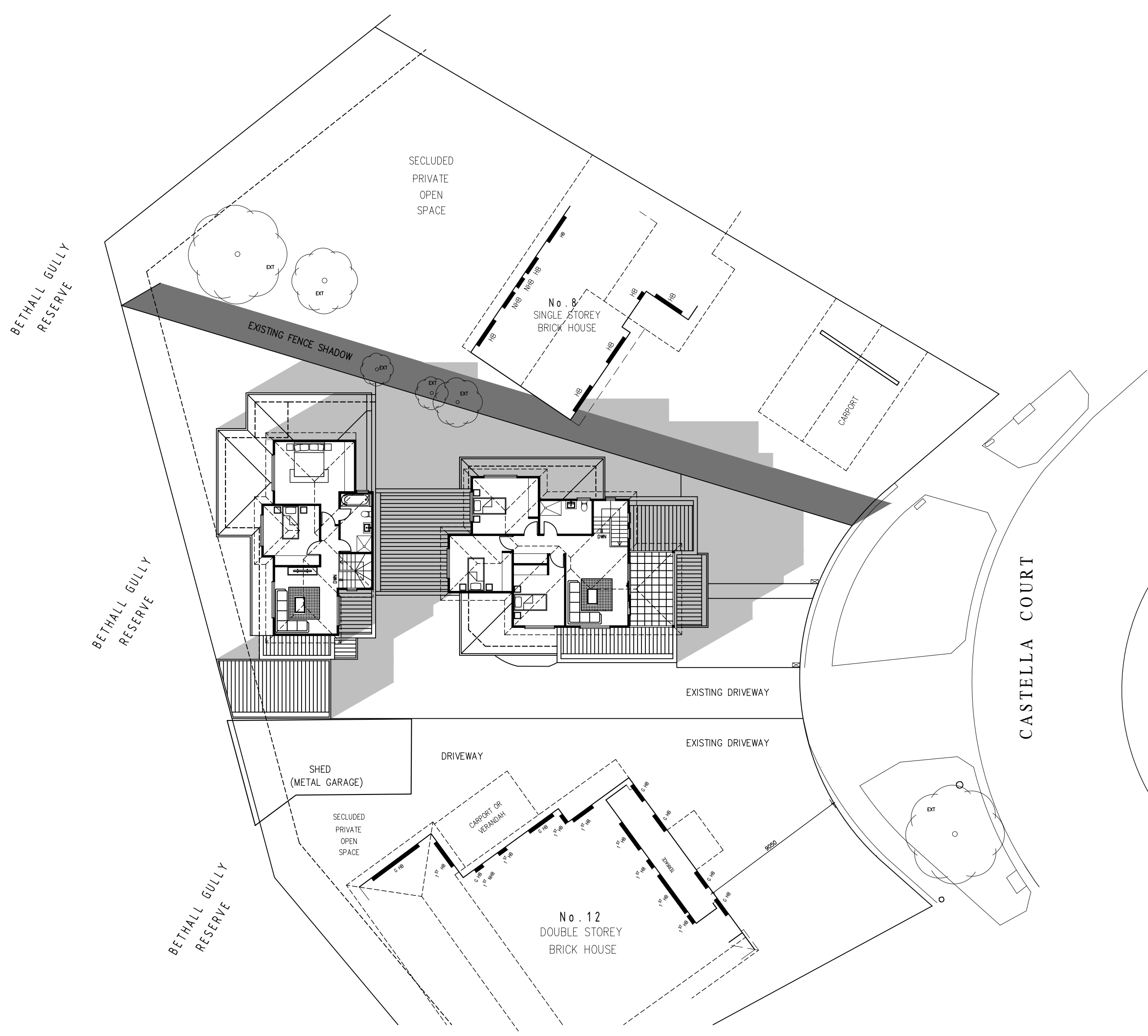
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C			
D			
E			
F			

PROJECT				DRAWING (NO.)	
PROPOSED TWO DWELLING DEVELOPMENT AT 10 CASTELLA COURT IN MEADOW HEIGHTS FOR MR BASSAM EL HOULI				TP-8A	
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO	
1/200	05/03/2023	FERAS AL ASAAD	BE-1222	BE-P100A	

