

# Application for Planning Permit

Planning Enquiries  
 Phone: 03 9205 2200  
 Web: <http://www.hume.vic.gov.au>

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#).

**⚠** Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

**⚠** Questions marked with an asterisk (\*) are mandatory and must be completed.

**⚠** If the space provided on the form is insufficient, attach a separate sheet.

Clear Form

## The Land i ① Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

### Street Address \*

Unit No.:	St. No.: 12	St. Name: Balcombe Court
Suburb/Locality: Craigieburn		Postcode: 3064

### Formal Land Description \*

Complete either A or B.

**⚠** This information can be found on the certificate of title.

A   Lodged Plan  Title Plan  Plan of Subdivision

OR

B

If this application relates to more than one address, please click this button and enter relevant details.

Add Address

## The Proposal ⚠ You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

### ② For what use, development or other matter do you require a permit? \*

If you need help about the proposal, read:  
[How to Complete the Application for Planning Permit Form](#)

Select the focus of this application and describe below:  ▼

Application for second dwelling

**📎** Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

### ③ Estimated cost of development for which the permit is required \*

**⚠** You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within metropolitan Melbourne (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy must be paid to the State Revenue Office and a current levy certificate must be submitted with the application. Visit [www.sro.vic.gov.au](http://www.sro.vic.gov.au) for information.

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## Existing Conditions i

### 4 Describe how the land is used and developed now \*

eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Residential house

Provide a plan of the existing conditions. Photos are also helpful.

## Title Information i

### 5 Encumbrances on title \*

If you need help about the title, read: [How to complete the Application for Planning Permit form](#)

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes. (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive covenants.)

## Applicant and Owner Details i

### 6 Provide details of the applicant and the owner of the land.

#### Applicant \*

The person who wants the permit.

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Please provide at least one contact phone number \*

Name:

Title: Mr

First Name: Ron

Surname: Popelier

Organisation (if applicable): Pop Design Studios

Postal Address:

Unit No.:

St. No.: 145

If it is a P.O. Box, enter the details here:

St. Name: The Boulevard

Suburb/Locality: Shepparton

State: VIC

Postcode: 3630

Contact person's details \*

Same as applicant (if so, go to 'contact information')

Name:

Title:

First Name:

Surname:

Organisation (if applicable):

Postal Address:

Unit No.:

St. No.:

If it is a P.O. Box, enter the details here:

St. Name:

Suburb/Locality:

State:

Postcode:

Contact information

Business Phone: 03 58 217444

Email: ron@popds.com.au

Mobile Phone: 0417 217444

Fax:

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**Owner \***

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.

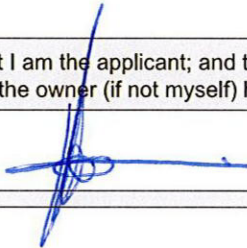
Name:		Same as applicant <input type="checkbox"/>	
Title: Mr <input type="text"/>	First Name: Ali <input type="text"/>	Surname: Al-Khafaji <input type="text"/>	
Organisation (if applicable): <input type="text"/>			
Postal Address:		If it is a P.O. Box, enter the details here:	
Unit No.: <input type="text"/>	St. No.: <input type="text"/>	St. Name: Saxon Street <input type="text"/>	
Suburb/Locality: Numurkah <input type="text"/>		State: VIC <input type="text"/>	Postcode: 3636 <input type="text"/>
Owner's Signature (Optional): <input type="text"/>			Date: <input type="text"/>
			day / month / year

**Declaration i**

**7 This form must be signed by the applicant \***

**⚠** Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature: 	Date: 1.3.2021 <input type="text"/>
	day / month / year

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## Need help with the Application?

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#)  
General information about the planning process is available at [www.delwp.vic.gov.au/planning](http://www.delwp.vic.gov.au/planning)

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

8 **Has there been a pre-application meeting with a Council planning officer?**

No  Yes

If 'yes', with whom?:


Date:  day / month / year


## Checklist

9 **Have you:**

Filled in the form completely?

Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 **Provided all necessary supporting information and documents?**

A full, current copy of title information for each individual parcel of land forming the subject site

A plan of existing conditions.

Plans showing the layout and details of the proposal

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).

If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.

Completed the relevant Council planning permit checklist?

Signed the declaration (section 7)?

## Lodgement

**Lodge the completed and signed form, the fee payment and all documents with:**

Hume City Council  
PO Box 119 Dallas VIC 3047  
Pascoe Vale Road Broadmeadows VIC 3047

### Contact information:

Telephone: 61 03 9205 2200

Email: [email@hume.vic.gov.au](mailto:email@hume.vic.gov.au)

DX: 94718

Translation: 03 9205 2200 for connection to Hume Link's multilingual telephone information service

### Deliver application in person, by fax, or by post:

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address. This is usually your local council but can sometimes be the Minister for Planning or another body.

### Save Form:

You can save this application form to your computer to complete or review later or email it to others to complete relevant sections.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

Page 1 of 1

VOLUME 09623 FOLIO 826

Security no : 124088494151J  
Produced 04/03/2021 03:07 PM

**LAND DESCRIPTION**

Lot 49 on Plan of Subdivision 146168K.  
PARENT TITLE Volume 09567 Folio 754  
Created by instrument LP146168K 31/07/1985

**REGISTERED PROPRIETOR**

Estate Fee Simple  
Sole Proprietor  
ALI ABBAS ABDUL-AMIR AL-KHAFAJI of 78 SAXTON STREET NUMURKAH VIC 3636  
AQ606818H 05/01/2018

**ENCUMBRANCES, CAVEATS AND NOTICES**

MORTGAGE AQ606819F 05/01/2018  
WESTPAC BANKING CORPORATION

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE LP146168K FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 12 BALCOMBE COURT CRAIGIEBURN VIC 3064

**ADMINISTRATIVE NOTICES**

NIL

eCT Control 16320Q WESTPAC BANKING CORPORATION  
Effective from 08/01/2018

DOCUMENT END

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Document Type	<b>Plan</b>
Document Identification	<b>LP146168K</b>
Number of Pages (excluding this cover sheet)	<b>2</b>
Document Assembled	<b>04/03/2021 15:14</b>

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PLAN OF SUBDIVISION  
 OF PART OF CROWN SECTION 16  
 PARISH OF YUROKE  
 COUNTY OF BOURKE  
**VOL 9567 FOL 754**  
 Measurements are in Metres

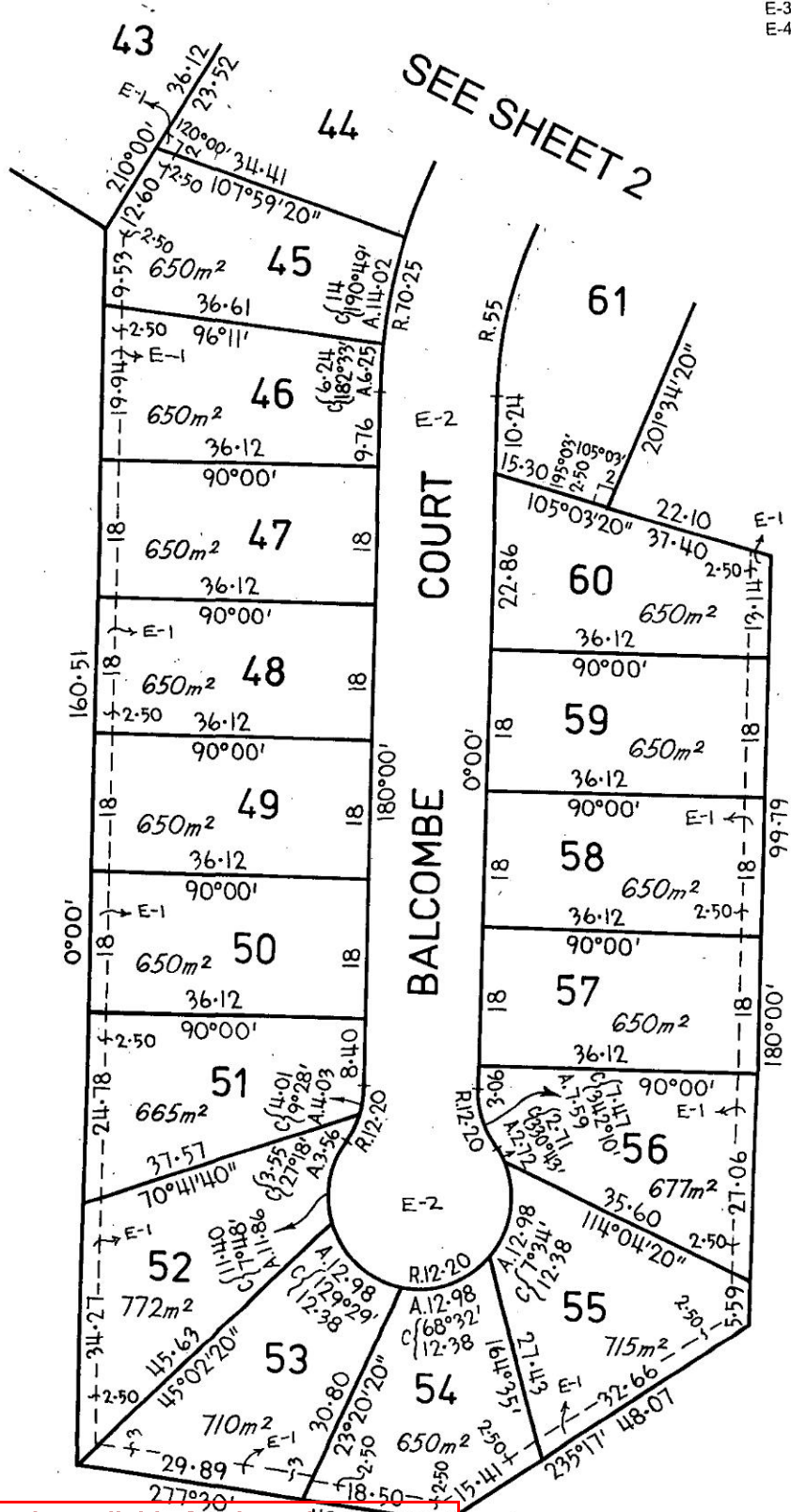
APPROPRIATIONS
BROWN AND BROWN HATCHED - WAY, DRAINAGE AND SEWERAGE
BLUE - DRAINAGE AND SEWERAGE
NOTATIONS
LOTS 1 TO 24 AND 35 TO 38 (ALL INCLUSIVE) HAVE BEEN OMITTED FROM THIS PLAN.
BROWN HATCHED - (ENCUMBERED) WAY, DRAINAGE AND SEWERAGE VIDE L.R. 145544
YELLOW - IMPLIED EASEMENT FOR WAY, DRAINAGE AND SEWERAGE PURPOSES VIDE L.R. 145544

# LP 146168K

EDITION 1  
PLAN APPROVED 31/07/85.

2 SHEETS  
 SHEET 1.

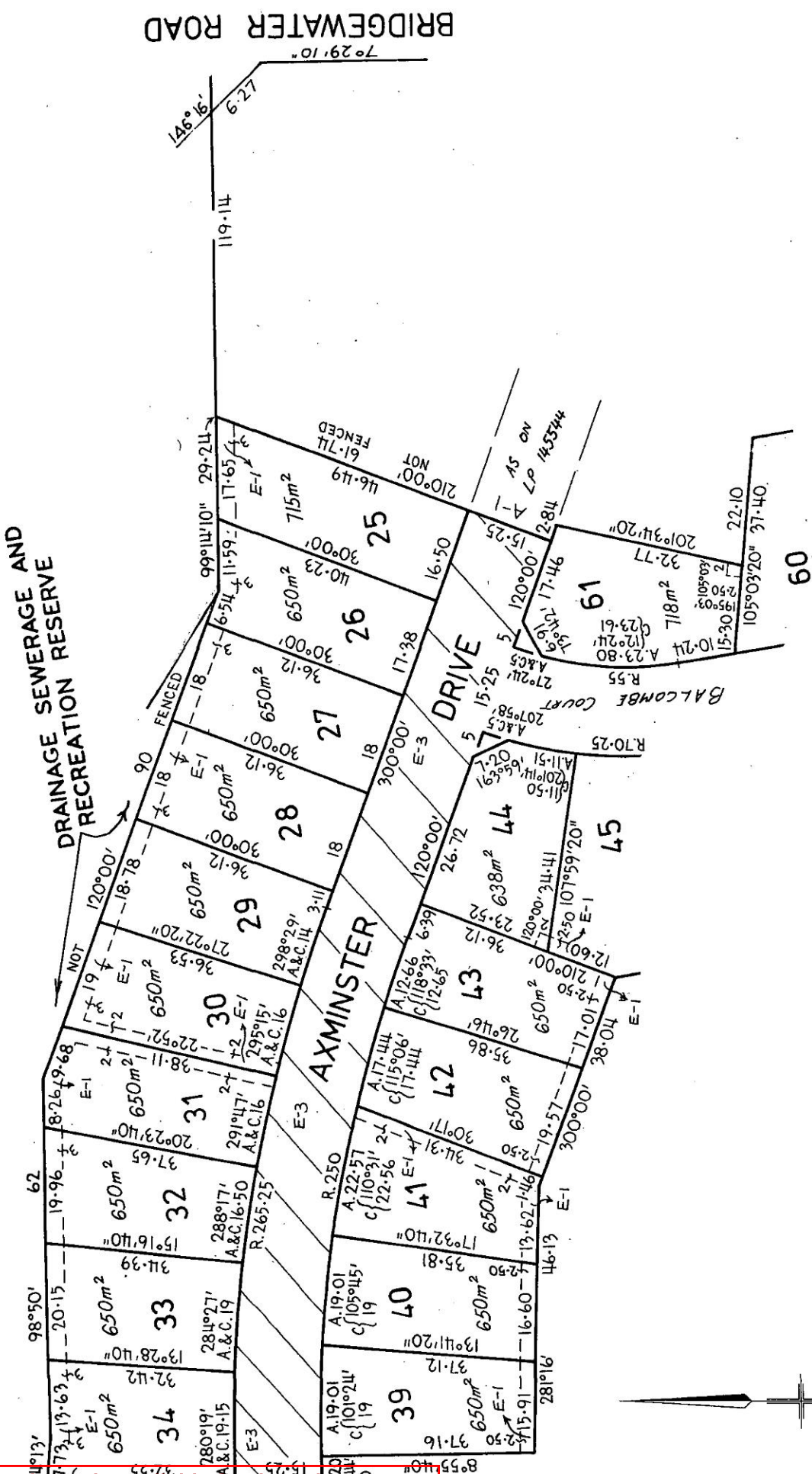
COLOUR CODE  
 E-1 = BLUE  
 E-2 = BROWN  
 E-3 = BROWN HATCHED  
 E-4 = A-1



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LP 146168K

2 SHEETS  
SHEET 2



SEE SHEET 1

60

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## 12 Balcombe Court Craigieburn

### Clause 55

#### Clause 55.02.1 Neighbourhood character

Our proposed development is located to the rear of the site with an existing residence located to the front facing the street. Our proposed unit is located 1.2 , 3.1 at rear and on the boundary on the southern side. The unit will have minimum visibility from the street. The general amenity of the homes and units within the court are brick veneer buildings with tiled roofs. Our development will reflect the general architecture of the court

#### Clause 55.02.2 Residential Policy

We believe that this development is in keeping with State and Local planning policy framework Our proposal is single storey residence and is located behind an existing residence which is facing the street. The proposed building has no shadowing impact on surrounding residences as it is a single storey with 1.8 m high boundary fences

#### Clause 55.02.3 Dwelling Diversity

Our development is a three bedroom residence which has an area of 167 m2 which includes garage.

#### Clause 55.02.4 Infrastructure

The existing site has an existing residence located to the front of the site. Our proposed building is located at the rear of the site and we will be connecting into the existing sewer and stormwater drainage system. We will also connect water to the site from the existing water main.

**Clause 55.02.3 Integration with the street**

Our development has a driveway which connects to the street. We also have access from the front to our front door via the new driveway. There is a front fence to the site.

**Clause 55.03.1 Street Setbacks.**

Our development is located at the rear of the site thus not impeding on any front setbacks

**Clause 55.03.2 Building height**

Our development is single storey which is in keeping with the existing Neighbourhood Character

**Clause 55.03.3 Site Coverage**

Our site has an area of 650.16 m<sup>2</sup>. The existing residence, new car port and our proposed building has a coverage of 313 m<sup>2</sup>. This gives a site coverage of 48.14 %

**Clause 55.03.4 Permeability**

Our non-impervious area is 225.8 m<sup>2</sup>. Our buildings and driveways come to 424.36 m<sup>2</sup> thus giving us a 34.73 % permeability of the site. This is not applicable as we are doing a 2 lot subdivision and we will be under the 400 m<sup>2</sup> block size

**Clause 55.03.5 Energy efficiency**

We have orientated the building to have living and kitchen facing west due to the design constraints  
We have also located the private outdoor space to the west

**Clause 55.03.6 Open space**

There are no communal open spaces. Each dwelling has its own private open space

**Clause 55.03.7 Safety**

Our development has the front door facing the street and is visible from the driveway

**Clause 55.03.8 Landscaping**

Our development has proposed landscaping which will compliment both the existing residence and the proposed new Unit. There are no large trees that will need to be removed apart from a pine tree where the proposed garage is located

**Clause 55.03.9 Access**

We have used a portion of the existing driveway and extended it to accommodate the proposed new carports. The layout allows for the reversing from the site

**Clause 55.03.10 Parking location**

Our development allows for the parking of cars in the proposed carport. There is one carspace for each Residence located in front of carport and garage

**Clause 55.04.1 Side and rear setback**

Our proposed unit is located away from any boundaries apart from the southern boundary.

We have setbacks of 1.2 m , 3.1 m and garage and family room are located on the boundary

**Clause 55.04.2 Walls on boundaries**

We have garage and family room walls to the rear residence on the boundary. The length of wall on boundary is 11.861 m. We are permitted to have 10 m plus  $\frac{1}{4}$  of the remaining distance

This means that we can have 16.53 m. We have 11.861 m. Our wall on the boundary is 2.9 m high

**Clause 55 .04.3 Daylight to windows**

Our development has no impact on any existing neighbours windows

**Clause 55.04.4 North facing windows**

Our development is not located within 3 m of an existing north facing habitable window

**Clause 55.04.5 Overshadowing open space**

Our development has an impact on an existing secluded open space to the south of our proposed development We have 1.8 m high fences around boundaries

**Clause 55.04.6 Overlooking**

Our proposed development is single storey, thus no overlooking issues

**Clause 55.04.7 Internal viewing**

Our proposed development will have no impact on the viewing into the existing dwellings secluded space

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**Clause 55.04.8 Noise impacts**

All mechanical plant will be located to the rear of the proposed unit thus having no impact on adjoining residence bedroom

**Clause 55.05.1 Accessibility**

We would allow for steps to gain access to the proposed residence

**Clause 55.05.2 Dwelling entry**

The proposed unit will have its own front door which will give it its own identity

**Clause 55.05.3 Daylight to new windows**

Our development has adequate daylight access to new windows as there are no obstructions To these windows

**Clause 55.05.5 Solar access to open space**

Our development has the open private space to the west of our development

**Clause 55.05.6 Storage**

Our development will have a independent shed located on the site for storage location to be confirmed

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**Clause 55.06.1 Design**

Our development is a brick veneer home. Externally we will be providing a pitched roof over.

