



Office Use Only

Application No.:

Date Lodged: / /

# Application for Planning Permit

Planning Enquiries  
Phone: 03 9205 2200  
Web: <http://www.hume.vic.gov.au>

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#).

**⚠** Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

**⚠** Questions marked with an asterisk (\*) are mandatory and must be completed.

**⚠** If the space provided on the form is insufficient, attach a separate sheet.

Clear Form

## The Land **i** ① Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address \*

Unit No.:	St. No.:	St. Name:
	42	STANHOPE ST
Suburb/Locality: BROADMEADOWS		Postcode: 3047

Formal Land Description \*  
Complete either A or B.

A  Lot No.: 543  Lodged Plan  Title Plan  Plan of Subdivision No.: 059115

OR

B  Crown Allotment No.:  Section No.:

Parish/Township Name:

**⚠** This information can be found on the certificate of title.

If this application relates to more than one address, please click this button and enter relevant details.

Add Address

## The Proposal **⚠** You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

② For what use, development or other matter do you require a permit? \*  
**i**

If you need help about the proposal, read:  
[How to Complete the Application for Planning Permit Form](#)

Select the focus of this application and describe below:

CONSTRUCTION OF 3 DOUBLE STOREY DWELLINGS

**📄** Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

③ Estimated cost of development for which the permit is required \*  
**i**

Cost \$ 700,000

**⚠** You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within metropolitan Melbourne (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy must be paid to the State Revenue Office and a current levy certificate must be submitted with the application. Visit [www.sro.vic.gov.au](http://www.sro.vic.gov.au) for information.

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## Existing Conditions i

- ④ Describe how the land is used and developed now \*

eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

SINGLE STOREY DWELLING

Provide a plan of the existing conditions. Photos are also helpful.

## Title Information i

- ⑤ Encumbrances on title \*

If you need help about the title, read:

[How to complete the Application for Planning Permit form](#)

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes. (If 'yes' contact Council for advice on how to proceed before continuing with this application.)  
 No  
 Not applicable (no such encumbrance applies).

Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive covenants.)

## Applicant and Owner Details i

- ⑥ Provide details of the applicant and the owner of the land.

### Applicant \*

The person who wants the permit.

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Please provide at least one contact phone number \*

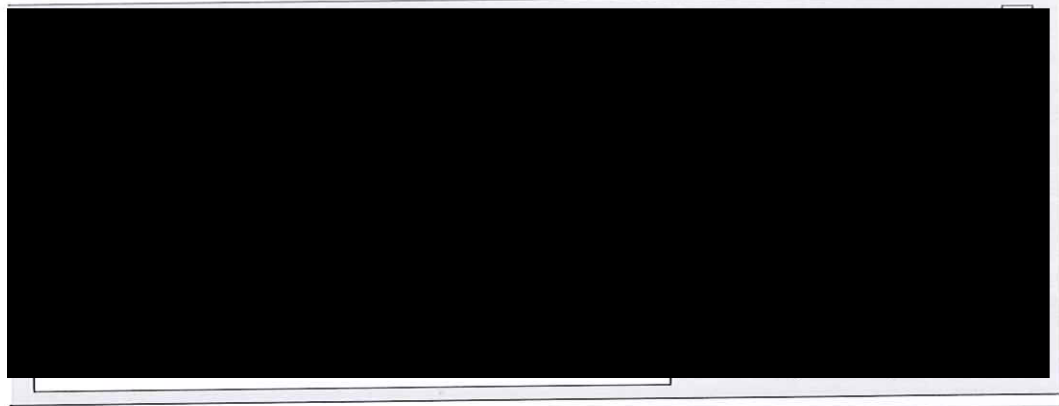
Name:		
Title: <input type="text"/>	First Name: <input type="text" value="DORIAN"/>	Surname: <input type="text" value="FRANCIS"/>
Organisation (if applicable): <input type="text" value="CLOVIS ARCHITECTURAL PLANS AND PERMITS"/>		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.: <input type="text"/>	St. No.: <input type="text" value="36"/>	St. Name: <input type="text" value="WHARTON ST"/>
Suburb/Locality: <input type="text" value="SURREY HILLS"/>	State: <input type="text" value="VIC"/>	Postcode: <input type="text" value="3127"/>
Contact person's details * <span style="float: right;">Same as applicant (if so, go to 'contact information') <input checked="" type="checkbox"/></span>		
Name:		
Title: <input type="text"/>	First Name: <input type="text"/>	Surname: <input type="text"/>
Organisation (if applicable): <input type="text"/>		
Postal Address:		If it is a P.O. Box, enter the details here:
Unit No.: <input type="text"/>	St. No.: <input type="text"/>	St. Name: <input type="text"/>
Suburb/Locality: <input type="text"/>	State: <input type="text"/>	Postcode: <input type="text"/>
Contact information		
Business Phone: <input type="text"/>	Email: <input type="text" value="dorian.francis.architectural@gmail.com"/>	
Mobile Phone: <input type="text" value="0422-898-869"/>	Fax: <input type="text"/>	