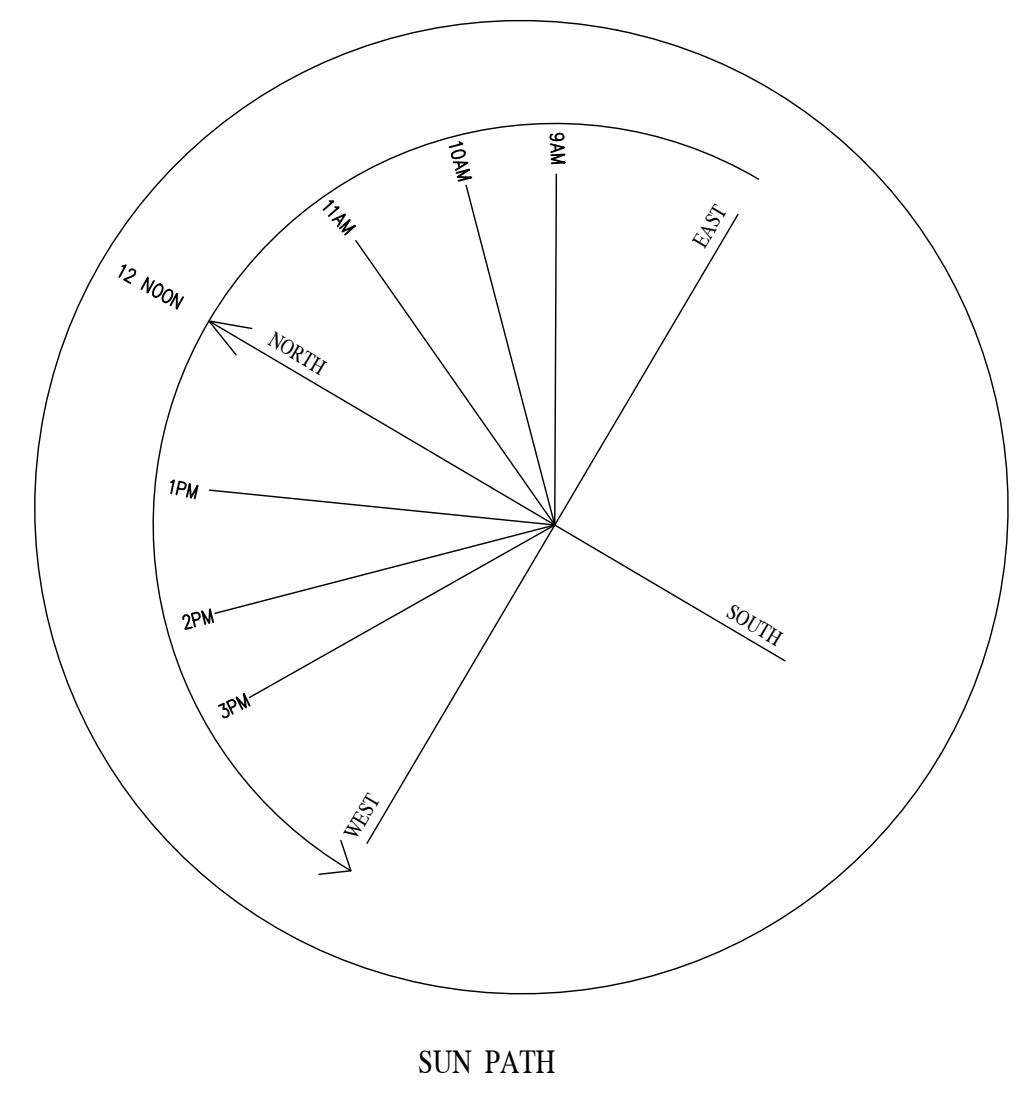


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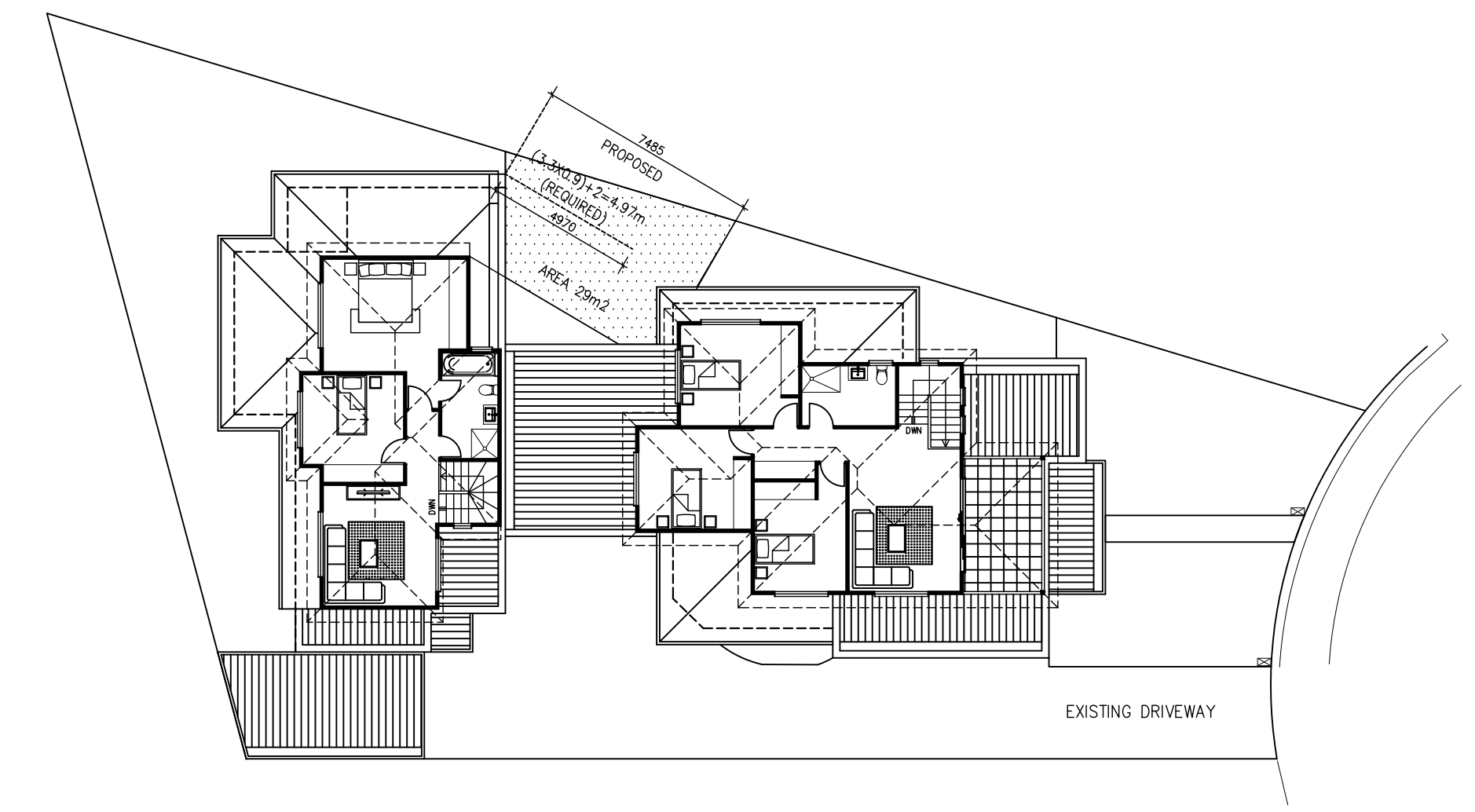
- LEGEND**
- NEW SHADOW
 - EXISTING FENCE SHADOW
 - EP ELECTRICITY POLE
 - FB FACE BRICK
 - HW HABITABLE ROOM WINDOW
 - RW RENDERED WALL
 - TR TILED ROOF



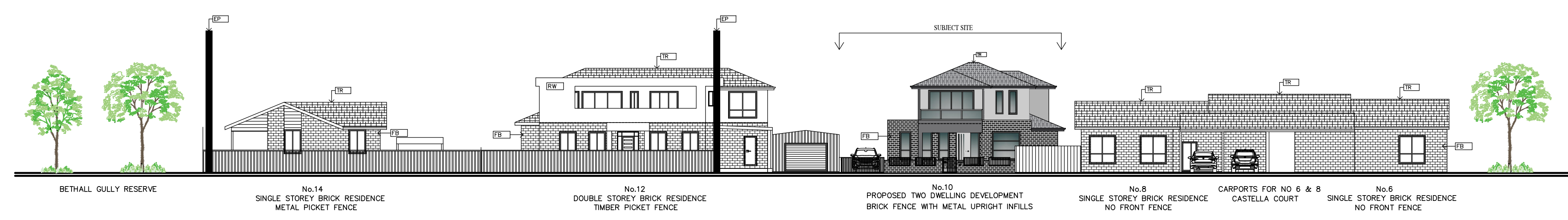
22nd SEP - 3PM SHADOW DIAGRAM



SUN PATH



SOLAR ACCESS TO OPEN SPACE



STREETSCAPE

1/200

3:00 PM SHADOW DIAGRAM / STREETSCAPE / SOLAR ACCESS TO OPEN SPACE

Feras Al Asaad
Building Designer DP-AD 36309
 | PO BOX 247 CRAIGIEBURN, VIC 3064 |
 | Tel / Fax: (03) 9305 1234 | Mob: 0423 489 804 |
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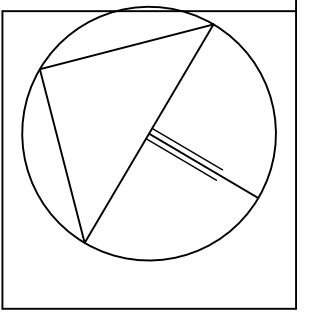
VBA VICTORIAN BUILDING AUTHORITY
REGISTERED
 Building Practitioner