We do have some protrusions to articulate the external elevations. The architectural design is reflected in the existing dwellings within the court. There is a 2 unit development opposite our proposed development

**Clause 55.06.2 Front fences**

There is a 1 m high wrought iron front fence to the site.

**Clause 55.06.3 Common property**

The only common property will be at the front where they will share a common concrete crossover

**Clause 55.06.4 Site Services**

Our design allows for easements for services. We have adequate area for bins etc. We will have a letter box to front of site

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# BESS SUMMARY



# SHAPING A SUSTAINABLE FUTURE

**Prepared for:** Pop design studios  
**Assessment by:** Shaun Hills

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SeedHaus™ acknowledges the Kumbumerri peoples as the Traditional Custodians of the land on which we operate. We acknowledge their continuing connection to their Country, the flora and fauna and their connection to the Nerang and Coomera Rivers. We acknowledge and pay our respect to the past, present and future Traditional Custodians and Elders of this nation.

Date 17<sup>th</sup> November 2021 Our Reference [Job No.] 214908

## Property Details

Applicant Name	Pop design studio		
Property Description	Lot 000 on RP/SP 000000	Building Class	1
Site Address	12 Balcombe Court Craigieburn VIC 3064	LGA	HUME CITY COUNCIL
Traditional Place Name	Woiworung country		
Total Site Area	339.16m2	Number of Res. Dwellings	1

## Management

Thermal performance modelled of standard/default reading

## Water

Reticulated water- N/A

Tank water – N/A

Water fixtures / fittings – As per BESS report 4 WELS rated fittings used throughout

Washing machine water efficiency – based on use of 5-star WELS or greater unit

## Energy

NatHERS – assumed 6-star rating 110.0 MJ/sqm heating, 27.6 MJ/sqm cooling

Heating - Reverse cycle space/ std/MEPS

Cooling – Refrigerative space/ std/MEPS

Hot Water – Gas storage/ 5-star

Clothes line – private outdoor clothesline

## Stormwater

Storm score – 100%

## IEQ

Cross flow – Achieved

Thermal comfort / Double glazing - Yes

Thermal comfort / External shading - Yes





# Summary cont...

## Transport

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Bicycle parking / Residential – N/A  
Electric vehicle infrastructure – N/A

## Waste

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Construction waste / building reuse – N/A  
Operation Waste / Food & Garden Waste – FOGO service

## Urban Ecology

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Urban ecology / Vegetation – 24%  
Urban ecology / Green roofs – N/A  
Urban ecology / Green walls and façade – N/A  
Urban ecology / Food production – Residential – 1.0m2

## Innovation

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Innovation – N/A

Your summary was completed by our accredited assessor

*Shaun Hills*

**SHAUN HILLS**  
HERA000000



**THANK YOU FOR COLLABORATING WITH US.  
THROUGH ONE TREE PLANTED WE JUST PLANTED A TREE TOGETHER!**



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Suite 35, Worongary Town Centre, 11 Mudgeeraba Road, Worongary Qld 4213  
07 5522 9674 | hello@seedhaus.com.au | @seedhaus | seedhaus.com.au

# BESS Report

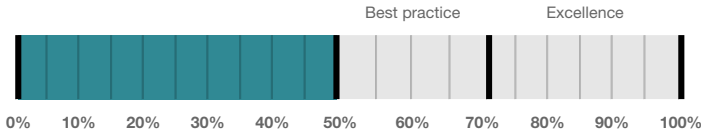
Built Environment Sustainability Scorecard



This BESS report outlines the sustainable design commitments of the proposed development at 12 Balcombe Ct Craigieburn VIC 3064. The BESS report and accompanying documents and evidence are submitted in response to the requirement for a Sustainable Design Assessment or Sustainability Management Plan at Hume City Council.

Note that where a Sustainability Management Plan is required, the BESS report must be accompanied by a report that further demonstrates the development's potential to achieve the relevant environmental performance outcomes and documents the means by which the performance outcomes can be achieved.

## Your BESS Score



# 50%

## Project details

Address	12 Balcombe Ct Craigieburn VIC 3064
Project no	9EODDC22-R2
BESS Version	BESS-6
Site type	Single dwelling
Account	shaun@seedhaus.com.au
Application no.	
Site area	339 m <sup>2</sup>
Building floor area	167.0 m <sup>2</sup>
Date	23 November 2021
Software version	1.7.0-B.375



## Performance by category

● Your development ● Maximum available

Category	Weight	Score	Pass
Management	5%	0%	*
Water	9%	50%	✓
Energy	28%	50%	✓
Stormwater	14%	100%	✓
IEQ	17%	80%	✓
Transport	9%	0%	*
Waste	6%	50%	*
Urban Ecology	6%	57%	*
Innovation	9%	0%	*

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## Dwellings & Non Res Spaces

### Dwellings

Name	Quantity	Area	% of total area
<b>Detached dwelling</b>			
Dwelling	1	167 m <sup>2</sup>	100%
<b>Total</b>	<b>1</b>	<b>167 m<sup>2</sup></b>	<b>100%</b>

### Supporting information

#### Floorplans & elevation notes

Credit	Requirement	Response	Status
Water 3.1	Water efficient garden annotated		-
Energy 3.3	External lighting sensors annotated		-
Energy 3.4	Clothes line annotated (if proposed)		-
Stormwater 1.1	Location of any stormwater management systems used in STORM or MUSIC modelling (e.g. Rainwater tanks, raingarden, buffer strips)		-
IEQ 2.2	Dwellings meeting the requirements for having 'natural cross flow ventilation'		-
IEQ 3.1	Glazing specification to be annotated		-
IEQ 3.2	Adjustable shading systems		-
Waste 2.1	Location of food and garden waste facilities		-
Urban Ecology 2.1	Vegetated areas		-
Urban Ecology 3.1	Food production areas		-

#### Supporting evidence

Credit	Requirement	Response	Status
Energy 3.5	Provide a written description of the average lighting power density to be installed in the development and specify the lighting type(s) to be used.		-
Stormwater 1.1	STORM report or MUSIC model		-
IEQ 2.2	A list of dwellings with natural cross flow ventilation		-
IEQ 3.1	Reference to floor plans or energy modelling showing the glazing specification (U-value and Solar Heat Gain Coefficient, SHGC)		-
IEQ 3.2	Reference to floor plans and elevations showing shading devices		-

### Credit summary

#### Management Overall contribution 4.5%

		0%
1.1 Pre-Application Meeting		0%
2.1 Thermal Performance Modelling - Single Dwelling		0%

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For more details see [www.bess.net.au](http://www.bess.net.au)

Sustainable Built Environment (CASBE).

Please note that the plan may not be to scale.

**Water Overall contribution 9.0%**

		<b>Minimum required 50%</b>	<b>50%</b>	<b>✔ Pass</b>
1.1 Potable water use reduction			40%	
3.1 Water Efficient Landscaping			100%	

**Energy Overall contribution 27.5%**

		<b>Minimum required 50%</b>	<b>50%</b>	<b>✔ Pass</b>
1.2 Thermal Performance Rating - Residential			0%	
2.1 Greenhouse Gas Emissions			100%	
2.2 Peak Demand			0%	
2.3 Electricity Consumption			100%	
2.4 Gas Consumption			100%	
2.5 Wood Consumption			N/A	✦ Scoped Out
				No wood heating system present
3.2 Hot Water			100%	
3.3 External Lighting			100%	
3.4 Clothes Drying			100%	
3.5 Internal Lighting - Residential Single Dwelling			100%	
4.4 Renewable Energy Systems - Other			N/A	⊘ Disabled
				No other (non-solar PV) renewable energy is in use.
4.5 Solar PV - Houses and Townhouses			N/A	⊘ Disabled
				No solar PV renewable energy is in use.

**Stormwater Overall contribution 13.5%**

		<b>Minimum required 100%</b>	<b>100%</b>	<b>✔ Pass</b>
1.1 Stormwater Treatment			100%	

**IEQ Overall contribution 16.5%**

		<b>Minimum required 50%</b>	<b>80%</b>	<b>✔ Pass</b>
2.2 Cross Flow Ventilation			100%	
3.1 Thermal comfort - Double Glazing			100%	
3.2 Thermal Comfort - External Shading			100%	
3.3 Thermal Comfort - Orientation			0%	

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**Transport Overall contribution 9.0%**

		<b>0%</b>
1.1 Bicycle Parking - Residential		0%
2.1 Electric Vehicle Infrastructure		0%

**Waste Overall contribution 5.5%**

		<b>50%</b>
1.1 - Construction Waste - Building Re-Use		0%
2.1 - Operational Waste - Food & Garden Waste		100%

**Urban Ecology Overall contribution 5.5%**

		<b>57%</b>
2.1 Vegetation		75%
2.2 Green Roofs		0%
2.3 Green Walls and Facades		0%
3.1 Food Production - Residential		100%

**Innovation Overall contribution 9.0%**

		<b>0%</b>
1.1 Innovation		0%

**Credit breakdown**

**Management Overall contribution 0%**

<b>1.1 Pre-Application Meeting</b>	<b>0%</b>
Score Contribution	This credit contributes 60.0% towards the category score.
Criteria	Has an ESD professional been engaged to provide sustainability advice from schematic design to construction? AND Has the ESD professional been involved in a pre-application meeting with Council?
Question	Criteria Achieved ?
Project	No
<b>2.1 Thermal Performance Modelling - Single Dwelling</b>	<b>0%</b>
Score Contribution	This credit contributes 40.0% towards the category score.
Criteria	Has a preliminary NatHERS rating been undertaken?
Question	Criteria Achieved ?
Project	No

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**Water** Overall contribution 4% Minimum required 50%

<b>Water Approach</b>	
What approach do you want to use for Water?:	Use the built in calculation tools
<b>Project Water Profile Question</b>	
Do you have a reticulated third pipe or an on-site water recycling system?:	No
Are you installing a swimming pool?:	No
Are you installing a rainwater tank?:	No
<b>Water fixtures, fittings and connections</b>	
Showerhead:	4 Star WELS (>= 4.5 but <= 6.0)
Bath:	Medium Sized Contemporary Bath
Kitchen Taps:	>= 4 Star WELS rating
Bathroom Taps:	>= 4 Star WELS rating
Dishwashers:	>= 4 Star WELS rating
WC:	>= 4 Star WELS rating
Urinals:	Scope out
Washing Machine Water Efficiency:	>= 5 Star WELS rating
<b>1.1 Potable water use reduction</b>	40%
Score Contribution	This credit contributes 83.3% towards the category score.
Criteria	What is the reduction in total potable water use due to efficient fixtures, appliances, rainwater use and recycled water use? To achieve points in this credit there must be >25% potable water reduction.
Output	Reference
Project	214 kL
Output	Proposed (excluding rainwater and recycled water use)
Project	160 kL
Output	Proposed (including rainwater and recycled water use)
Project	160 kL
Output	% Reduction in Potable Water Consumption
Project	25 %
Output	% of connected demand met by rainwater
Project	83 %
Output	How often does the tank overflow?
Project	Often
Output	Opportunity for additional rainwater connection
Project	75 kL
<b>3.1 Water Efficient Landscaping</b>	100%
Score Contribution	This credit contributes 16.7% towards the category score.
Criteria	Will water efficient landscaping be installed?
Question	Criteria Achieved?
Project	Yes

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**Energy** Overall contribution 14% Minimum required 50%

<b>Dwellings Energy Approach</b>	
What approach do you want to use for Energy?:	Use the built in calculation tools
<b>Project Energy Profile Question</b>	
Are you installing any solar photovoltaic (PV) system(s)?:	No
Are you installing any other renewable energy system(s)?:	No
Gas supplied into building:	Natural Gas
<b>Dwelling Energy Profile</b>	
Below the floor is:	Ground or Carpark
Above the ceiling is:	Outside
Exposed sides:	4
NatHERS Annual Energy Loads - Heat:	110 MJ/sqm
NatHERS Annual Energy Loads - Cool:	27.6 MJ/sqm
NatHERS star rating:	6.0
Type of Heating System:	D Reverse cycle space
Heating System Efficiency:	std/MEPS
Type of Cooling System:	Refrigerative space
Cooling System Efficiency:	Current Default / MEPS
Type of Hot Water System:	F Gas Storage 5 star
Is the hot water system shared by multiple dwellings?:	No
% Contribution from solar hot water system:	0 %
Clothes Line:	D Private outdoor clothesline
Clothes Dryer:	A No clothes dryer
<b>1.2 Thermal Performance Rating - Residential</b>	<b>0%</b>
Score Contribution	This credit contributes 30.0% towards the category score.
Criteria	What is the average NatHERS rating?
Output	Average NATHERS Rating (Weighted)
Detached dwelling	6.0 Stars
<b>2.1 Greenhouse Gas Emissions</b>	<b>100%</b>
Score Contribution	This credit contributes 10.0% towards the category score.
Criteria	What is the % reduction in annual greenhouse gas emissions against the benchmark?
Output	Reference Building with Reference Services (BCA only)
Detached dwelling	8,452 kg CO2
Output	Proposed Building with Proposed Services (Actual Building)
Detached dwelling	3,623 kg CO2
Output	% Reduction in GHG Emissions
Detached dwelling	57 %

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<b>2.2 Peak Demand</b>	0%
Score Contribution	This credit contributes 5.0% towards the category score.
Criteria	What is the % reduction in instantaneous (peak-hour) demand against the benchmark?
Output	Peak Thermal Cooling Load - Baseline
Detached dwelling	23.2 kW
Output	Peak Thermal Cooling Load - Proposed
Detached dwelling	23.2 kW
Output	Peak Thermal Cooling Load - % Reduction
Detached dwelling	0 %

<b>2.3 Electricity Consumption</b>	100%
Score Contribution	This credit contributes 10.0% towards the category score.
Criteria	What is the % reduction in annual electricity consumption against the benchmark?
Output	Reference
Detached dwelling	7,331 kWh
Output	Proposed
Detached dwelling	2,767 kWh
Output	Improvement
Detached dwelling	62 %

<b>2.4 Gas Consumption</b>	100%
Score Contribution	This credit contributes 10.0% towards the category score.
Criteria	What is the % reduction in annual gas consumption against the benchmark?
Output	Reference
Detached dwelling	18,968 MJ
Output	Proposed
Detached dwelling	15,579 MJ
Output	Improvement
Detached dwelling	17 %

<b>2.5 Wood Consumption</b>	N/A	✦ Scoped Out
This credit was scoped out	No wood heating system present	

<b>3.2 Hot Water</b>	100%
Score Contribution	This credit contributes 5.0% towards the category score.
Criteria	What is the % reduction in annual energy consumption (gas and electricity) of the hot water system against the benchmark?
Output	Reference
Detached dwelling	5,269 kWh
Output	Proposed
Detached dwelling	4,327 kWh
Output	Improvement
Detached dwelling	17 %

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<b>3.3 External Lighting</b>		100%
Score Contribution	This credit contributes 5.0% towards the category score.	
Criteria	Is the external lighting controlled by a motion detector?	
Question	Criteria Achieved ?	
Detached dwelling	Yes	
<b>3.4 Clothes Drying</b>		100%
Score Contribution	This credit contributes 5.0% towards the category score.	
Criteria	What is the % reduction in annual energy consumption (gas and electricity) from a combination of clothes lines and efficient driers against the benchmark?	
Output	Reference	
Detached dwelling	705 kWh	
Output	Proposed	
Detached dwelling	141 kWh	
Output	Improvement	
Detached dwelling	80 %	
<b>3.5 Internal Lighting - Residential Single Dwelling</b>		100%
Score Contribution	This credit contributes 5.0% towards the category score.	
Criteria	Does the development achieve a maximum illumination power density of 4W/sqm or less?	
Question	Criteria Achieved?	
Detached dwelling	Yes	
<b>4.4 Renewable Energy Systems - Other</b>	N/A	<input type="checkbox"/> Disabled
This credit is disabled	No other (non-solar PV) renewable energy is in use.	
<b>4.5 Solar PV - Houses and Townhouses</b>	N/A	<input type="checkbox"/> Disabled
This credit is disabled	No solar PV renewable energy is in use.	

**Stormwater** Overall contribution 14% Minimum required 100%

Which stormwater modelling are you using?:	Melbourne Water STORM tool	
<b>1.1 Stormwater Treatment</b>		100%
Score Contribution	This credit contributes 100.0% towards the category score.	
Criteria	Has best practice stormwater management been demonstrated?	
Question	STORM score achieved	
Project	100	
Output	Min STORM Score	
Project	100	

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**IEQ** Overall contribution 13% Minimum required 50%

<b>2.2 Cross Flow Ventilation</b>		100%
Score Contribution	This credit contributes 20.0% towards the category score.	
Criteria	Are all habitable rooms designed to achieve natural cross flow ventilation?	
Question	Criteria Achieved ?	
Detached dwelling	Yes	
<b>3.1 Thermal comfort - Double Glazing</b>		100%
Score Contribution	This credit contributes 40.0% towards the category score.	
Criteria	Is double glazing (or better) used to all habitable areas?	
Question	Criteria Achieved ?	
Detached dwelling	Yes	
<b>3.2 Thermal Comfort - External Shading</b>		100%
Score Contribution	This credit contributes 20.0% towards the category score.	
Criteria	Is appropriate external shading provided to east, west and north facing glazing?	
Question	Criteria Achieved ?	
Detached dwelling	Yes	
<b>3.3 Thermal Comfort - Orientation</b>		0%
Score Contribution	This credit contributes 20.0% towards the category score.	
Criteria	Are at least 50% of living areas orientated to the north?	
Question	Criteria Achieved ?	
Detached dwelling	No	

**Transport** Overall contribution 0%

<b>1.1 Bicycle Parking - Residential</b>		0%
Score Contribution	This credit contributes 50.0% towards the category score.	
Criteria	How many secure and undercover bicycle spaces are there per dwelling for residents?	
Question	Bicycle Spaces Provided ?	
Detached dwelling	0	
<b>2.1 Electric Vehicle Infrastructure</b>		0%
Score Contribution	This credit contributes 50.0% towards the category score.	
Criteria	Are facilities provided for the charging of electric vehicles?	
Question	Criteria Achieved ?	
Project	No	

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**Waste** Overall contribution 3%

<b>1.1 - Construction Waste - Building Re-Use</b>		0%
Score Contribution	This credit contributes 50.0% towards the category score.	
Criteria	If the development is on a site that has been previously developed, has at least 30% of the existing building been re-used?	
Annotation	Sub division of exciting building, no existing buildings on proposed site	
Question	Criteria Achieved ?	
Project	-	
<b>2.1 - Operational Waste - Food &amp; Garden Waste</b>		100%
Score Contribution	This credit contributes 50.0% towards the category score.	
Criteria	Are facilities provided for on-site management of food and garden waste?	
Annotation	FOGO service provided by council	
Question	Criteria Achieved ?	
Project	Yes	

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**Urban Ecology** Overall contribution 3%