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Owner \*


The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.



Declaration 

7 This form must be signed by the applicant \*

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature:

A handwritten signature in blue ink, appearing to read 'K. Griffin', written over a white rectangular box.

Date:

23/07/21

day / month / year

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## Need help with the Application?

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#)  
General information about the planning process is available at [www.delwp.vic.gov.au/planning](http://www.delwp.vic.gov.au/planning)

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

8 Has there been a pre-application meeting with a Council planning officer?

No  Yes

If 'yes', with whom?:

Date:


day / month / year

## Checklist

9 Have you:

Filled in the form completely?

Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

Provided all necessary supporting information and documents?

A full, current copy of title information for each individual parcel of land forming the subject site

A plan of existing conditions.

Plans showing the layout and details of the proposal

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).

If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.

Completed the relevant Council planning permit checklist?

Signed the declaration (section 7)?

## Lodgement

Lodge the completed and signed form, the fee payment and all documents with:

Hume City Council  
PO Box 119 Dallas VIC 3047  
Pascoe Vale Road Broadmeadows VIC 3047

### Contact information:

Telephone: 61 03 9205 2200

Email: [email@hume.vic.gov.au](mailto:email@hume.vic.gov.au)

DX: 94718

Translation: 03 9205 2200 for connection to Hume Link's multilingual telephone information service

### Deliver application in person, by fax, or by post:

Print Form

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address. This is usually your local council but can sometimes be the Minister for Planning or another body.

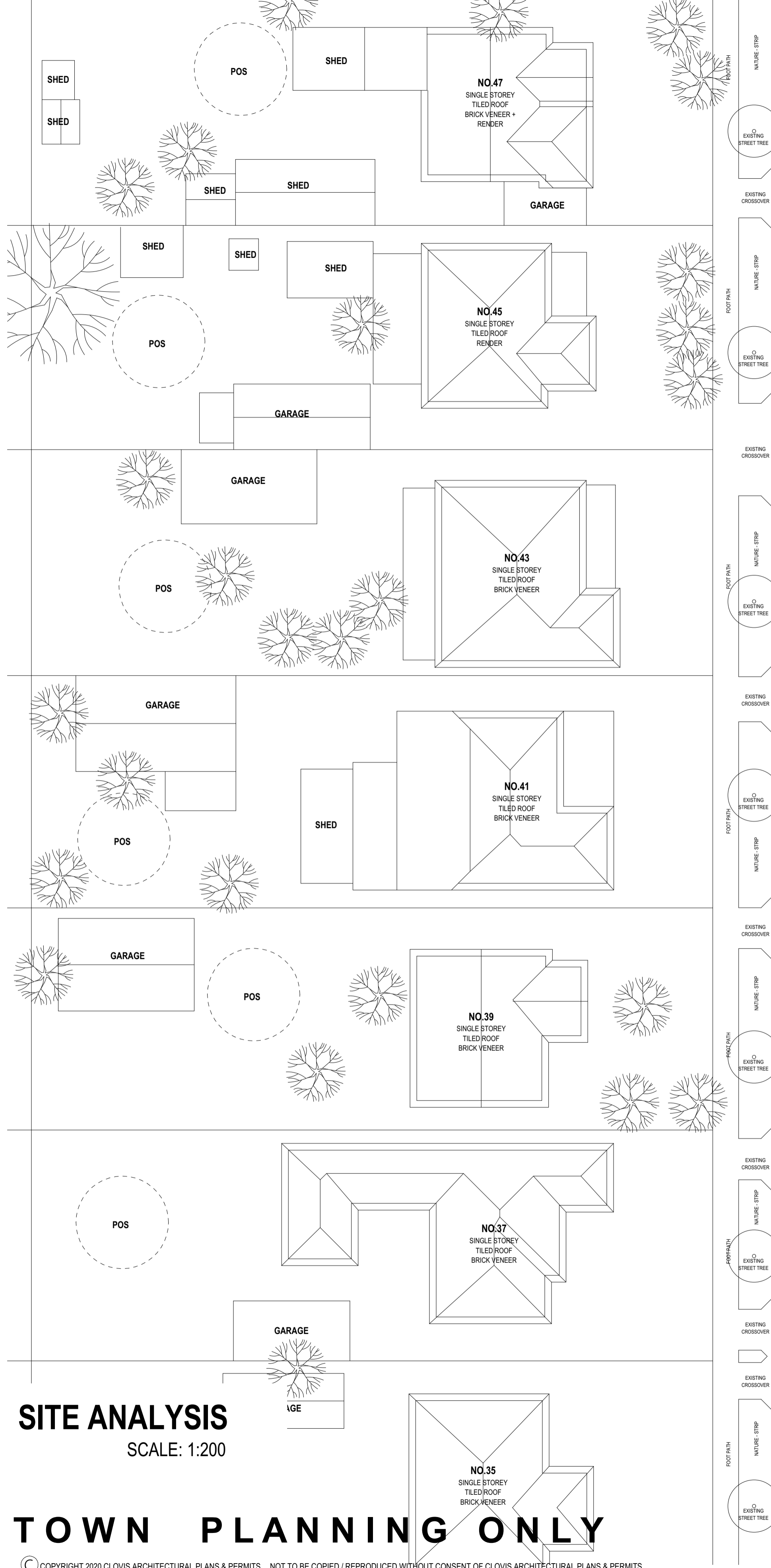
### Save Form:

Save Form To You

You can save this application form to your computer to complete or review later or email it to others to complete relevant sections.

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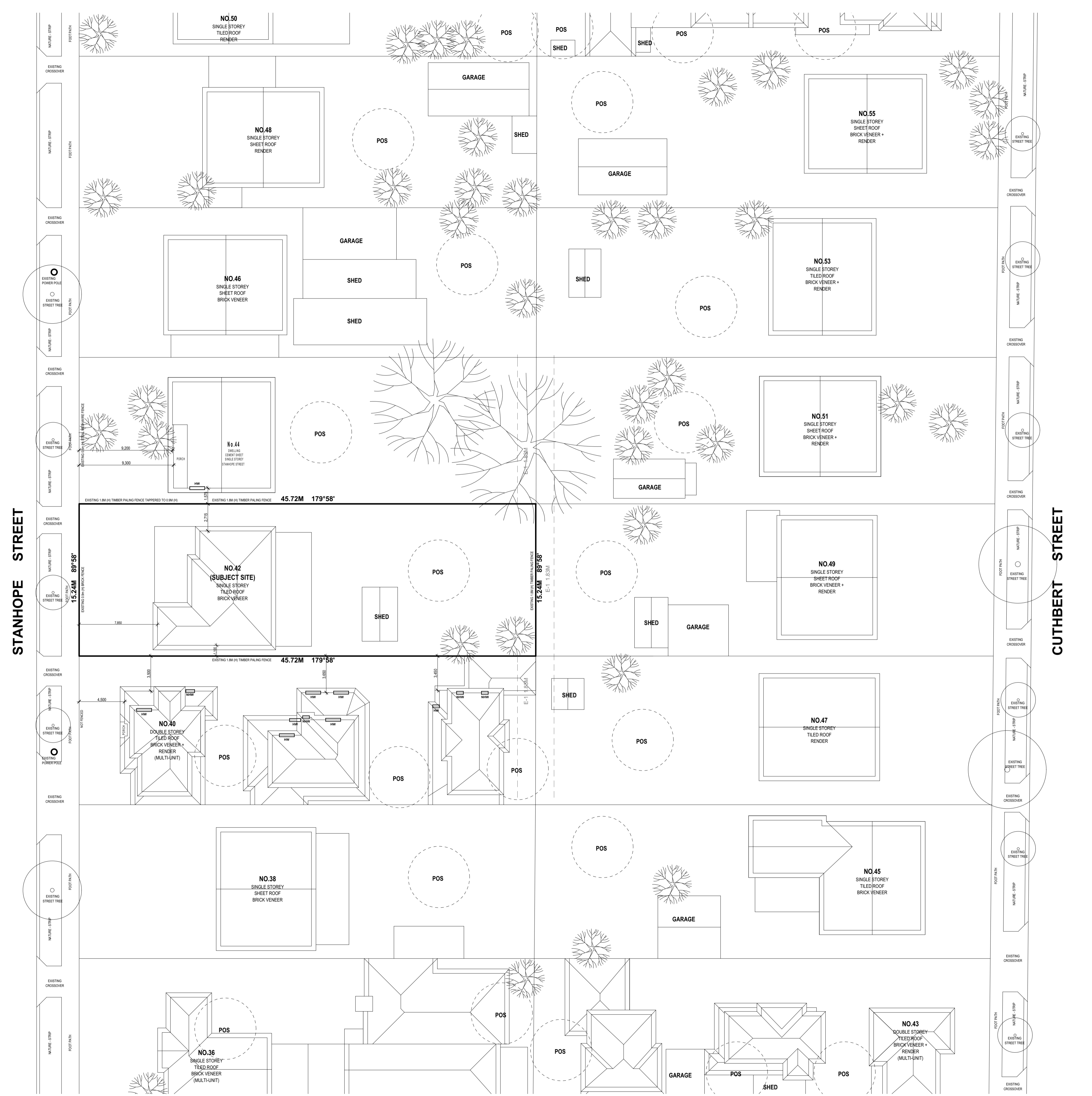
EVERY ENDEAVOR IS EMPLOYED FOR THE AS NEAR AS POSSIBLE DEPICTION OF EXISTING DWELLINGS ON NEIGHBORING PROPERTIES AS SHOWN ON THE NEIGHBORHOOD & SITE DESCRIPTION PLAN MEASURED AND DRAWN BY THIS COMPANY. NOTE THAT ACCESS ON SITE IS RESTRICTED EXCLUSIVELY TO THE SUBJECT SITE, I.E., THE DEVELOPMENT SITE. INFORMATION RELATING TO THE NEIGHBORING PROPERTIES IS SUBJECT TO PHYSICAL AND VISUAL ACCESS FROM THE SUBJECT SITE. IT IS THEREFORE EXPECTED THAT DISCREPANCIES MAY OCCUR IN RELATION TO THE OUTLINE AND LOCATION OF EXISTING DWELLINGS ON NEIGHBORING PROPERTIES