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PROJECT PROPOSED TWO DWELLING DEVELOPMENT AT 10 CASTELLA COURT IN MEADOW HEIGHTS FOR MR BASSAM EL HOULI				DRAWING (NO.) TP-9A
SCALE 1/200	DATE 05/03/2023	DESIGNED AND DRAWN BY FERAS AL ASAAD	PROJECT NO BE-1222	CAD NO BE-P100A



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Sustainable Design Assessment

Project: Proposed Two Dwelling Development
Municipality: Hume City Council
Address: 10 Castella Court-Meadow Heights, Vic 3048
Client: [REDACTED]



Feras Building
DESIGN

| PO Box 247-Craigieburn, Vic 3064 | Tel/Fax: (03) 9305 1234 | Mob: 0423 489 804 | Email: feras@ferasdesign.com.au |
Web: www.ferasdesign.com.au

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The Report outlines the key Ecologically Sustainable Design (ESD) initiatives for No 10 Castella Court in Meadow Heights. It addresses the ESD requirements of Hume City Council and provide an overview of the sustainable design initiatives.

Subject site/Proposal

Site area is 706m² located to the North side of Hall Court. The area of the Dwellings that has been treated is 491m².

Key sustainable design strategies considered in the development include;

- High-performance building fabric with good levels of insulation
- Energy efficient LED lights

WATER

- Showerheads 4 Star WELS (≥ 4.5 but ≤ 6.0)
- Taps: Kitchen, Bathroom 5 Star WELS Rating
- Dishwashers water efficiency: 3 Star
- WC: 4 Star WELS Rating
- Washing Machine Water Efficiency: 3 Star Weis
- Water Efficient Landscaping to be installed
- Rainwater connected to toilets

Note: Rainwater harvesting tanks noted to be used only for re-use within the dwellings and that they are completely independent of any detention requirements

ENERGY

- Double glazing to be provided to All Habitable Room Windows
- Heating System Gas Central Ducts 3 Star
- Cooling System Refrigerative Ducted 3 Stars
- 5-star Gas Instantaneous Hot Water Service
- External lighting to be controlled by motion detectors to all external areas
- Private outdoor clothesline to be provided

INDOOR ENVIRONMENT QUALITY

- Double glazing required to all Habitable Room Windows.
- Shading devises to be provided to North, East and West facing windows.

TRANSPORT

- No Requirements

Urban Ecology

- Provide a Tap and floor waste in every balcony/Verandah and Courtyard

Materials.

Materials that will be used are: concrete slab, brick work, timber frames, light weight cladding and Tiled roof. Wall and ceiling insulations to be implemented as per energy rating reports and recommendations to improve energy efficiency rating.

VOC

It is required and commitment to use low Volatile Organic Compounds (VOC) for:

- Internal finishes and internal painted surfaces. Not to exceed 50g/L
- Ceramic tile adhesive. Not to exceed 65g/L
- Structural glazing adhesive. Not to exceed 100g/L
- Adhesives and sealants. Not to exceed 50g/L

Conclusion

The project achieves all the minimum requirements under BESS, the new industry ESD best practice Benchmark, achieving a rating of 51%



STORM Rating Report

TransactionID: 1559209
Municipality: HUME
Rainfall Station: HUME
Address: 10 Castella Court

Meadow Heights
VIC 3048

Assessor: FERAS AL ASAAD
Development Type: Residential - Multiunit
Allotment Site (m2): 706.00
STORM Rating %: 100

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
DWELLING 1 ROOF	186.00	Rainwater Tank	3,000.00	5	117.80	89.30
DWELLING 2 ROOF	144.00	Rainwater Tank	3,000.00	2	96.10	100.00
TREATED DRIVEWAY 1	70.00	Raingarden 100mm	3.00	0	133.00	0.00
UNTREATED DRIVEWAY	51.00	None	0.00	0	0.00	0.00

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BESS Report

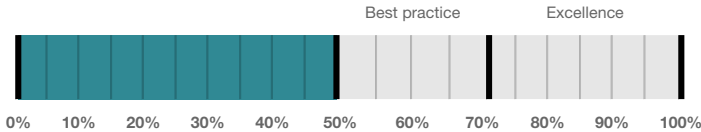
Built Environment Sustainability Scorecard



This BESS report outlines the sustainable design commitments of the proposed development at 10 Castella Ct Meadow Heights Victoria 3048. The BESS report and accompanying documents and evidence are submitted in response to the requirement for a Sustainable Design Assessment or Sustainability Management Plan at Hume City Council.

Note that where a Sustainability Management Plan is required, the BESS report must be accompanied by a report that further demonstrates the development's potential to achieve the relevant environmental performance outcomes and documents the means by which the performance outcomes can be achieved.