<b>2.1 Vegetation</b>		75%
Score Contribution	This credit contributes 57.1% towards the category score.	
Criteria	How much of the site is covered with vegetation, expressed as a percentage of the total site area?	
Question	Percentage Achieved ?	
Project	24 %	
<b>2.2 Green Roofs</b>		0%
Score Contribution	This credit contributes 14.3% towards the category score.	
Criteria	Does the development incorporate a green roof?	
Question	Criteria Achieved ?	
Project	No	
<b>2.3 Green Walls and Facades</b>		0%
Score Contribution	This credit contributes 14.3% towards the category score.	
Criteria	Does the development incorporate a green wall or green façade?	
Question	Criteria Achieved ?	
Project	No	
<b>3.1 Food Production - Residential</b>		100%
Score Contribution	This credit contributes 14.3% towards the category score.	
Criteria	What area of space per resident is dedicated to food production?	
Question	Food Production Area	
Detached dwelling	1.0 m <sup>2</sup>	
Output	Min Food Production Area	
Detached dwelling	1 m <sup>2</sup>	

**Innovation** Overall contribution 0%

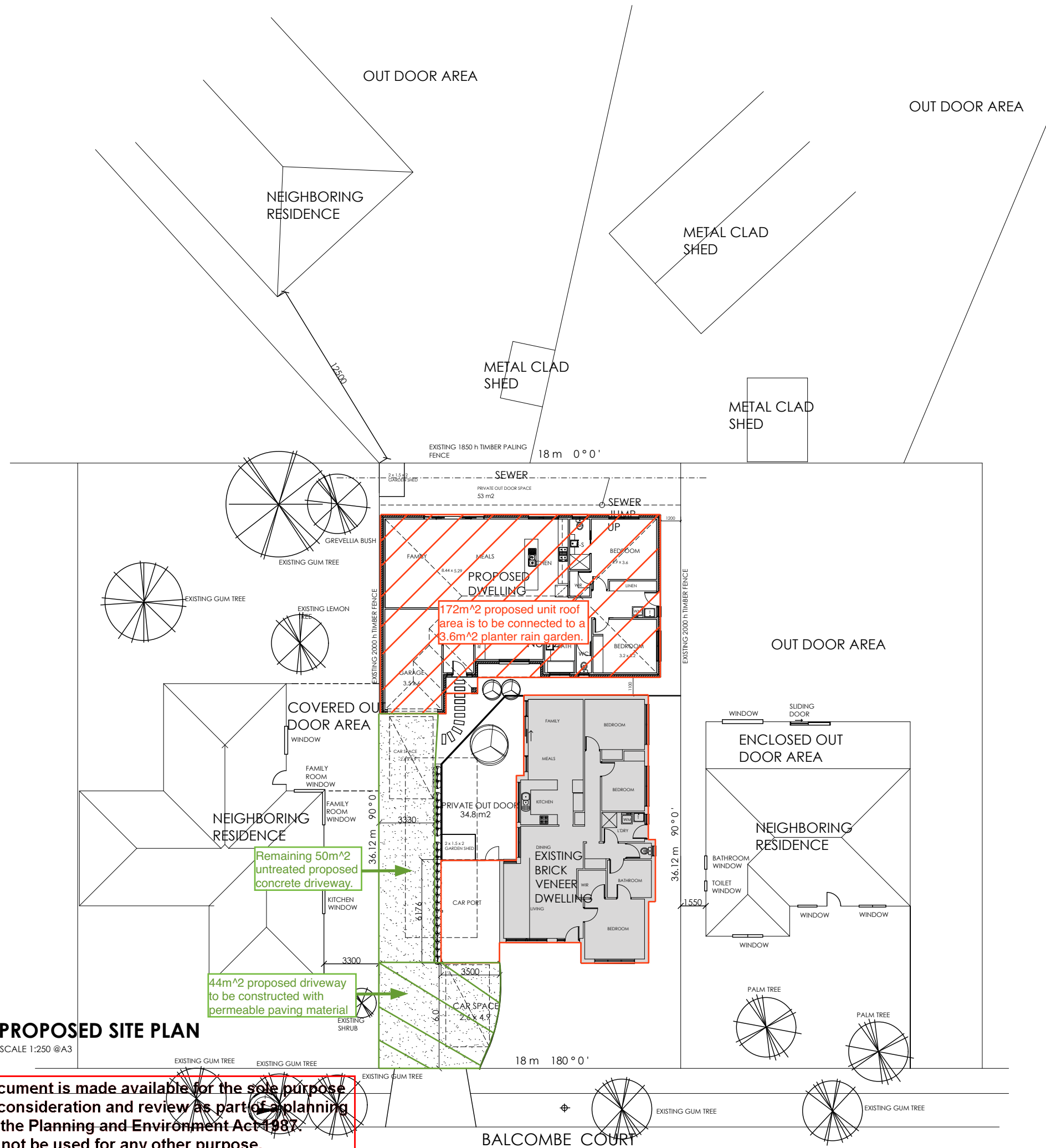
<b>1.1 Innovation</b>		0%
Score Contribution	This credit contributes 100.0% towards the category score.	
Criteria	What percentage of the Innovation points have been claimed (10 points maximum)?	

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**PROJECT: PROPOSED SECOND DWELLING**  
**CLIENT: ALI ALKHAFAJI**  
**ADDRESS: 12 BALCOMBE COURT CRAIGIEBURN**

**DRAWING TITLE:**  
**PROPOSED SITE PLAN**

SCALE: 1:250 @ A3      DRAWN BY: Ron Popelier      ISSUE DATE: 26.10.2021

PROJECT NO: 3903.20      SHEET NO: -      DRAWING NO: 01      REVISION NO: -

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SHEPPARTON VIC 3630  
P.O. BOX 1090  
SHEPPARTON VIC 3632  
T 03] 5821 7444  
F 03] 5821 2047  
ron@popds.com.au  
www.popdesignstudios.com

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# STORM Rating Report

TransactionID: 1258423  
Municipality: HUME  
Rainfall Station: HUME  
Address: 12 Balcombe Court

Craigieburn  
VIC

Assessor: Nadir Yonan  
Development Type: Residential - Multiunit  
Allotment Site (m2): 360.00  
STORM Rating %: 100

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Proposed Unit	172.00	Raingarden 100mm	3.60	0	128.50	0.00
Driveway	50.00	None	0.00	0	0.00	0.00

Date Generated: 26-Oct-2021

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Program Version: 1.0.0

CLIENT: ALI ALKHAFAJI  
PROJECT: PROPOSED SECOND RESIDENCE  
DATE ISSUE: 6.11.2021  
JOB NO: 3903.20

## DRAWING SCHEDULE

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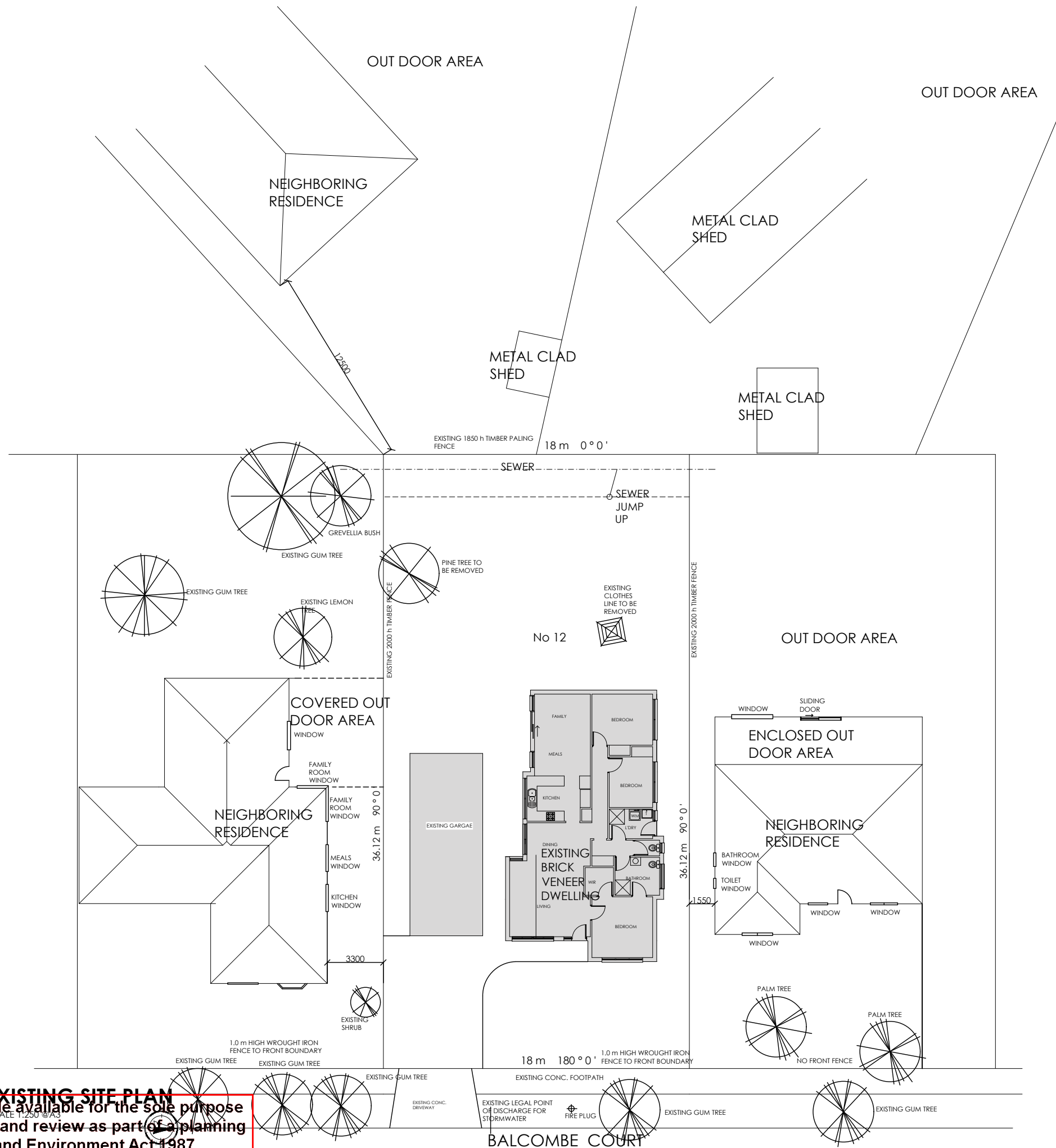
001 EXISTING SITE PLAN  
002 PROPOSED SITE PLAN  
003 EXISTING FLOOR PLAN  
004 PROPOSED FLOOR PLAN  
005 EXISTING ELEVATIONS  
006 PROPOSED ELEVATIONS

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F 03] 5821 2047  
122 High Street  
Shepparton Vic, 3630  
P.O.Box 1090, Shepparton Vic 3632  
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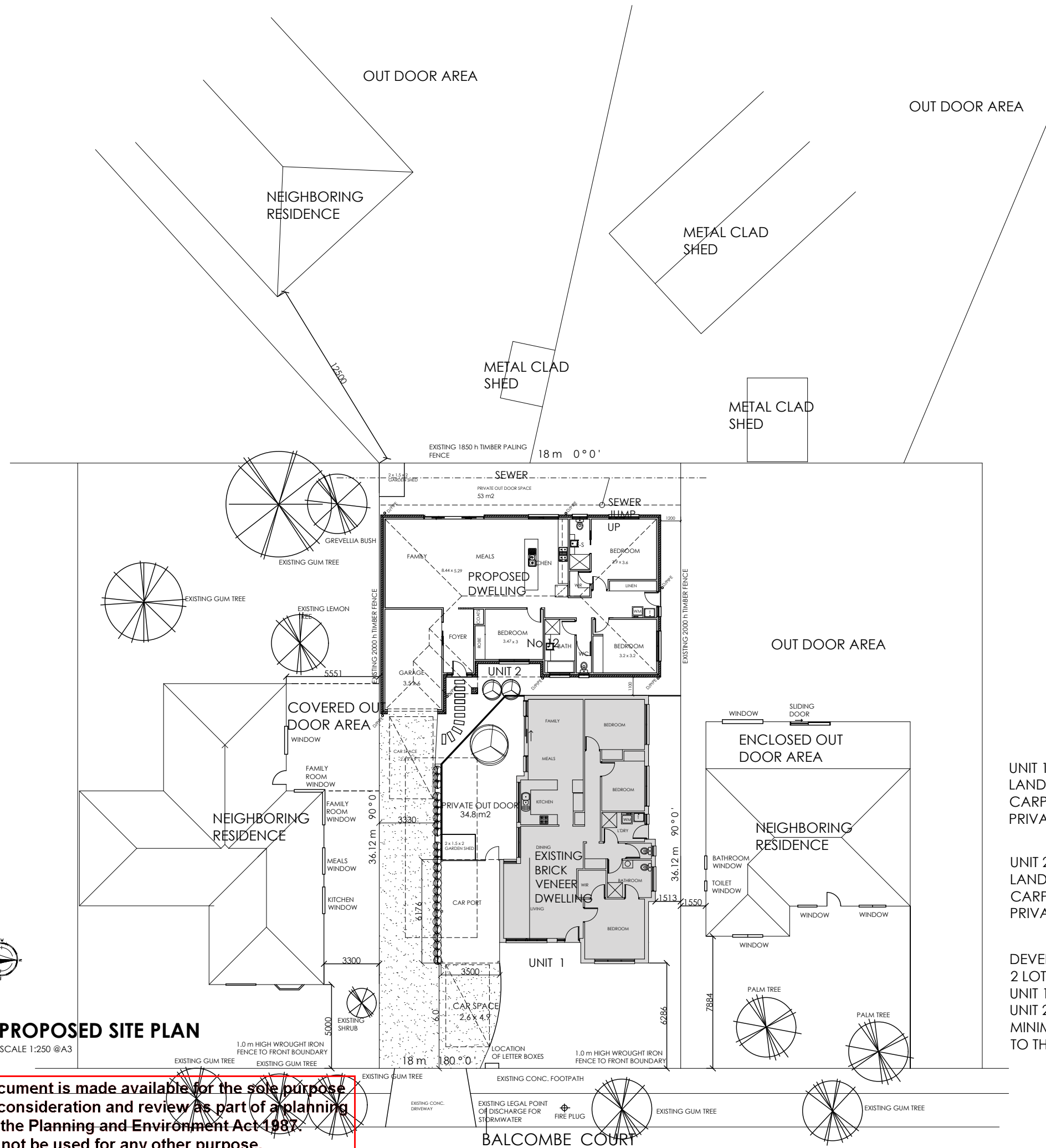
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**CLIENT: ALI ALKHAFAJI**  
**ADDRESS: 12 BALCOMBE COURT CRAIGIEBURN**

**DRAWING TITLE: EXISTING SITE PLAN**  
 SCALE: 1:250 @ A3  
 DRAWN BY: Ron Popelier  
 ISSUE DATE: 6.11.2021  
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SHEPPARTON VIC 3630  
P.O. BOX 1090  
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T 03] 5821 7444  
F 03] 5821 2047  
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UNIT 1  
 LAND AREA 311 m<sup>2</sup>  
 CARPORT UNIT SIZE 146 m<sup>2</sup>  
 PRIVATE OUTDOOR AREA 34.8 M<sup>2</sup>

UNIT 2  
 LAND AREA 339.16 m<sup>2</sup>  
 CARPORT UNIT SIZE 167 m<sup>2</sup>  
 PRIVATE OUTDOOR AREA 53 M<sup>2</sup>

DEVELOPMENT TO BE SUBDIVIDED INTO  
 2 LOTS  
 UNIT 1 BLOCK AREA 311 m<sup>2</sup>  
 UNIT 2 BLOCK AREA 339.16  
 MINIMUM GARDEN AREA NOT APPLICABLE  
 TO THIS DEVELOPMENT

**PROPOSED SITE PLAN**  
 SCALE 1:250 @A3

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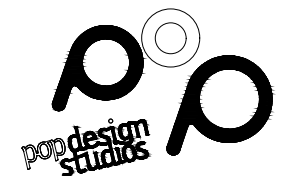
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ADDRESS: 12 BALCOMBE COURT  
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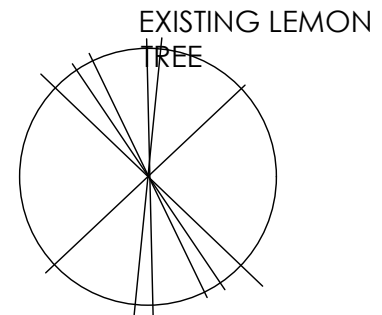
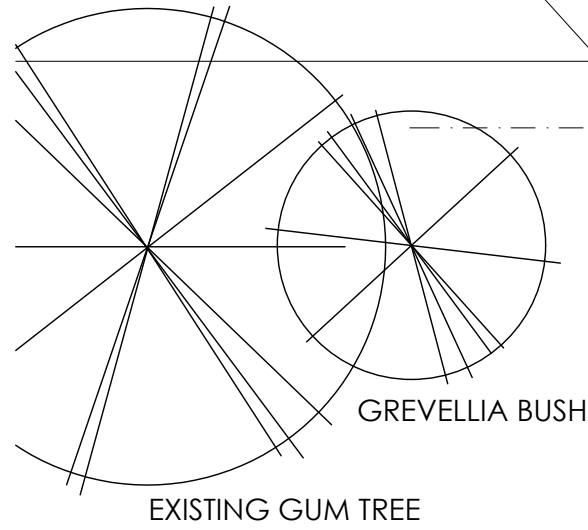
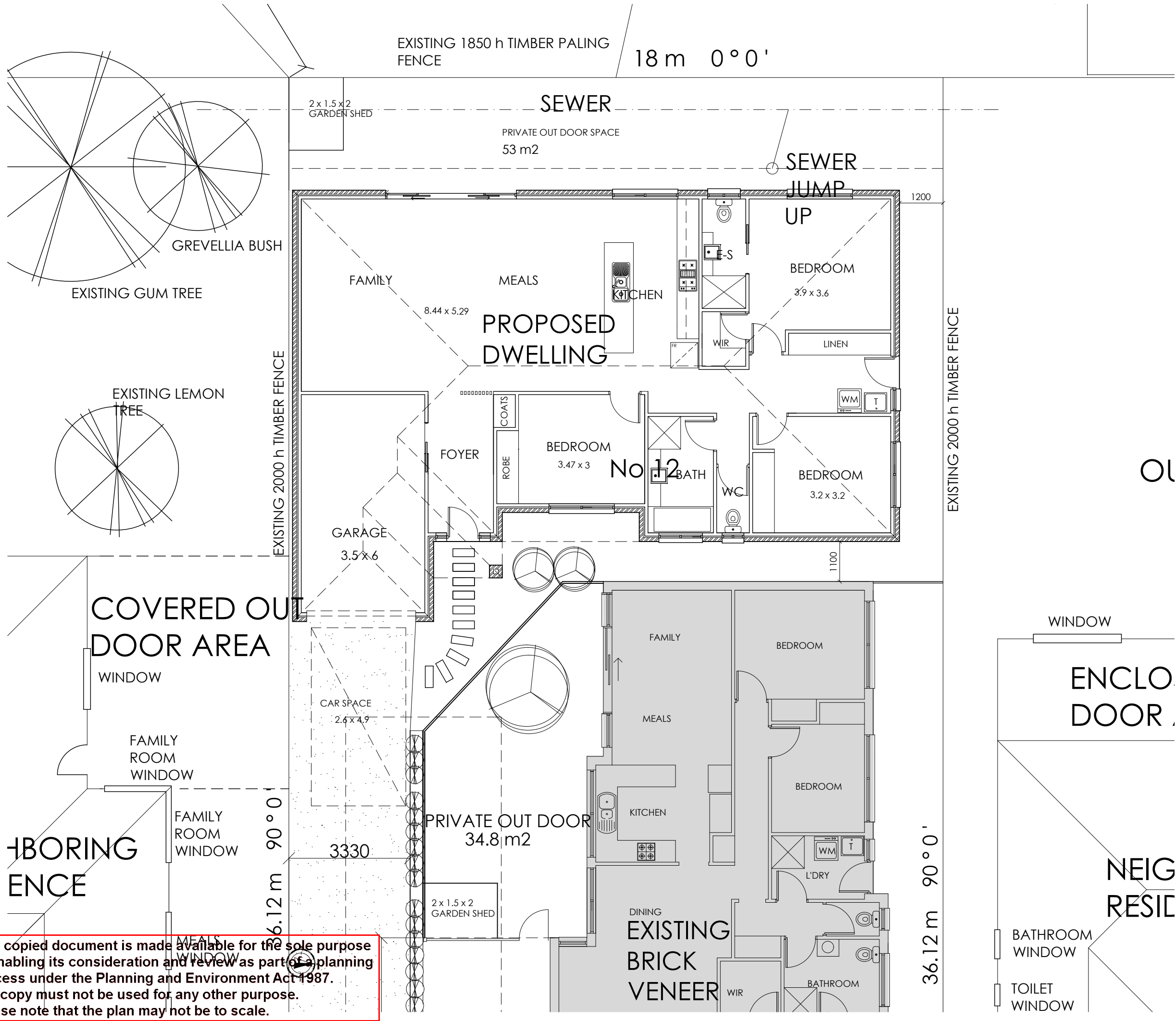
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 T 03] 5821 7444  
 F 03] 5821 2047  
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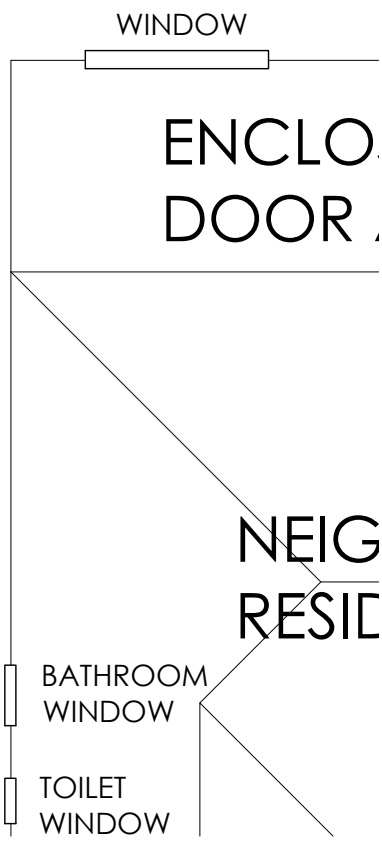
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EXISTING 1850 h TIMBER PALING FENCE 18 m 0°0'