Your BESS Score



51%

Project details

Address 10 Castella Ct Meadow Heights Victoria 3048
Project no 51F6039D-R1
BESS Version BESS-7

Site type Multi unit development (apartment building)
Account feras@ferasdesign.com.au
Application no.
Site area 705.00 m²
Building floor area 429.00 m²
Date 06 April 2023
Software version 1.7.1-B.396



Performance by category

● Your development ● Maximum available

Category	Weight	Score	Pass
Management	5%	0%	*
Water	9%	50%	✓
Energy	28%	50%	✓
Stormwater	14%	100%	✓
IEQ	17%	100%	✓
Transport	9%	0%	*
Waste	6%	0%	*
Urban Ecology	6%	62%	*
Innovation	9%	0%	*

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Buildings

Name	Height	Footprint	% of total footprint
Building 1	2	281 m ²	57%
Building 2	2	210 m ²	42%

Dwellings & Non Res Spaces

Dwellings

Name	Quantity	Area	Building	% of total area
Townhouse				
Dwelling 1	1	243 m ²	Building 1	56%
Townhouse 2	1	186 m ²	Building 2	43%
Total	2	429 m²	100%	

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Supporting information

Floorplans & elevation notes

Credit	Requirement	Response	Status
Water 3.1	Water efficient garden annotated	To be printed Indicated	✓
Energy 3.3	External lighting sensors annotated	To be printed Indicated	✓
Energy 3.4	Clothes line annotated (if proposed)	To be printed Shown on the plan	✓
Stormwater 1.1	Location of any stormwater management systems used in STORM or MUSIC modelling (e.g. Rainwater tanks, raingarden, buffer strips)	To be printed Shown on the plans	✓
IEQ 2.2	Dwellings meeting the requirements for having 'natural cross flow ventilation'	To be printed As per Plans	✓
IEQ 3.1	Glazing specification to be annotated	To be printed Will be specified on the building documentations.	✓
IEQ 3.2	Adjustable shading systems	To be printed Shown on the plans	✓
IEQ 3.3	North-facing living areas	To be printed As per Design	✓
Urban Ecology 2.1	Vegetated areas	To be printed Shown on the plans	✓
Urban Ecology 2.4	Taps and floor waste on balconies / courtyards	To be printed Indicated on the plans	✓
Urban Ecology 3.1	Food production areas	To be printed Shown on the floor plans	✓

Supporting evidence

Credit	Requirement	Response	Status
Energy 3.5	Provide a written description of the average lighting power density to be installed in the development and specify the lighting type(s) to be used.	To be printed Roof catchment plan Indicated on the plan	✓
Stormwater 1.1	STORM report or MUSIC model	Uploaded Storm Rating Report.PDF Attached is the report https://bess.net.au/t/0632F7A6	✓
IEQ 2.2	A list of dwellings with natural cross flow ventilation	Uploaded BE-DR-GFP.pdf As per attached plan https://bess.net.au/t/5118F21F	✓
IEQ 3.1	Reference to floor plans or energy modelling showing the glazing specification (U-value and Solar Heat Gain Coefficient, SHGC)	Uploaded BE-DR-GFP.pdf Will be confirmed when building documentations have been completed. However habitable room windows have been indicated to be double glazed and each dwelling is to achieve a minimum of 6.5 energy rating stars. https://bess.net.au/t/5118F21F	✓
IEQ 3.2	Reference to floor plans and elevations showing shading devices	To be printed Shown on the elevation Plan	✓
IEQ 3.3	Reference to the floor plans showing living areas orientated to the north.	Uploaded BE-DR-GFP.pdf The land is angled, however ach living area receive the northern Sun as shown on the attached floor plan. https://bess.net.au/t/5118F21F	✓

Credit summary

Management Overall contribution 4.5%

		0%
1.1 Pre-Application Meeting		0%
2.2 Thermal Performance Modelling - Multi-Dwelling Residential		0%
4.1 Building Users Guide		0%

Water Overall contribution 9.0%

		Minimum required 50%	50%	✓ Pass
1.1 Potable water use reduction			40%	
3.1 Water Efficient Landscaping			100%	

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Energy Overall contribution 27.5%

		Minimum required 50%	50%	✓ Pass
1.2 Thermal Performance Rating - Residential			16%	
2.1 Greenhouse Gas Emissions			100%	
2.2 Peak Demand			0%	
2.3 Electricity Consumption			100%	
2.4 Gas Consumption			100%	
2.5 Wood Consumption			N/A	✦ Scoped Out
			No wood heating system present	
2.6 Electrification			0%	⊘ Disabled
		Credit is available when project is declared to have no gas connection.		
3.2 Hot Water			100%	
3.3 External Lighting			100%	
3.4 Clothes Drying			100%	
3.5 Internal Lighting - Residential Single Dwelling			100%	
4.4 Renewable Energy Systems - Other			0%	⊘ Disabled
		No other (non-solar PV) renewable energy is in use.		
4.5 Solar PV - Houses and Townhouses			0%	⊘ Disabled
		No solar PV renewable energy is in use.		