COVERED OUTDOOR AREA

EXISTING BORING FENCE



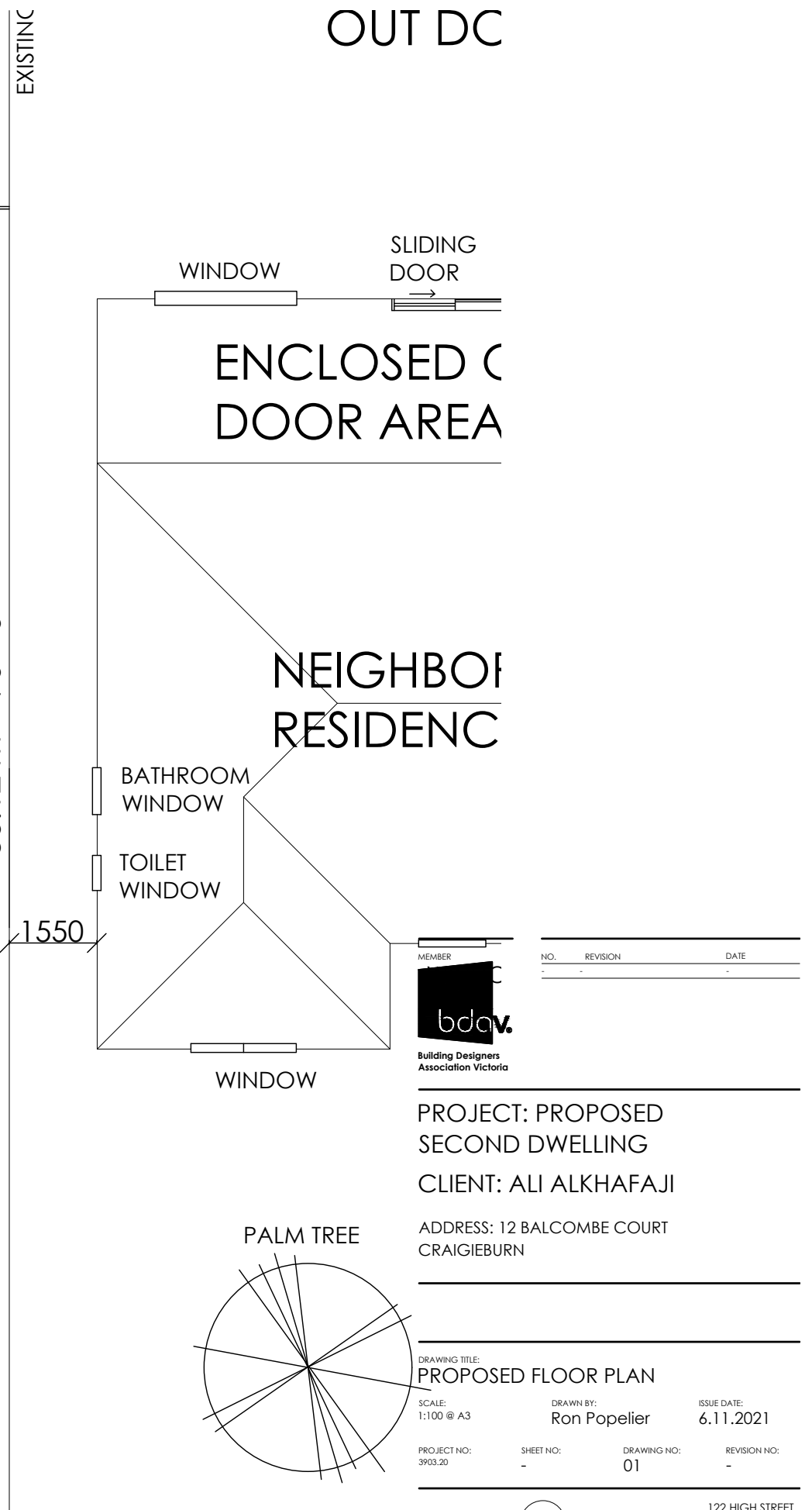
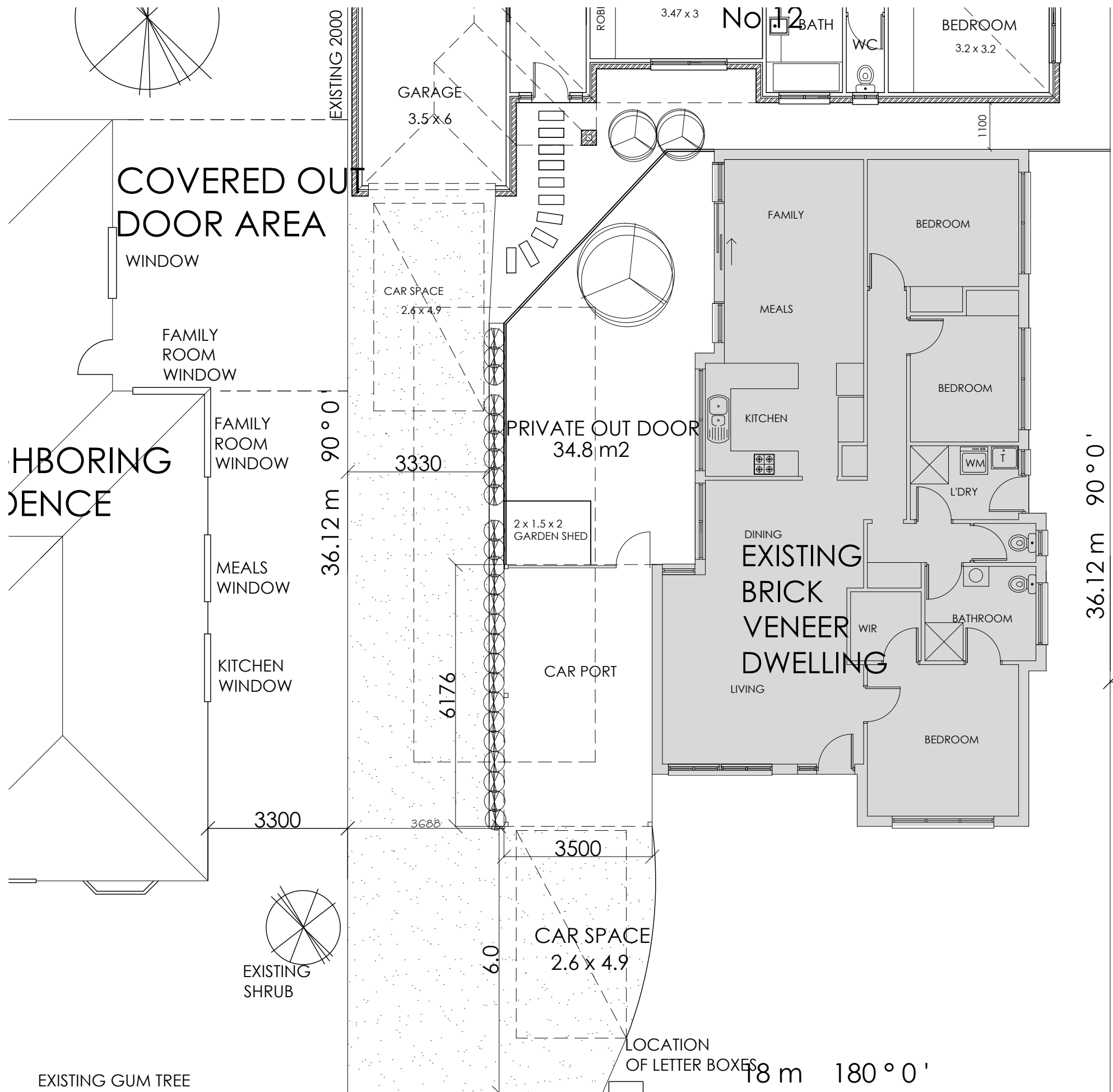
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DRAWING TITLE: PROPOSED FLOOR PLAN			
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P.O. BOX 1090  
SHEPPARTON VIC 3632  
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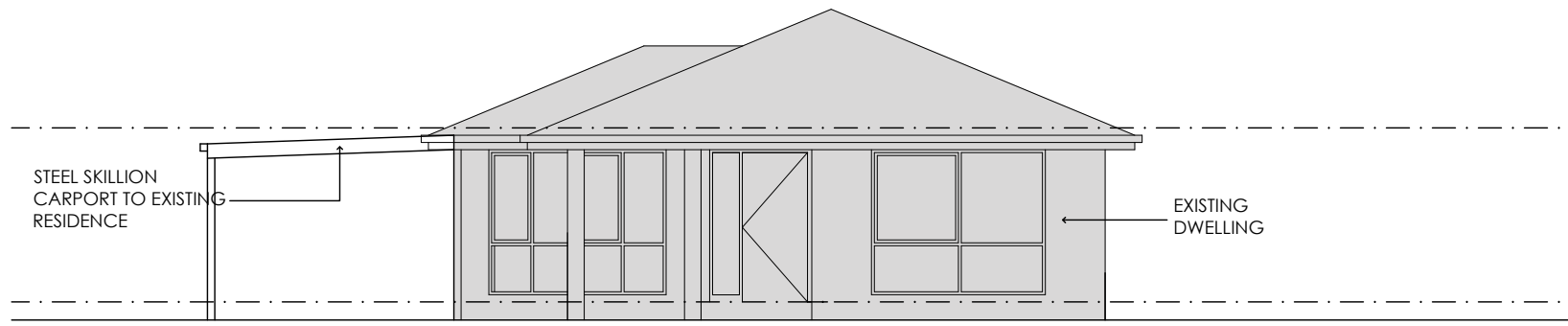


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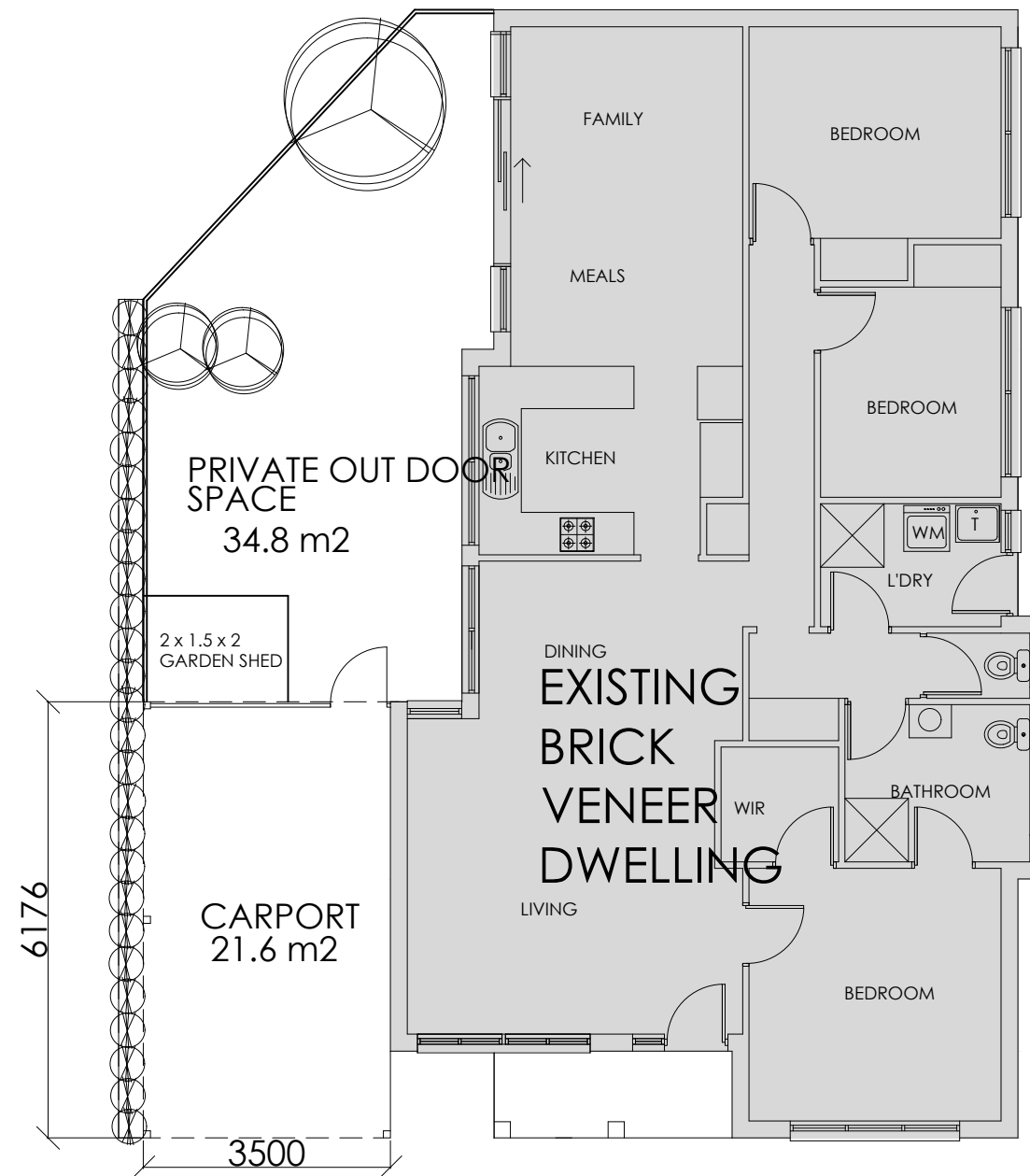
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 CLIENT: ALI ALKHAFAJI  
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EAST ELEVATION EXISTING RESIDENCE



FLOOR PLAN EXISTING RESIDENCE

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PROJECT: PROPOSED  
SECOND DWELLING  
CLIENT: ALI ALKHAFI  
ADDRESS: 12 BALCOMBE COURT  
CRAIGIEBURN

DRAWING TITLE:  
PROPOSED FLOOR PLAN

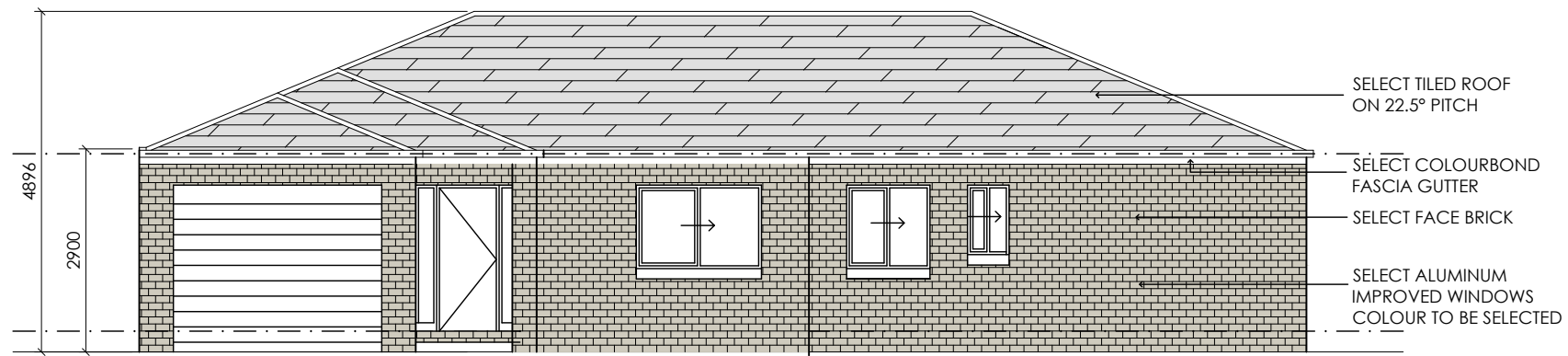
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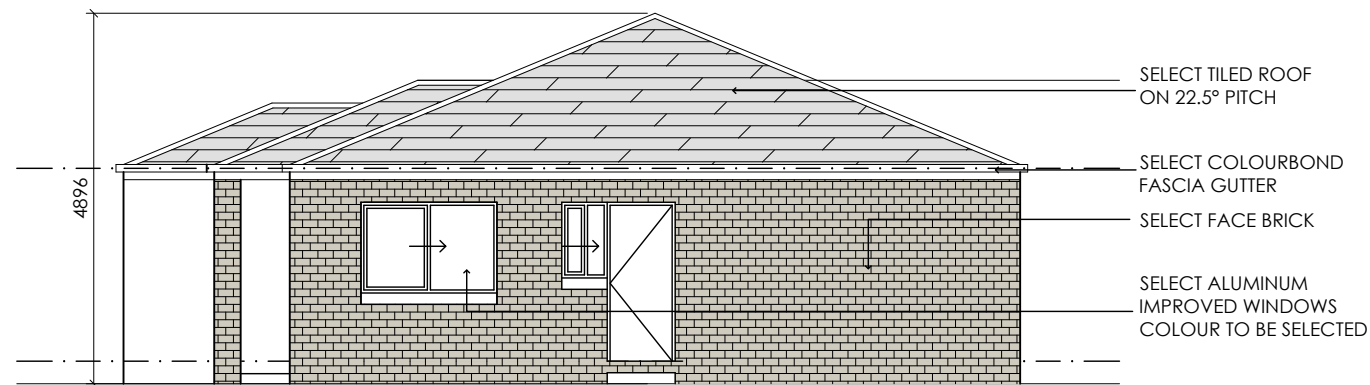


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SHEPPARTON VIC 3630  
P.O. BOX 1090  
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F 03] 5821 2047  
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www.popdesignstudios.com

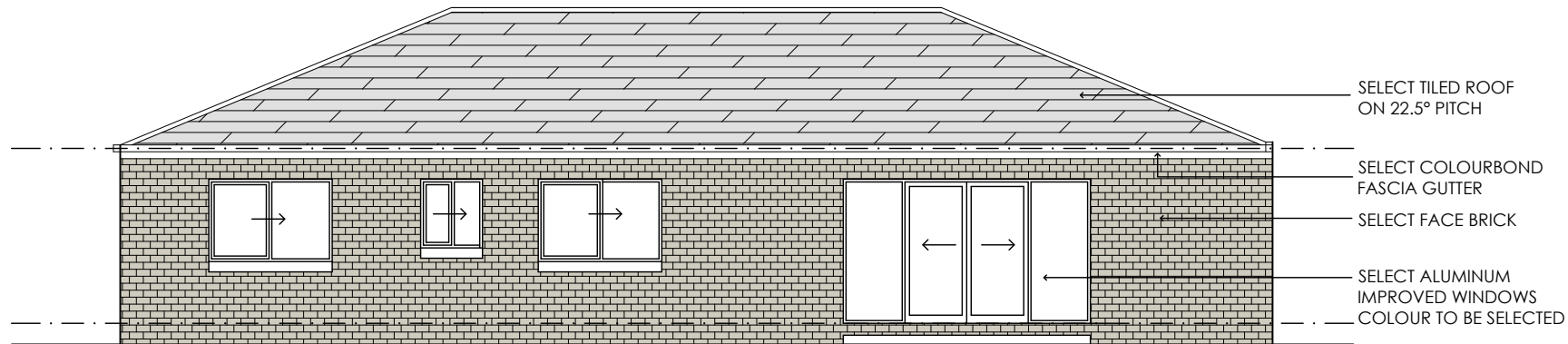
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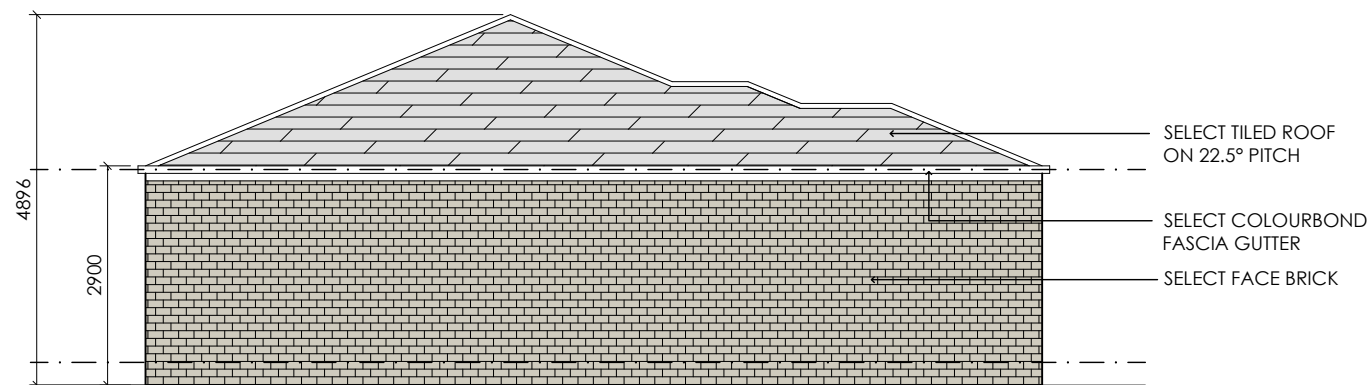
EAST ELEVATION



NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

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SECOND DWELLING

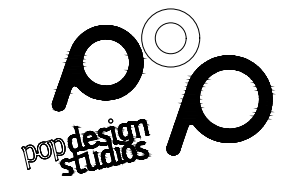
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ADDRESS: 12 BALCOMBE COURT  
CRAIGIEBURN

DRAWING TITLE:  
PROPOSED FLOOR PLAN

SCALE: 1:100 @ A3      DRAWN BY: Ron Popelier      ISSUE DATE: 6.11.2021

PROJECT NO: 3903.20      SHEET NO: -      DRAWING NO: 01      REVISION NO: -



122 HIGH STREET  
SHEPPARTON VIC 3630  
P.O. BOX 1090  
SHEPPARTON VIC 3632  
T 03] 5821 7444  
F 03] 5821 2047  
ron@popds.com.au  
www.popdesignstudios.com

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PROJECT: PROPOSED  
SECOND DWELLING

CLIENT: ALI ALKHAFAJI

ADDRESS: 12 BALCOMBE COURT  
CRAIGIEBURN

DRAWING TITLE:  
PROPOSED NEIGHBORHOOD  
ELEVATION

SCALE:  
1:250 @ A3

DRAWN BY:  
Ron Popelier

ISSUE DATE:  
6.11.2021

PROJECT NO:  
3903.20

SHEET NO:  
-

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SHEPPARTON VIC 3630  
P.O. BOX 1090  
SHEPPARTON VIC 3632  
T 03] 5821 7444  
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INSTRUCTION SHEET

# Building a planter box raingarden (lined)

## What is a planter box raingarden?

Building a raingarden is a simple way to help the environment and the health of our local waterways while providing a self-watering garden for your backyard.

A raingarden is a specially prepared garden designed to receive and filter rain run-off from roofs or hard surfaces such as driveways or paving. You can even create a raingarden in a planter box, positioning it to collect water from a diverted downpipe or rainwater tank overflow.


Featuring layers of soil for filtration, gravel for drainage, and plants that can tolerate periods without rain, a raingarden helps to protect our streams and rivers from stormwater pollutants.

With a slotted pipe beneath the soil to take away the filtered rainwater and an overflow pipe on the surface to prevent flooding, raingardens are designed to collect water from a diverted downpipe, rainwater tank overflow or pavement runoff.

*Please note: A certified plumber must be used for stormwater connections and modifications.*

*Did you know that a raingarden is only wet during and immediately after rain, leaving it dry most of the time? This is due to the drainage and filtration properties of the soil combination used in the raingarden.*



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# Building your raingarden

## Step 1 – getting started

### Location

Build your planter box as close as possible to the water source whether it be a downpipe or rainwater tank overflow. This will help minimise the additional plumbing needed to bring water to the raingarden. Your raingarden needs to sit at least 300mm away from your house.

Having decided on a location, it is important to determine the proximity of the existing stormwater pipe to make sure your raingarden is connected properly. Your local plumber can help with this and also how and when to divert your downpipe so that the area doesn't flood during construction.

### Stormwater reconnection

All connections or modifications to existing stormwater pipes need to be done by a licensed plumber. The plumber should ensure that pipes are reconnected into the property's stormwater and not another services such as the sewer.

### Underground services

Be aware of any underground services (gas, electricity, water) that run near your house as this may determine where you can build your raingarden. Raingardens should not be built over or in close proximity to a septic system.

### Materials

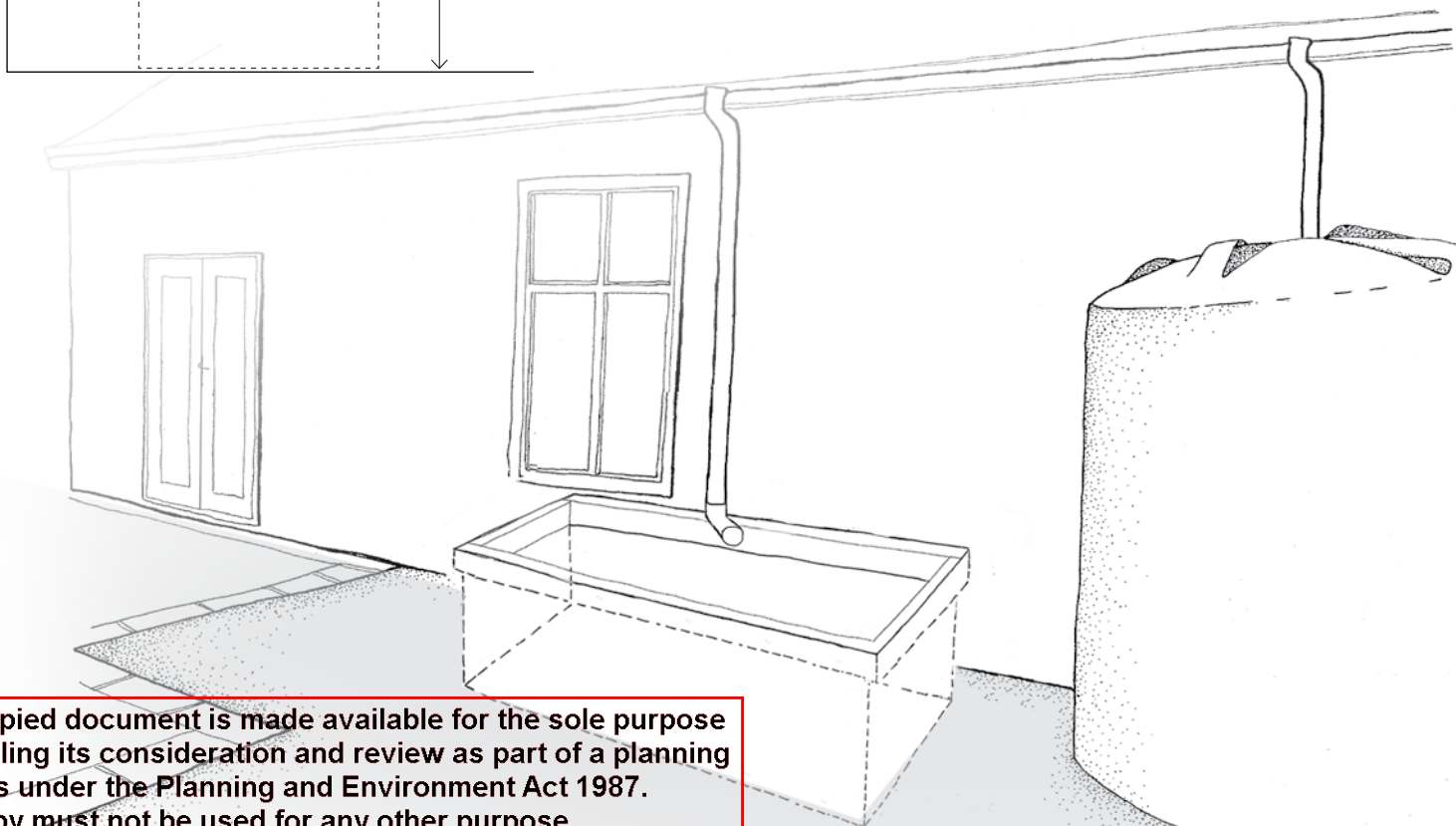
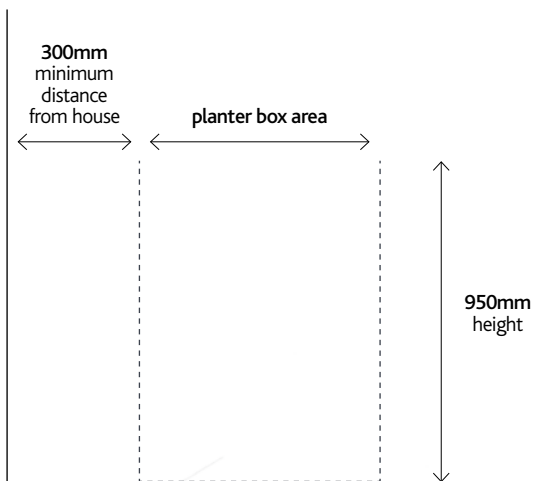
See *Materials List* for information about what you need to build a raingarden.

### Size

You need to make sure that your raingarden is large enough to manage the amount of stormwater it will receive. If your raingarden is going to capture run-off from the roof via a downpipe, measure the area of roof that drains to that downpipe. Generally, the size of the raingarden should be approximately 2% of the run-off area. Table 1 will help you work out the correct size.

Table 1 – Raingarden sizing chart

AREA OF RUN-OFF (m <sup>2</sup> )	RAINGARDEN SIZE (m <sup>2</sup> )
50	1
100	2
150	3
200	4
250	5
300	6
350	7
400	8
450	9



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## Step 2 - planter box and pipe infrastructure

### Preparing your planter box

You can create a planter box out of any material as long as it is strong enough to hold soil. This could be a corrugated iron 'tank', an old wine barrel, or you could build your own planter box using plantation hardwood or similar.

Line your planter box (sides and base) with a PVC liner. Overlap the sheets by 200mm and seal the joins with PVC tape.

Place the 7mm screenings (gravel) to a depth of 50mm. This will form a base for the slotted drainage pipe. Make sure the screenings are washed and cleaned of excess dirt as this can create blockages in the raingarden's drainage.

Use the screenings to create a gentle slope towards the stormwater outlet (where the water will exit your planter box).

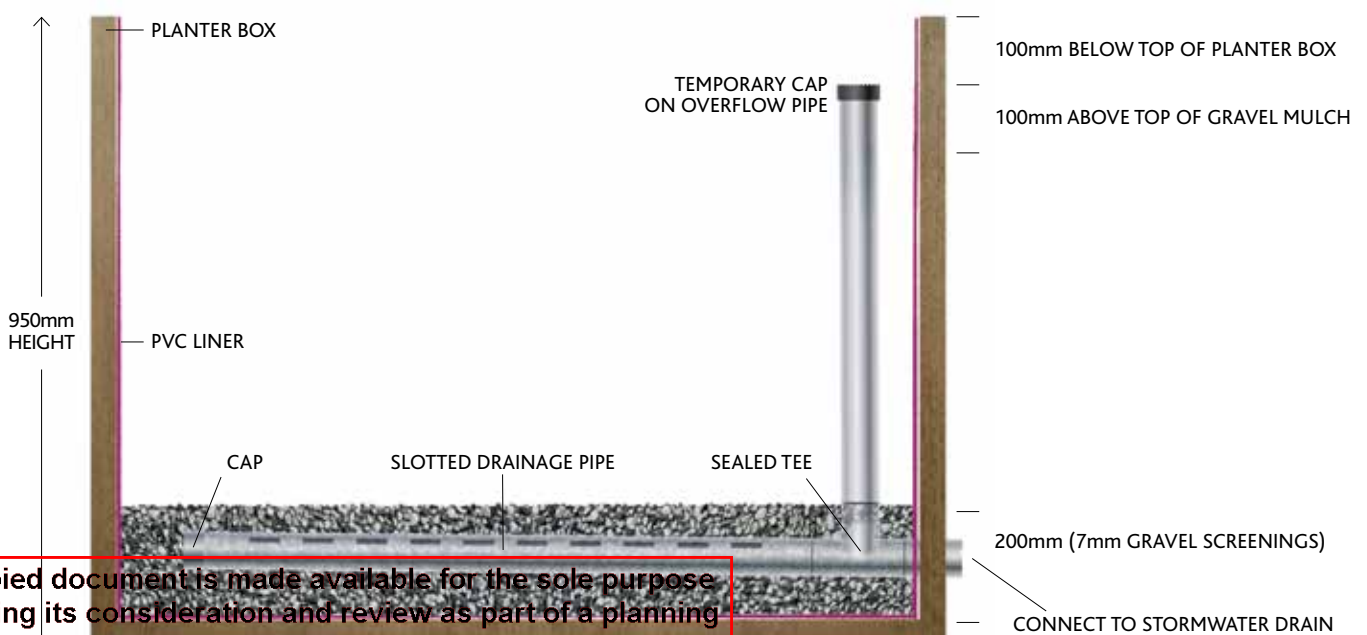
### Pipe infrastructure

Lay a 90mm diameter slotted drainage pipe horizontally along the centre of the planter box base and cap one end of the slotted drainage pipe. Call your plumber to connect the drainage pipe back into the property's existing stormwater.

*Handy Hint – If your raingarden is greater than 4m wide, you will need to install two slotted drainage pipes and two overflow pipes. These need to be evenly spaced across the planter box base to provide adequate drainage.*

Connect the vertical 90mm diameter overflow pipe into the slotted drainage pipe using a 90 degree elbow pipe. When the raingarden is finished, the top of the overflow pipe should sit 100mm above the gravel mulch and 100mm below the top edge of the planter box.

Install a temporary cap on top of the overflow pipe to prevent materials dropping into it during construction. Some plastic taped across the top of the pipe will work fine.



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# Building your raingarden

## Step 3 - soil layers

### Screenings layer

Add 7mm screenings (gravel) to a depth of 150mm over the slotted drainage pipe in the base of your raingarden. This brings to total depth of screenings (gravel) to 200mm. Be careful when not to dislodge or damage the slotted drainage pipe when adding the additional screenings.

### Sand layer

Place white washed sand to a depth of 100mm over the screenings (gravel) layer.

### Sand/soil mix layer

Mix 4 parts white washed sand with 1 part topsoil. Add this mix to the raingarden to a depth of 400mm.

*Handy Hint - Ensure you firmly pat down each layer of soil when building your raingarden to help reduce the layers from sinking.*

## Step 4 - pipe adjustments, plants and mulch

### Pipe adjustments

Redirect your downpipe into the raingarden using pipe bends where required. If possible, use two 45 degree bends connected together as this will provide a much gentler and more even flow of water, reducing the risk of erosion and prevent blockages within the downpipe. A 90 degree elbow pipe will do as an alternative.

### Plants

In general, plants that grow well in a raingarden:

- › like dry conditions but can tolerate temporary wet periods
- › are perennial rather than annual
- › have an extensive fibrous root system.