Stormwater Overall contribution 13.5%

		Minimum required 100%	100%	✓ Pass
1.1 Stormwater Treatment			100%	

IEQ Overall contribution 16.5%

		Minimum required 50%	100%	✓ Pass
2.2 Cross Flow Ventilation			100%	
3.1 Thermal comfort - Double Glazing			100%	
3.2 Thermal Comfort - External Shading			100%	
3.3 Thermal Comfort - Orientation			100%	

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Transport Overall contribution 9.0%

		0%
1.1 Bicycle Parking - Residential		0%
1.2 Bicycle Parking - Residential Visitor		N/A ✦ Scoped Out
Not enough dwellings.		
2.1 Electric Vehicle Infrastructure		0%

Waste Overall contribution 5.5%

		0%
1.1 - Construction Waste - Building Re-Use		0%
2.1 - Operational Waste - Food & Garden Waste		0%

Urban Ecology Overall contribution 5.5%

		62%
2.1 Vegetation		75%
2.2 Green Roofs		0%
2.3 Green Walls and Facades		0%
2.4 Private Open Space - Balcony / Courtyard Ecology		100%
3.1 Food Production - Residential		100%

Innovation Overall contribution 9.0%

		0%
1.1 Innovation		0%

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Credit breakdown

Management Overall contribution 0%

1.1 Pre-Application Meeting		0%
Score Contribution	This credit contributes 50.0% towards the category score.	
Criteria	Has an ESD professional been engaged to provide sustainability advice from schematic design to construction? AND Has the ESD professional been involved in a pre-application meeting with Council?	
Question	Criteria Achieved ?	
Project	No	
2.2 Thermal Performance Modelling - Multi-Dwelling Residential		0%
Score Contribution	This credit contributes 33.3% towards the category score.	
Criteria	Have preliminary NatHERS ratings been undertaken for all thermally unique dwellings?	
Question	Criteria Achieved ?	
Townhouse	No	
4.1 Building Users Guide		0%
Score Contribution	This credit contributes 16.7% towards the category score.	
Criteria	Will a building users guide be produced and issued to occupants?	
Question	Criteria Achieved ?	
Project	No	

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Water Overall contribution 4% Minimum required 50%

Section Notes: Dwelling one has no Bathtub.

Water Approach	
What approach do you want to use for Water?:	Use the built in calculation tools
Project Water Profile Question	
Do you have a reticulated third pipe or an on-site water recycling system?:	No
Are you installing a swimming pool?:	No
Are you installing a rainwater tank?:	Yes
Water fixtures, fittings and connections	
Building:	
Dwelling 1	Building 1
Townhouse 2	Building 2
Showerhead: All	4 Star WELS (>= 6.0 but <= 7.5)
Bath:	
Dwelling 1	Scope out
Townhouse 2	Medium Sized Contemporary Bath
Kitchen Taps: All	>= 5 Star WELS rating
Bathroom Taps: All	>= 5 Star WELS rating
Dishwashers: All	>= 3 Star WELS rating
WC: All	>= 4 Star WELS rating
Urinals: All	Scope out
Washing Machine Water Efficiency: All	>= 3 Star WELS rating
Which non-potable water source is the dwelling/space connected to?:	
Dwelling 1	TANK 1
Townhouse 2	TANK 2
Non-potable water source connected to Toilets: All	Yes
Non-potable water source connected to Laundry (washing machine): All	No
Non-potable water source connected to Hot Water System: All	No
Rainwater Tanks	
What is the total roof area connected to the rainwater tank?:	
TANK 1	186 m ²
TANK 2	144 m ²
Tank Size:	
TANK 1	3,000 Litres
TANK 2	3,000 Litres
Irrigation area connected to tank:	
TANK 1	30.0 m ²
TANK 2	

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Is connected irrigation area a water efficient garden?:	
TANK 1	Yes
TANK 2	Yes
Other external water demand connected to tank?:	
TANK 1	-
TANK 2	-
1.1 Potable water use reduction	40%
Score Contribution	This credit contributes 83.3% towards the category score.
Criteria	What is the reduction in total potable water use due to efficient fixtures, appliances, rainwater use and recycled water use? To achieve points in this credit there must be >25% potable water reduction.
Output	Reference
Project	474 kL
Output	Proposed (excluding rainwater and recycled water use)
Project	396 kL
Output	Proposed (including rainwater and recycled water use)
Project	327 kL
Output	% Reduction in Potable Water Consumption
Project	30 %
Output	% of connected demand met by rainwater
Project	100 %
Output	How often does the tank overflow?
Project	Very Often
Output	Opportunity for additional rainwater connection
Project	167 kL
3.1 Water Efficient Landscaping	100%
Score Contribution	This credit contributes 16.7% towards the category score.
Criteria	Will water efficient landscaping be installed?
Question	Criteria Achieved ?
Project	Yes

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Energy Overall contribution 14% Minimum required 50%

Dwellings Energy Approach	
What approach do you want to use for Energy?:	Use the built in calculation tools
Project Energy Profile Question	
Are you installing any solar photovoltaic (PV) system(s)?:	No
Are you installing any other renewable energy system(s)?:	No
Gas supplied into building:	Natural Gas
Dwelling Energy Profiles	
Building:	
Dwelling 1	Building 1
Townhouse 2	Building 2
Below the floor is: All	Ground or Carpark
Above the ceiling is: All	Outside
Exposed sides: All	4
NatHERS Annual Energy Loads - Heat: All	90.0 MJ/sqm
NatHERS Annual Energy Loads - Cool: All	28.0 MJ/sqm
NatHERS star rating: All	6.5
Type of Heating System: All	B Gas central ducts
Heating System Efficiency: All	3 Star
Type of Cooling System: All	Refrigerative ducted
Cooling System Efficiency: All	3 Stars
Type of Hot Water System: All	I Gas Instantaneous 5 star
Is the hot water system shared by multiple dwellings?:	
Dwelling 1	No
Townhouse 2	N/A
% Contribution from solar hot water system: All	-
Clothes Line: All	D Private outdoor clothesline
Clothes Dryer: All	Occupant to Install
1.2 Thermal Performance Rating - Residential	16%
Score Contribution	This credit contributes 27.3% towards the category score.
Criteria	What is the average NatHERS rating?
Output	Average NATHERS Rating (Weighted)
Townhouse	6.5 Stars

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2.1 Greenhouse Gas Emissions		100%
Score Contribution	This credit contributes 9.1% towards the category score.	
Criteria	What is the % reduction in annual greenhouse gas emissions against the benchmark?	
Output	Reference Building with Reference Services (BCA only)	
Townhouse	11,226 kg CO2	
Output	Proposed Building with Proposed Services (Actual Building)	
Townhouse	8,841 kg CO2	
Output	% Reduction in GHG Emissions	
Townhouse	21 %	

2.2 Peak Demand		0%
Score Contribution	This credit contributes 4.5% towards the category score.	
Criteria	What is the % reduction in the instantaneous (peak-hour) demand against the benchmark?	
Output	Peak Thermal Cooling Load - Baseline	
Townhouse	29.2 kW	
Output	Peak Thermal Cooling Load - Proposed	
Townhouse	29.4 kW	
Output	Peak Thermal Cooling Load - % Reduction	
Townhouse	-1 %	

2.3 Electricity Consumption		100%
Score Contribution	This credit contributes 9.1% towards the category score.	
Criteria	What is the % reduction in annual electricity consumption against the benchmark?	
Output	Reference	
Townhouse	5,223 kWh	
Output	Proposed	
Townhouse	3,865 kWh	
Output	Improvement	
Townhouse	26 %	

2.4 Gas Consumption		100%
Score Contribution	This credit contributes 9.1% towards the category score.	
Criteria	What is the % reduction in annual gas consumption against the benchmark?	
Output	Reference	
Townhouse	114,761 MJ	
Output	Proposed	
Townhouse	95,310 MJ	
Output	Improvement	
Townhouse	16 %	