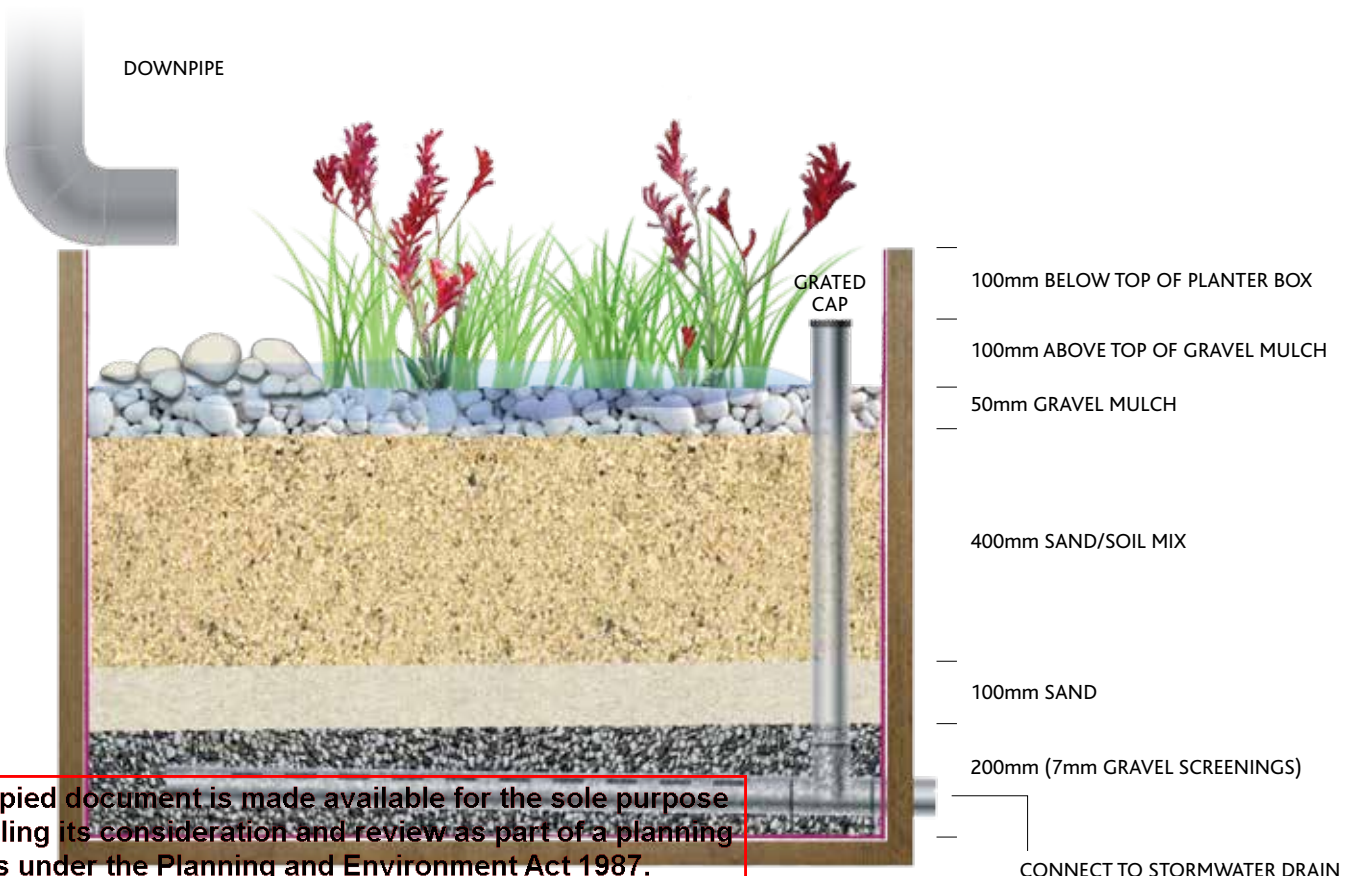
A wide range of plants are suitable for raingardens and your local nursery will be able to guide you on what is right for your area.

There are also particular plants that are really good at removing pollutants from stormwater. These include:

- › *Carex appressa*
- › *Lomandra longifolia*
- › *Juncus flavidus*
- › *Melaleuca ericifolia*
- › *Goodenia ovate*.

50% of your raingarden should be planted with these species, the other 50% can be made up of plants that like a dry environment with intermittent wet periods. It is important that the plants you select are suitable for the amount of sun and shade on your raingarden. See the *Plant List* for a suggested list of suitable raingarden plants.

Regardless of the type of plants you select, it is important to plant densely to cover the raingarden. Set your plants out at roughly 6 plants per m<sup>2</sup>. So for a 2m<sup>2</sup> raingarden, you will need to buy 12 plants. Now start planting.  
*(continued on next page)*



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## Looking after your raingarden

### Mulch

To allow the spread of water gently over the raingarden, place some large flat rocks where water flows from the downpipe. Place smaller rocks in between the large rocks to fill the gaps and help prevent erosion. Alternatively a flow spreading device can be fitted to the downpipe.

Spread gravel mulch to a depth of 50mm around the plants.

Remove the temporary end cap from overflow pipe and replace with a 90mm PVC finishing collar and domed pipe grate.

Water the plants in – complying with your local water restrictions.

Once established, raingardens are low maintenance especially when planted with native plant species. They don't need to be watered, mowed or fertilised. However, a few simple tips can help your raingarden mature and function well.

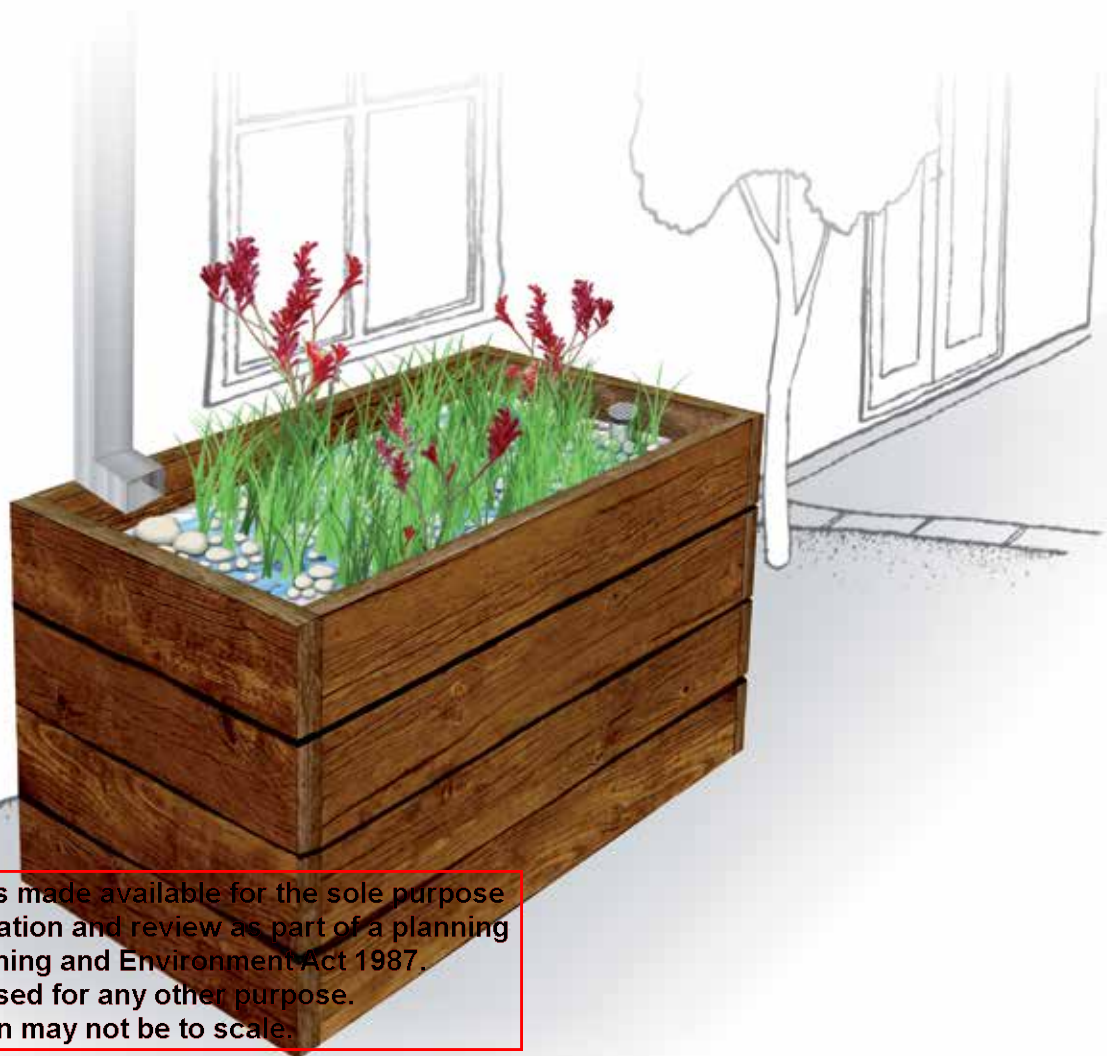
- › Gravel mulch will help retain moisture in your raingarden and prevent weeds from growing.
- › Ensure that the overflow is never blocked.
- › Remove any sediment or build up from the downpipe.
- › Some weeding may need to take place until plants have matured.
- › Evenly distribute water flow into your garden to limit erosion from heavy rainfall. Strategically placed rocks may help with this.

- › Inspect your garden regularly – replace plants and repair erosion when necessary.

*Note – If necessary, water your raingarden until your plants have established in compliance with your local water restrictions.*

### Need help?

*If you have questions about building a raingarden, your landscape gardener or local plumber may be able to help. For more information visit [melbournewater.com.au/raingardens](http://melbournewater.com.au/raingardens)*



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## Materials List – what you need to build your raingarden

Table 2 details the materials required to create a 2m<sup>2</sup> raingarden. While item prices may vary depending on the materials you select, building a 2m<sup>2</sup> raingarden is likely to cost between \$400 and \$500 (plus the cost of a planter box and plumber).

QUANTITY	MATERIAL
2 l/m	90mm diameter slotted drainage pipe (Ag Pipe)
2 l/m	90mm diameter uPVC pipe*
0.4m <sup>3</sup>	7mm screenings
0.85m <sup>3</sup>	Sand (white washed)
0.15m <sup>3</sup>	Topsoil
12	Plants (150mm pots)
0.1m <sup>3</sup>	Gravel mulch
1	90mm diameter uPVC 90 degree bend or 2x 45 degree bends
1	PVC grate 90mm finishing collar
1	PVC 90mm diameter domed pipe grate
1	PVC 90mm tee
1	PVC 90mm cap
10m <sup>2</sup>	PVC liner
	PVC tape

*\*Costs per square meter will depend on the length of connections back to the existing stormwater drain.*

l/m = lineal metres    m<sup>2</sup> = square metres    m<sup>3</sup> = cubic metres    mm = millimetres



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# Plant List – the best plants for your raingarden

The following plants grow well in raingardens.

BOTANICAL NAME	COMMON NAME	CONDITIONS	SIZE (H x W) (cm)
<i>Anigozanthos sp.</i>	Kangaroo paw	Full sun	30-90 x 100-120
<i>Blechnum nudum</i>	Fishbone Water-fern	Full sun to partial shade	50-100 x 40-80
<i>Calocephalus lacteus</i>	Milky Beauty-heads	Full sun to partial shade	15-30 x 10-30
<i>Carex Appressa</i>	Tall Sedge	Full sun to partial shade	80-100 x 120
<i>Carpobrotus modestus</i>	Pigface	Full sun	20cm high and spreading
<i>Chrysocephalum apiculatum</i>	Common Everlasting	Full sun	30-90 x 10-30
<i>Derwentia perfoliata</i>	Digger's Speedwell	Full sun to partial shade	20-40 x 30-60
<i>Dianella species</i>		Full sun to partial shade	60-120 x 40-150
<i>Ficinia nodosa</i>	Knobby Club-rush	Full sun	50-150 x 60-200
<i>Juncas amabilis</i>	Hollow Rush	Full sun to partial shade	20-120 x 20-50
<i>Juncas flavidus</i>	Yellow Rush	Full sun to partial shade	40-120 x 20-100
<i>Leucaphyta brownii</i>	Cushion Bush	Full sun, salt tolerant	100 x 200
<i>Lomandra species</i>		Full sun to partial shade	60-120 x 50-100
<i>Melaleuca ericifolia</i>	Swamp paperback	Full sun to partial shade	4m high x 3m wide
<i>Myoporum parvifolium</i>	Creeping Boobiella	Full sun	20-30 x 300
<i>Patersonia occidentalis</i>	Native iris	Sun to partial shade	20-40 x 30-60
<i>Pratia perdunculata</i>	Matter Pratia	Partial shade	50-150 x 1.8-5
<i>Wahlenbergia communis</i>	Tufted Bluebell	Full sun	15-50 x 15



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**Melbourne Water**  
990 La Trobe Street  
Docklands VIC 3008  
PO Box 4342  
Melbourne Victoria 3001  
Telephone 131 722  
melbournewater.com.au/raingardens  
ISBN 978-1-921603-51-8 (print)

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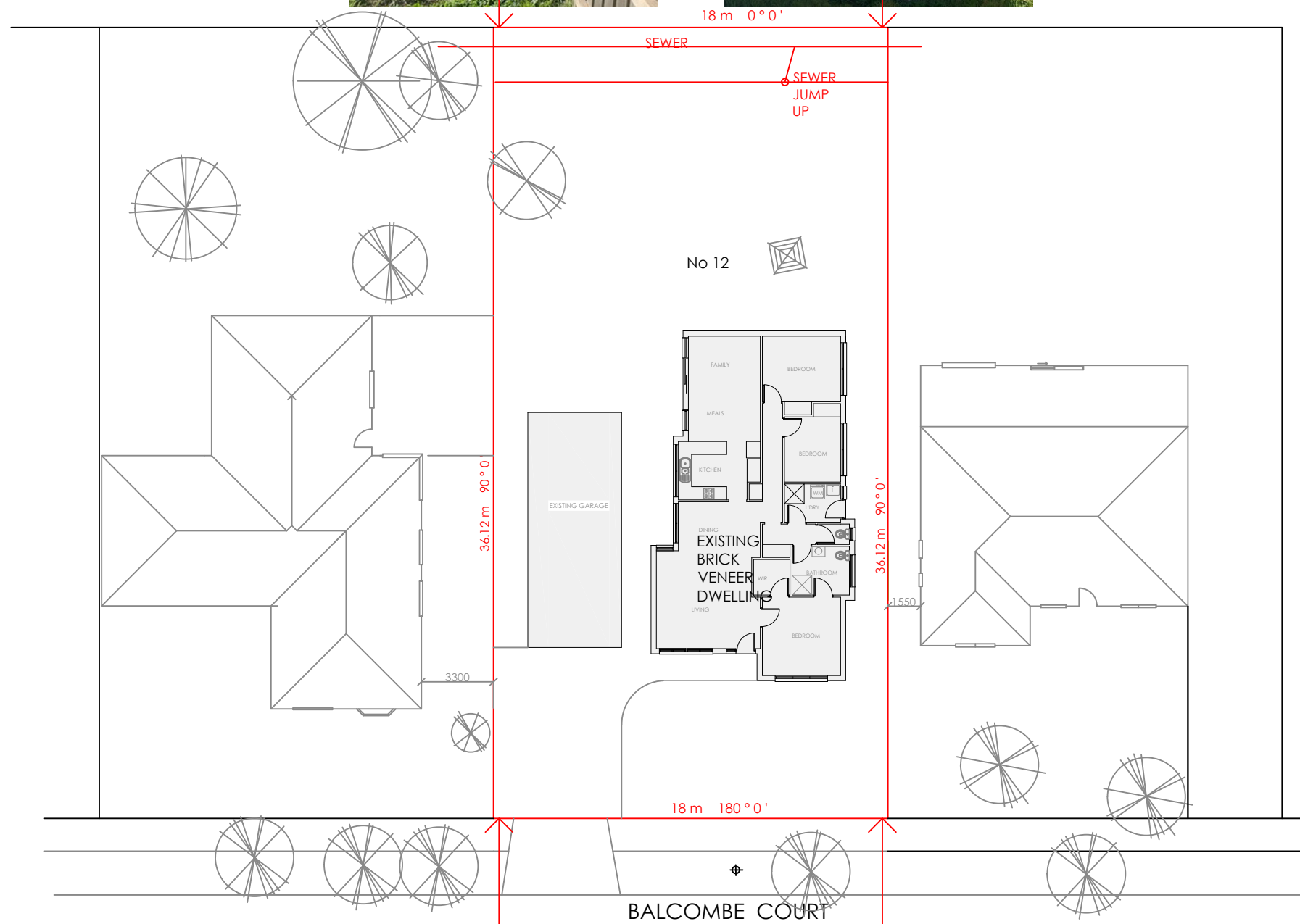
Carbon Reduction Institute



Existing view from Site corner



Existing view from Site corner



Existing view from Site corner



Existing view from Site corner



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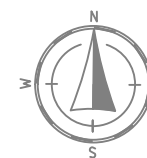
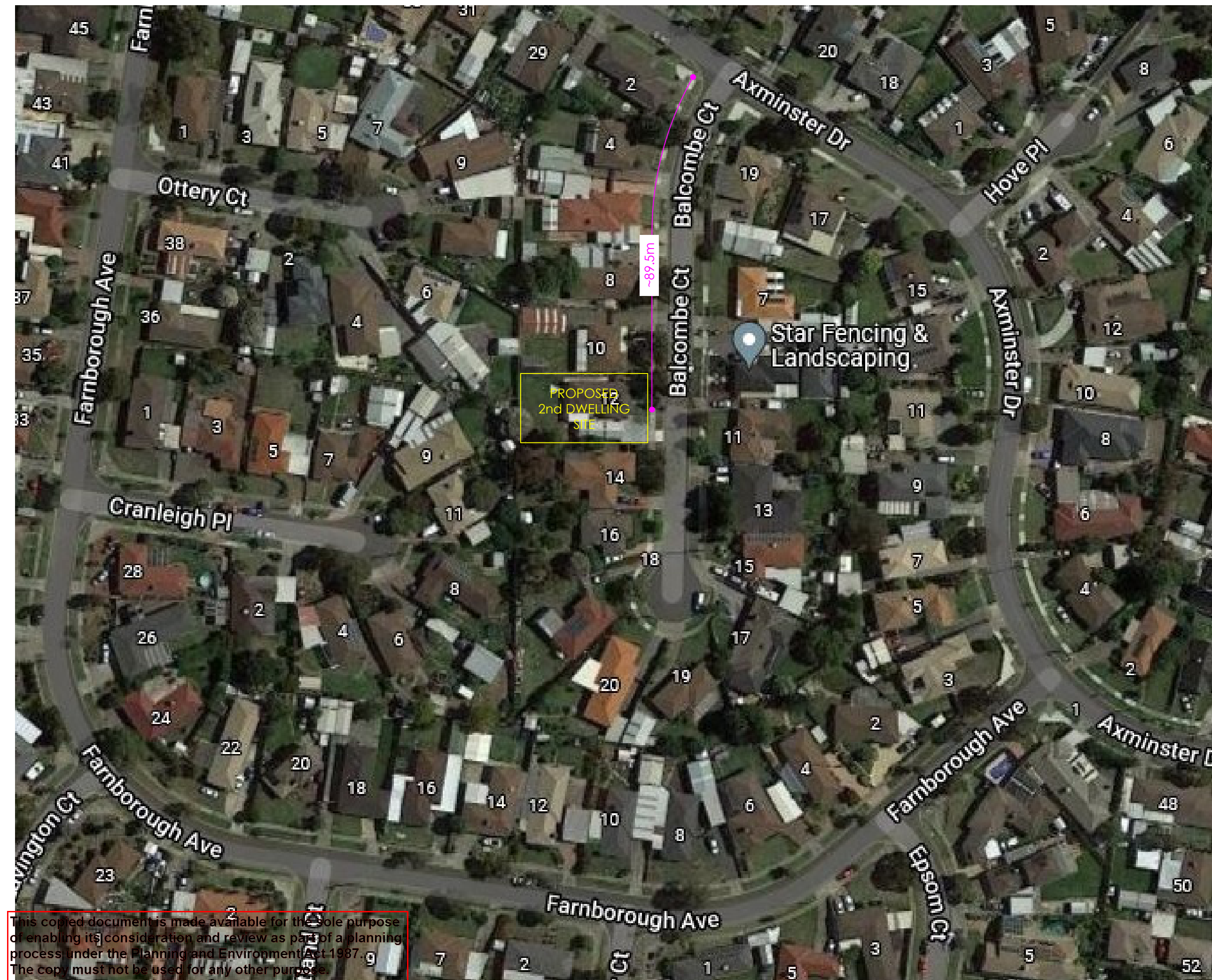
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DRAWING TITLE: EXISTING SITE PLAN  
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145 THE BOULEVARD SHEPPARTON VIC 3630  
 P.O. BOX 1090 SHEPPARTON VIC 3632  
 T 03) 5821 7444  
 F 03) 5821 2047  
 ron@popds.com.au  
 www.popdesignstudios.com