2.5 Wood Consumption		N/A	✦ Scoped Out
This credit was scoped out	No wood heating system present		

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2.6 Electrification	0%	⊘ Disabled
This credit is disabled	Credit is available when project is declared to have no gas connection.	
3.2 Hot Water	100%	
Score Contribution	This credit contributes 4.5% towards the category score.	
Criteria	What is the % reduction in annual energy consumption (gas and electricity) of the hot water system against the benchmark?	
Output	Reference	
Townhouse	11,020 kWh	
Output	Proposed	
Townhouse	9,213 kWh	
Output	Improvement	
Townhouse	16 %	
3.3 External Lighting	100%	
Score Contribution	This credit contributes 4.5% towards the category score.	
Criteria	Is the external lighting controlled by a motion detector?	
Question	Criteria Achieved ?	
Townhouse	Yes	
3.4 Clothes Drying	100%	
Score Contribution	This credit contributes 4.5% towards the category score.	
Criteria	What is the % reduction in annual energy consumption (gas and electricity) from a combination of clothes lines and efficient driers against the benchmark?	
Output	Reference	
Townhouse	1,550 kWh	
Output	Proposed	
Townhouse	310 kWh	
Output	Improvement	
Townhouse	80 %	
3.5 Internal Lighting - Residential Single Dwelling	100%	
Score Contribution	This credit contributes 4.5% towards the category score.	
Criteria	Does the development achieve a maximum illumination power density of 4W/sqm or less?	
Question	Criteria Achieved?	
Townhouse	Yes	
4.4 Renewable Energy Systems - Other	0%	⊘ Disabled
This credit is disabled	No other (non-solar PV) renewable energy is in use.	
4.5 Solar PV - Houses and Townhouses	0%	⊘ Disabled
This credit is disabled	No solar PV renewable energy is in use.	

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Stormwater Overall contribution 14% Minimum required 100%


Which stormwater modelling are you using?:		Melbourne Water STORM tool
1.1 Stormwater Treatment		100%
Score Contribution	This credit contributes 100.0% towards the category score.	
Criteria	Has best practice stormwater management been demonstrated?	
Question	STORM score achieved	
Project	100	
Output	Min STORM Score	
Project	100	

IEQ Overall contribution 16% Minimum required 50%

2.2 Cross Flow Ventilation		100%
Score Contribution	This credit contributes 20.0% towards the category score.	
Criteria	Are all habitable rooms designed to achieve natural cross flow ventilation?	
Question	Criteria Achieved ?	
Townhouse	Yes	
3.1 Thermal comfort - Double Glazing		100%
Score Contribution	This credit contributes 40.0% towards the category score.	
Criteria	Is double glazing (or better) used to all habitable areas?	
Question	Criteria Achieved ?	
Townhouse	Yes	
3.2 Thermal Comfort - External Shading		100%
Score Contribution	This credit contributes 20.0% towards the category score.	
Criteria	Is appropriate external shading provided to east, west and north facing glazing?	
Question	Criteria Achieved ?	
Townhouse	Yes	
3.3 Thermal Comfort - Orientation		100%
Score Contribution	This credit contributes 20.0% towards the category score.	
Criteria	Are at least 50% of living areas orientated to the north?	
Question	Criteria Achieved ?	
Townhouse	Yes	

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Transport Overall contribution 0%

1.1 Bicycle Parking - Residential		0%
Score Contribution	This credit contributes 50.0% towards the category score.	
Criteria	How many secure and undercover bicycle spaces are there per dwelling for residents?	
Question	Bicycle Spaces Provided ?	
Townhouse	0	
1.2 Bicycle Parking - Residential Visitor		N/A  Scoped Out
This credit was scoped out		Not enough dwellings.
2.1 Electric Vehicle Infrastructure		0%
Score Contribution	This credit contributes 50.0% towards the category score.	
Criteria	Are facilities provided for the charging of electric vehicles?	
Question	Criteria Achieved ?	
Project	No	

Waste Overall contribution 0%

1.1 - Construction Waste - Building Re-Use		0%
Score Contribution	This credit contributes 50.0% towards the category score.	
Criteria	If the development is on a site that has been previously developed, has at least 30% of the existing building been re-used?	
Question	Criteria Achieved ?	
Project	No	
2.1 - Operational Waste - Food & Garden Waste		0%
Score Contribution	This credit contributes 50.0% towards the category score.	
Criteria	Are facilities provided for on-site management of food and garden waste?	
Question	Criteria Achieved ?	
Project	No	

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Urban Ecology Overall contribution 3%

2.1 Vegetation	75%
Score Contribution	This credit contributes 50.0% towards the category score.
Criteria	How much of the site is covered with vegetation, expressed as a percentage of the total site area?
Question	Percentage Achieved ?
Project	28 %
2.2 Green Roofs	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Does the development incorporate a green roof?
Question	Criteria Achieved ?
Project	No
2.3 Green Walls and Facades	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Does the development incorporate a green wall or green façade?
Question	Criteria Achieved ?
Project	No
2.4 Private Open Space - Balcony / Courtyard Ecology	100%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Is there a tap and floor waste on every balcony / in every courtyard?
Question	Criteria Achieved ?
Townhouse	Yes
3.1 Food Production - Residential	100%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	What area of space per resident is dedicated to food production?
Question	Food Production Area
Townhouse	2.0 m ²
Output	Min Food Production Area
Townhouse	2 m ²

Innovation Overall contribution 0%

1.1 Innovation	0%
Score Contribution	This credit contributes 100.0% towards the category score.
Criteria	What percentage of the Innovation points have been claimed (10 points maximum)?

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