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145 THE BOULEVARD  
 SHEPPARTON VIC 3630  
 P.O. BOX 1090  
 SHEPPARTON VIC 3632  
 T 03] 5821 7444  
 F 03] 5821 2047  
 ron@popds.com.au  
 www.popdesignstudios.com

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PROJECT: PROPOSED SECOND RESIDENCE  
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JOB NO: 3903.20

## DRAWING SCHEDULE

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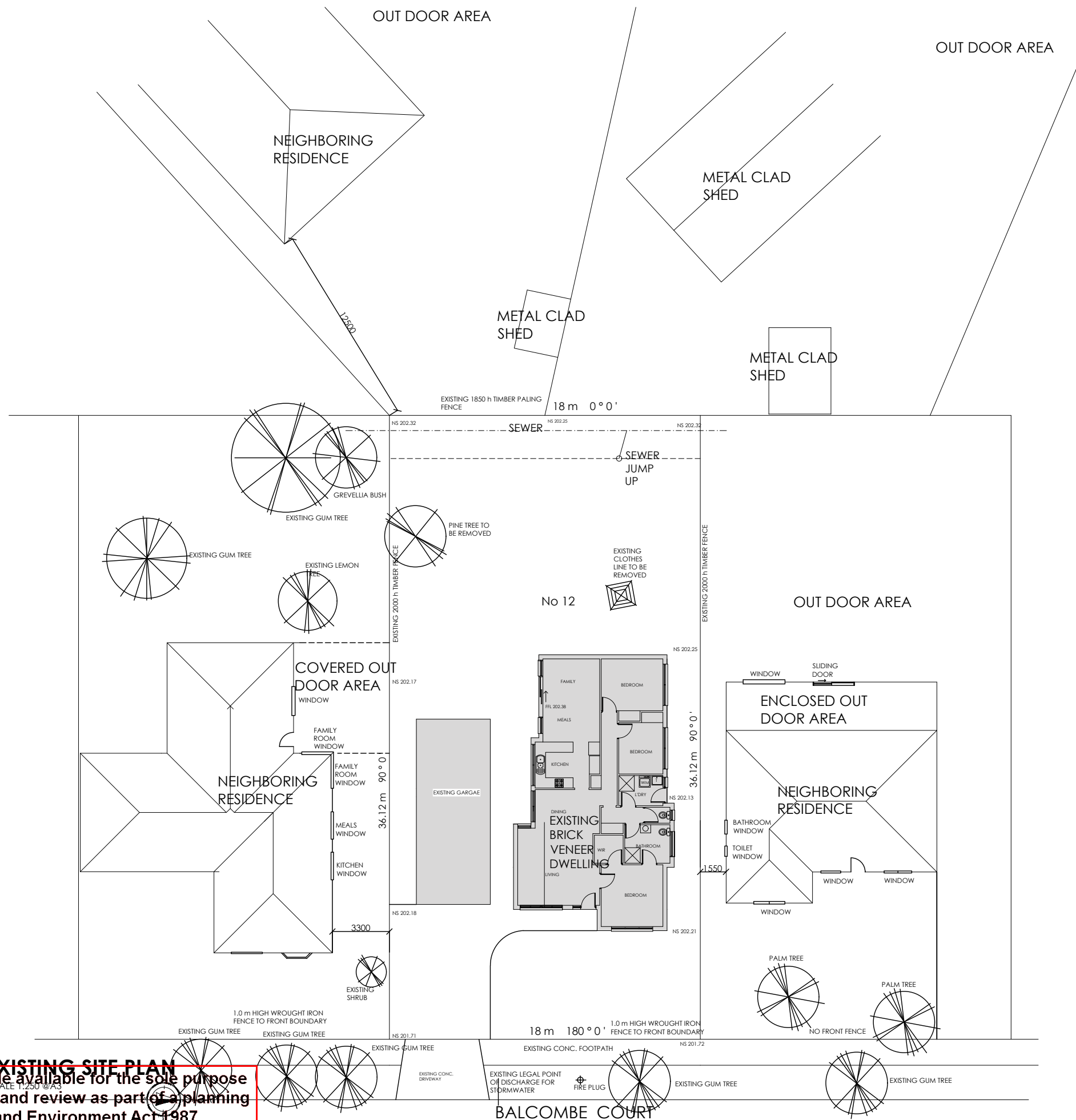
001 EXISTING SITE PLAN  
002 PROPOSED SITE PLAN  
003 EXISTING FLOOR PLAN  
004 PROPOSED FLOOR PLAN  
005 EXISTING ELEVATIONS  
006 PROPOSED ELEVATIONS

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T 03] 5821 7444  
F 03] 5821 2047  
122 High Street  
Shepparton Vic, 3630  
P.O.Box 1090, Shepparton Vic 3632  
ron@popds.com.au

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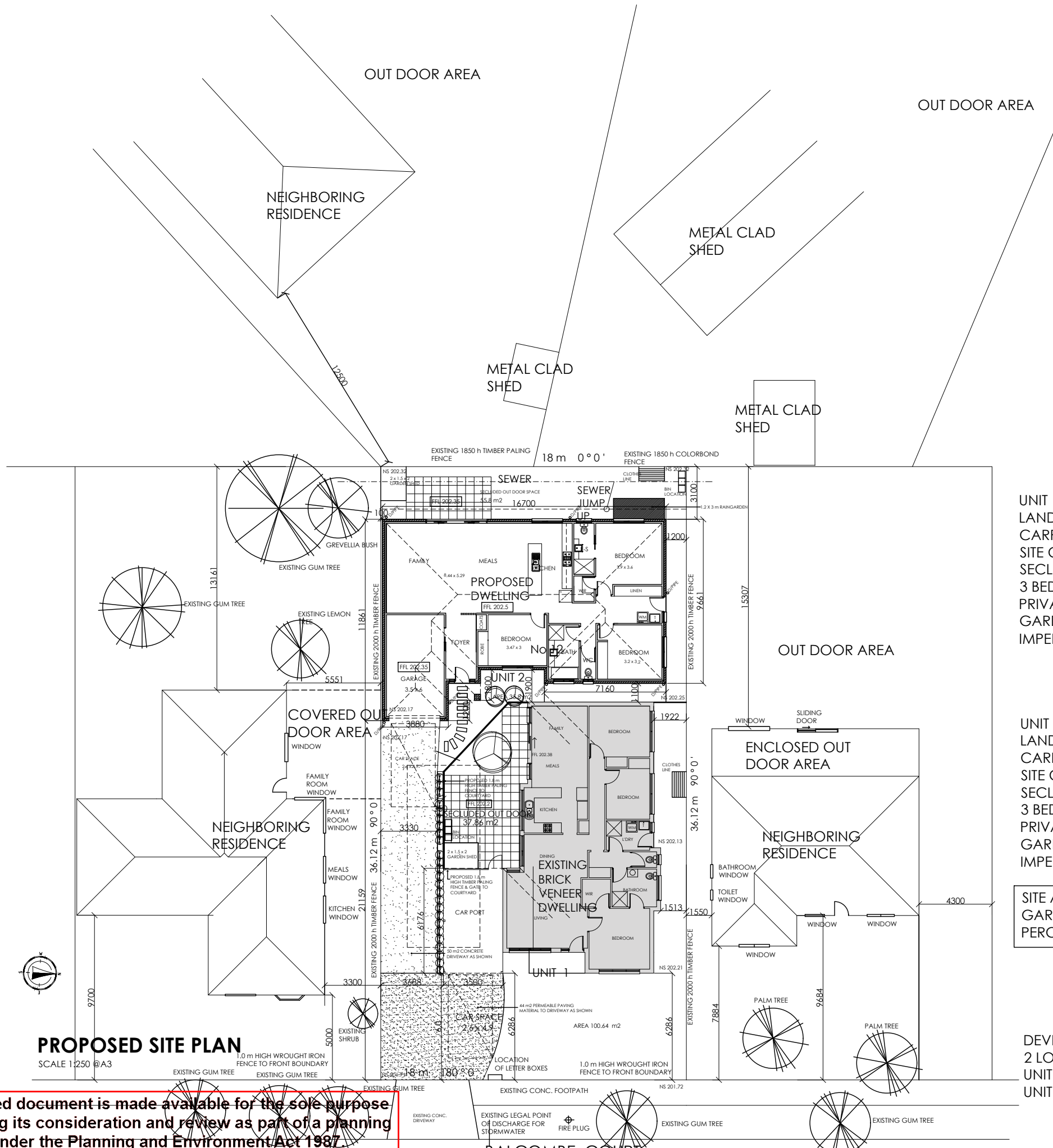
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P.O. BOX 1090  
SHEPPARTON VIC 3632  
T 03] 5821 7444  
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ron@popds.com.au  
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UNIT 1  
 LAND AREA 311 m<sup>2</sup>  
 CARPORT UNIT SIZE 146 m<sup>2</sup>  
 SITE COVERAGE 46.94 %  
 SECLUDED OUTDOOR AREA 37.86 M<sup>2</sup>  
 3 BEDROOMS  
 PRIVATE OPEN SPACE 101 m<sup>2</sup>  
 GARDEN AREA 138.50 m<sup>2</sup>  
 IMPERVIOUS AREA 171 m<sup>2</sup> PERCENTAGE 54.98%

UNIT 2  
 LAND AREA 339.16 m<sup>2</sup>  
 CARPORT UNIT SIZE 167 m<sup>2</sup>  
 SITE COVERAGE 49.24%  
 SECLUDED OUTDOOR AREA 55.8 M<sup>2</sup>  
 3 BEDROOMS  
 PRIVATE OPEN SPACE 33.7 m<sup>2</sup>  
 GARDEN AREA 91.59 m<sup>2</sup>  
 IMPERVIOUS AREA 239 m<sup>2</sup> PERCENTAGE 70.46%

SITE AREA 650.16 m<sup>2</sup>  
 GARDEN AREA 230.09 m<sup>2</sup>  
 PERCENTAGE 35.39 %

DEVELOPMENT TO BE SUBDIVIDED INTO  
 2 LOTS  
 UNIT 1 BLOCK AREA 311 m<sup>2</sup>  
 UNIT 2 BLOCK AREA 339.16

**PROPOSED SITE PLAN**  
 SCALE 1:250 @ A3

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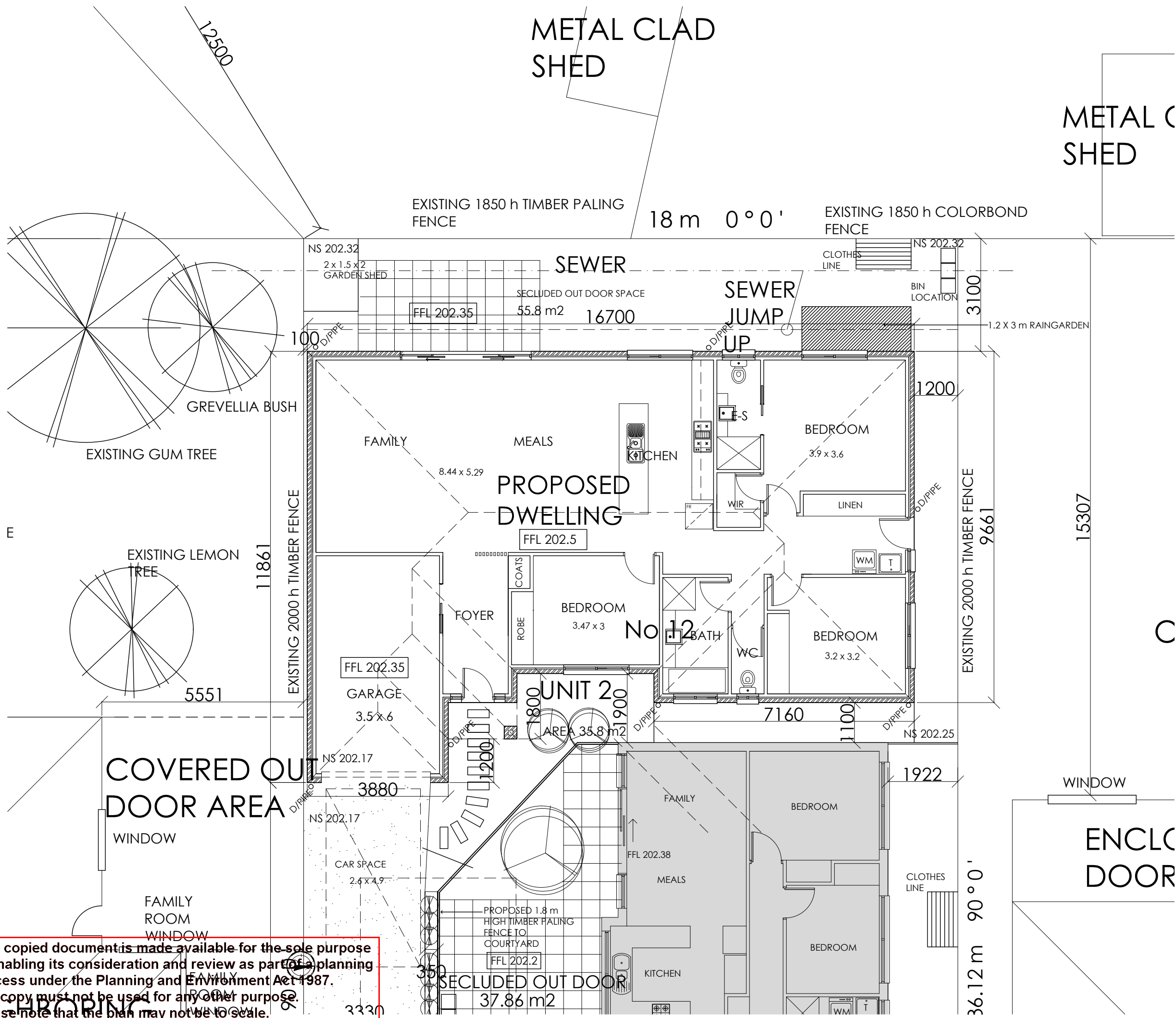
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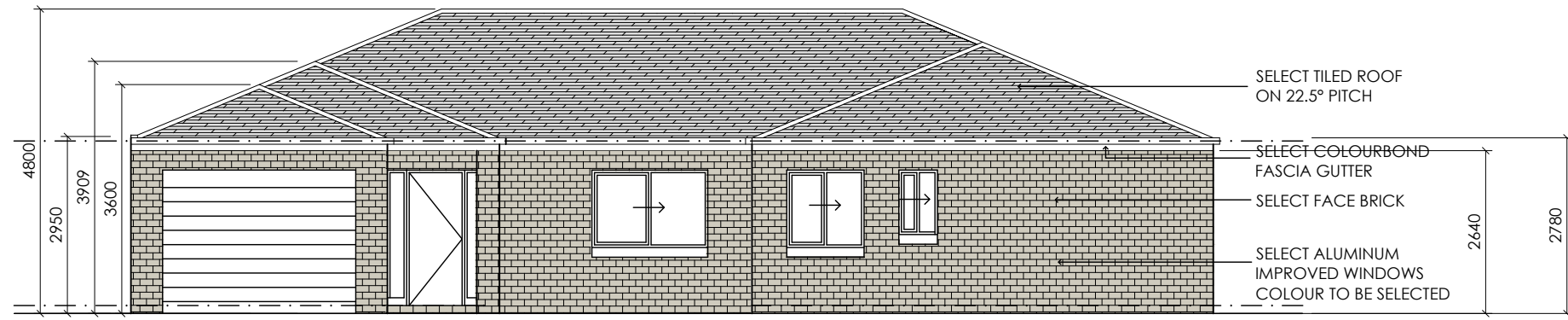
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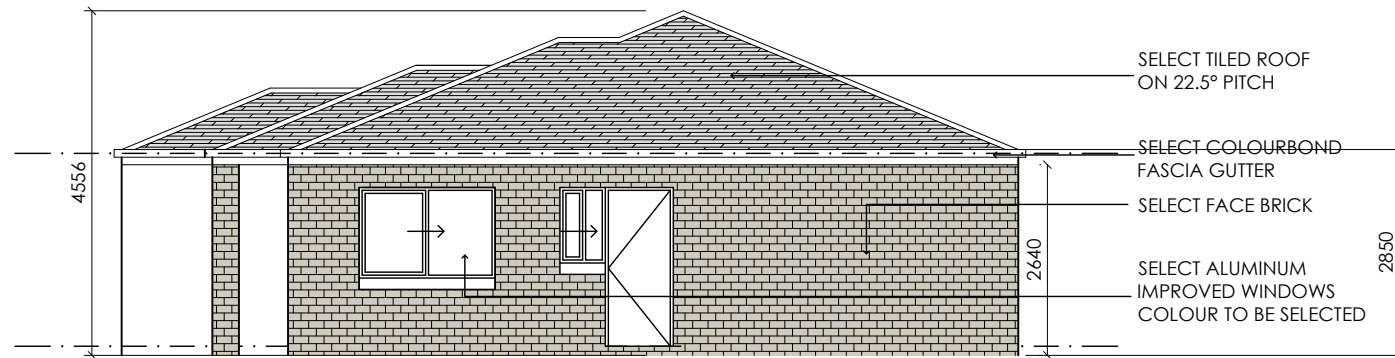
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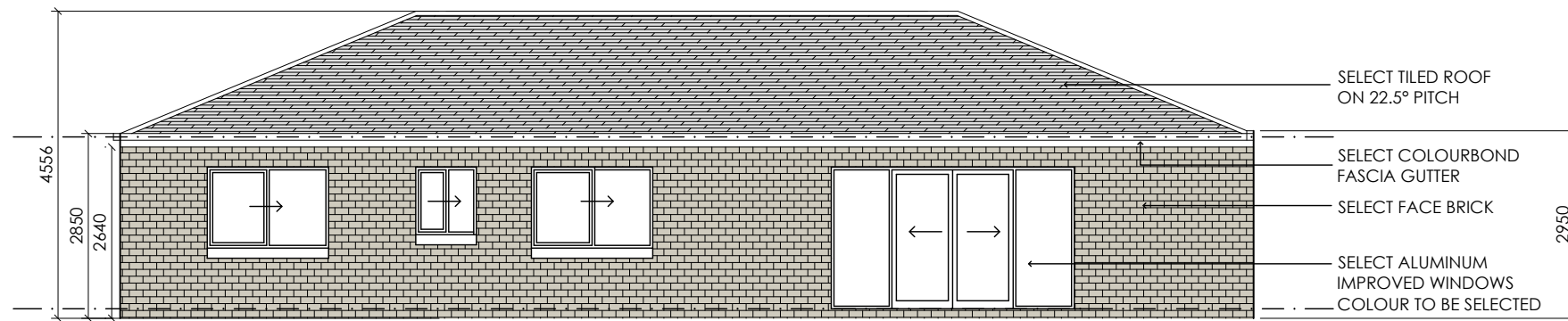
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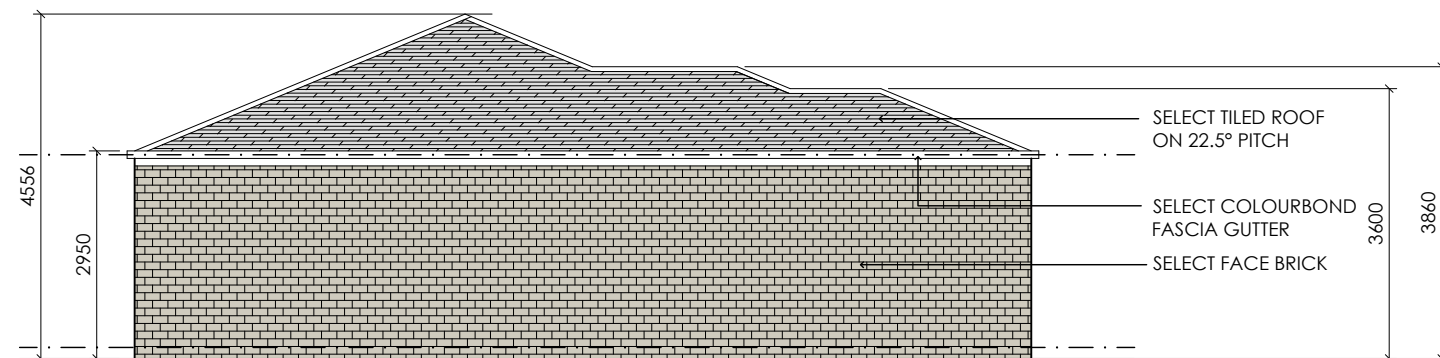
EAST ELEVATION




NORTH ELEVATION



WEST ELEVATION



SOUTH ELEVATION

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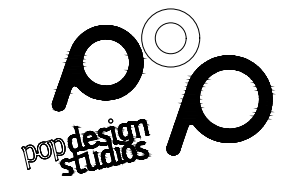
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PROPOSED ELEVATIONS

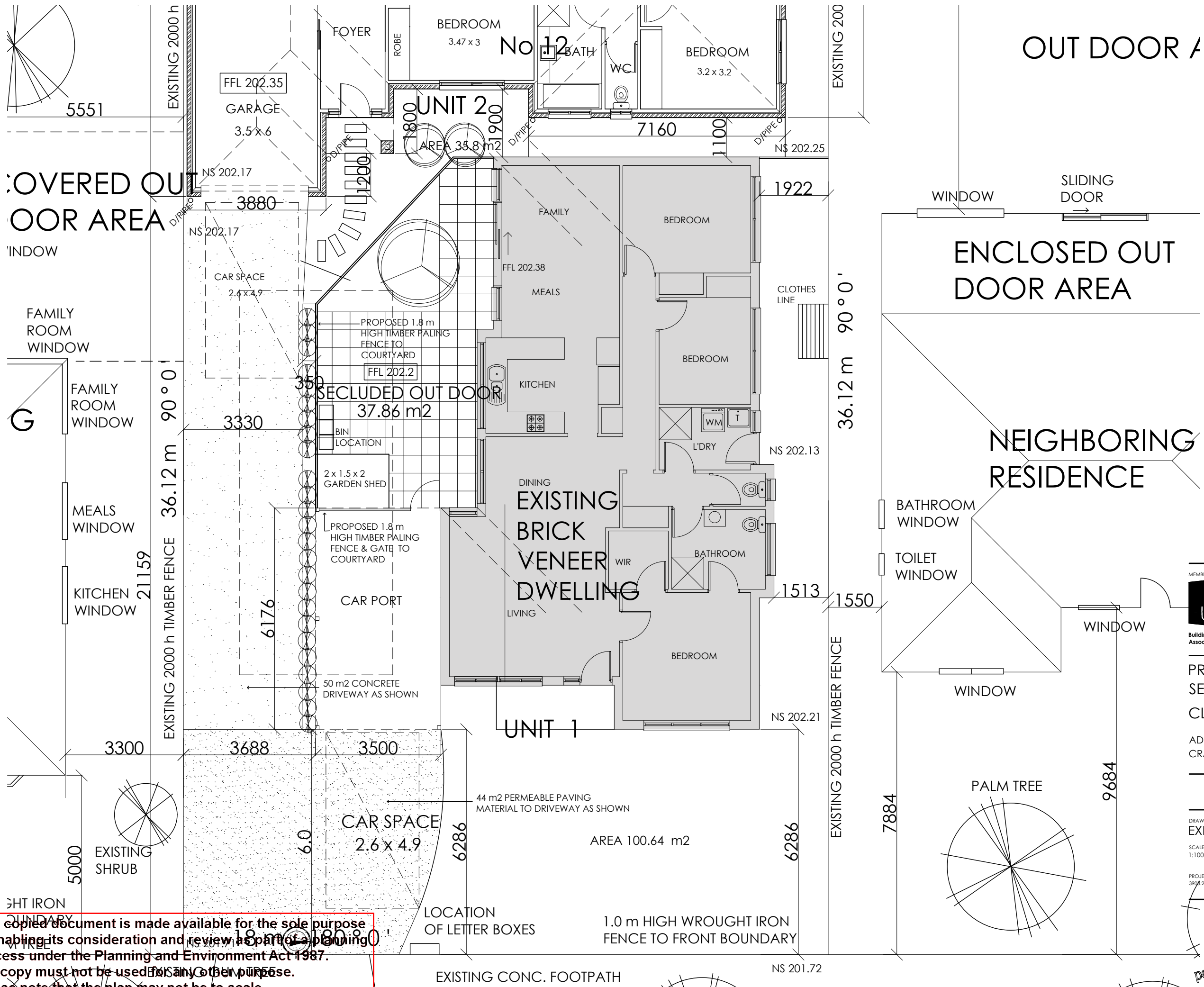
SCALE: 1:100 @ A3      DRAWN BY: Ron Popelier      ISSUE DATE: 15.12.2021

PROJECT NO: 3903.20      SHEET NO: -      DRAWING NO: 01      REVISION NO: -



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P.O. BOX 1090  
SHEPPARTON VIC 3632  
T 03] 5821 7444  
F 03] 5821 2047  
ron@popds.com.au  
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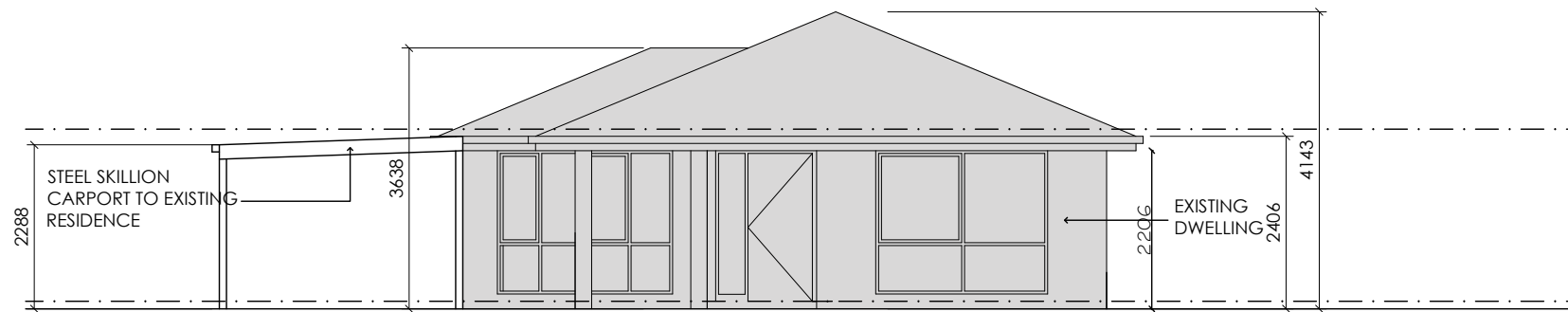
PROJECT: PROPOSED SECOND DWELLING  
 CLIENT: ALI ALKHAFAJI  
 ADDRESS: 12 BALCOMBE COURT CRAIGIEBURN

DRAWING TITLE: EXISTING FLOOR PLAN  
 SCALE: 1:100 @ A3  
 DRAWN BY: Ron Popelier  
 ISSUE DATE: 15.12.2021  
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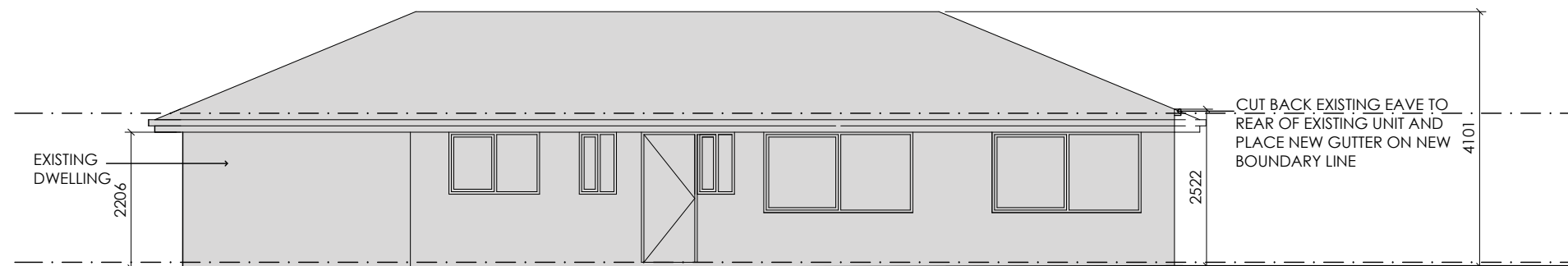
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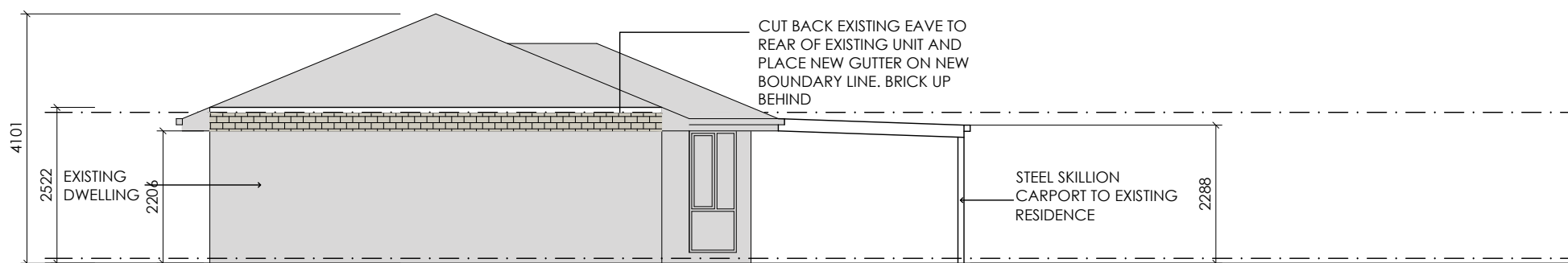
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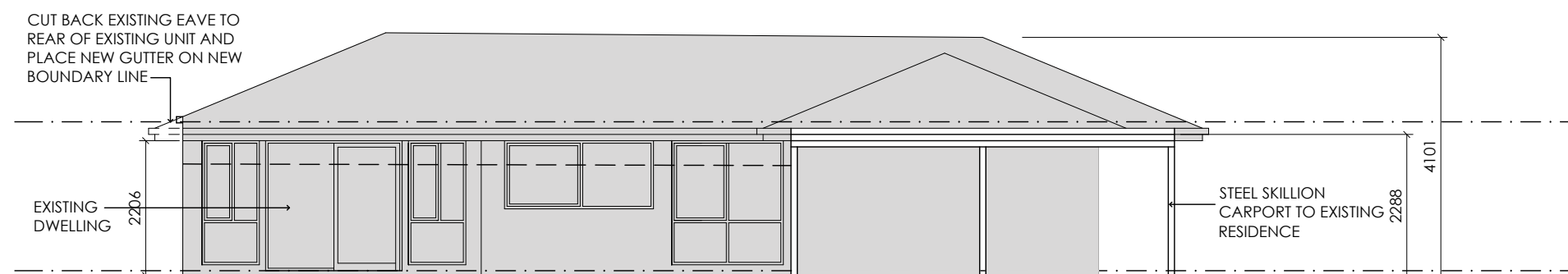
EAST ELEVATION EXISTING RESIDENCE




NORTH ELEVATION EXISTING RESIDENCE



WEST ELEVATION EXISTING RESIDENCE



SOUTH ELEVATION EXISTING RESIDENCE

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Building Designers Association Victoria

PROJECT: PROPOSED SECOND DWELLING

CLIENT: ALI ALKHAFAJI

ADDRESS: 12 BALCOMBE COURT CRAIGIEBURN

DRAWING TITLE: ELEVATIONS EXISTING BUILDING

SCALE: 1:100 @ A3 DRAWN BY: Ron Popelier ISSUE DATE: 15.12.2021

PROJECT NO: 3903.20 SHEET NO: - DRAWING NO: 01 REVISION NO: -




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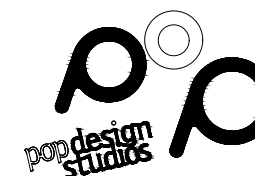
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PROJECT: PROPOSED  
 SECOND DWELLING  
 CLIENT: ALI ALKHAFAJI  
 ADDRESS: 12 BALCOMBE COURT  
 CRAIGIEBURN

DRAWING TITLE:  
 PROPOSED NEIGHBORHOOD  
 ELEVATION  
 SCALE: 1:250 @ A3  
 DRAWN BY: Ron Popelier  
 ISSUE DATE: 15.12.2021

PROJECT NO:	SHEET NO:	DRAWING NO:	REVISION NO:
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# STORM Rating Report

TransactionID: 1258423  
Municipality: HUME  
Rainfall Station: HUME  
Address: 12 Balcombe Court

Craigieburn  
VIC

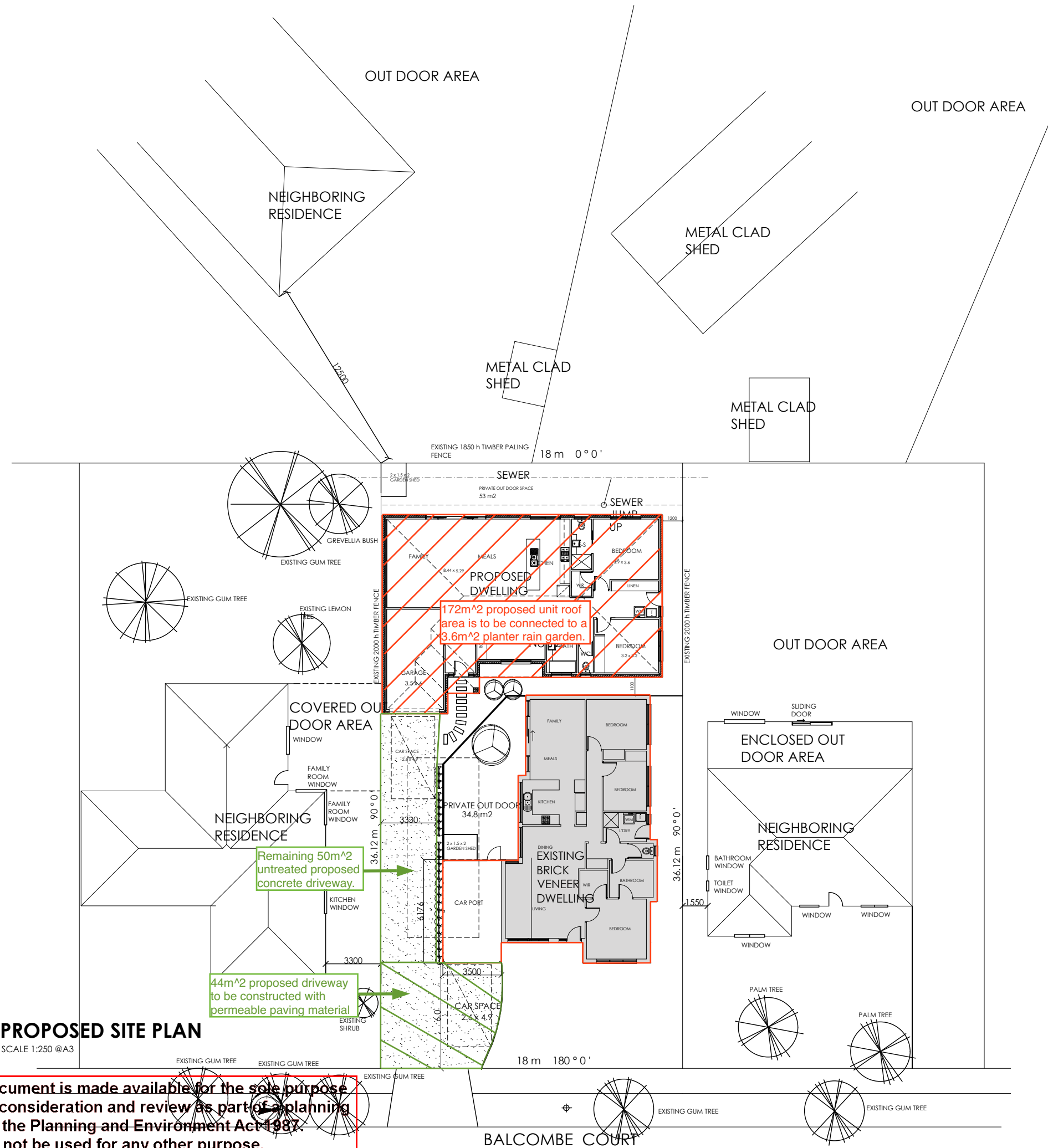
Assessor: Nadir Yonan  
Development Type: Residential - Multiunit  
Allotment Site (m2): 360.00  
STORM Rating %: 100

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Proposed Unit	172.00	Raingarden 100mm	3.60	0	128.50	0.00
Driveway	50.00	None	0.00	0	0.00	0.00

Date Generated: 26-Oct-2021

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Program Version: 1.0.0



**PROPOSED SITE PLAN**  
SCALE 1:250 @A3

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Building Designers Association Victoria

**PROJECT: PROPOSED SECOND DWELLING**  
**CLIENT: ALI ALKHAFAJI**  
**ADDRESS: 12 BALCOMBE COURT CRAIGIEBURN**

**DRAWING TITLE: PROPOSED SITE PLAN**

SCALE: 1:250 @ A3	DRAWN BY: Ron Popelier	ISSUE DATE: 26.10.2021
PROJECT NO: 3903.20	SHEET NO: -	DRAWING NO: 01
		REVISION NO: -

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