**SITE ANALYSIS**  
SCALE: 1:200

**TOWN PLANNING ONLY**

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**STANHOPE STREET**

**CUTHBERT STREET**

NOTE: CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORKS. DRAFTSMAN TO BE NOTIFIED OF ANY DISCREPANCIES FOR CLARIFICATION.

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**MULTI-UNIT DEVELOPMENT**  
**42 STANHOPE STREET**  
**BROADMEADOWS VIC 3047**

**PROPOSED - SITE ANALYSIS**

CAD REF:	DRAWN BY: S.F.A.R	PROJECT NO.:	REVISION NO.:
	SCALE: 1:200 @ A1	REVISION DATE:	DRAWING No: TP
	DATE: 20.07.21	18/01/2022	1 of 10

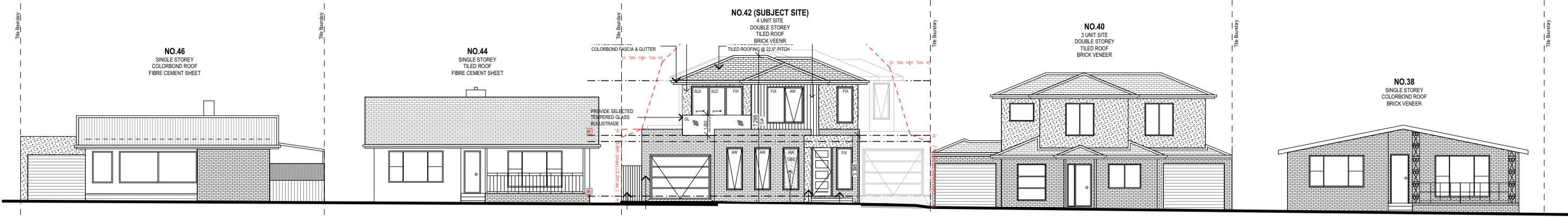
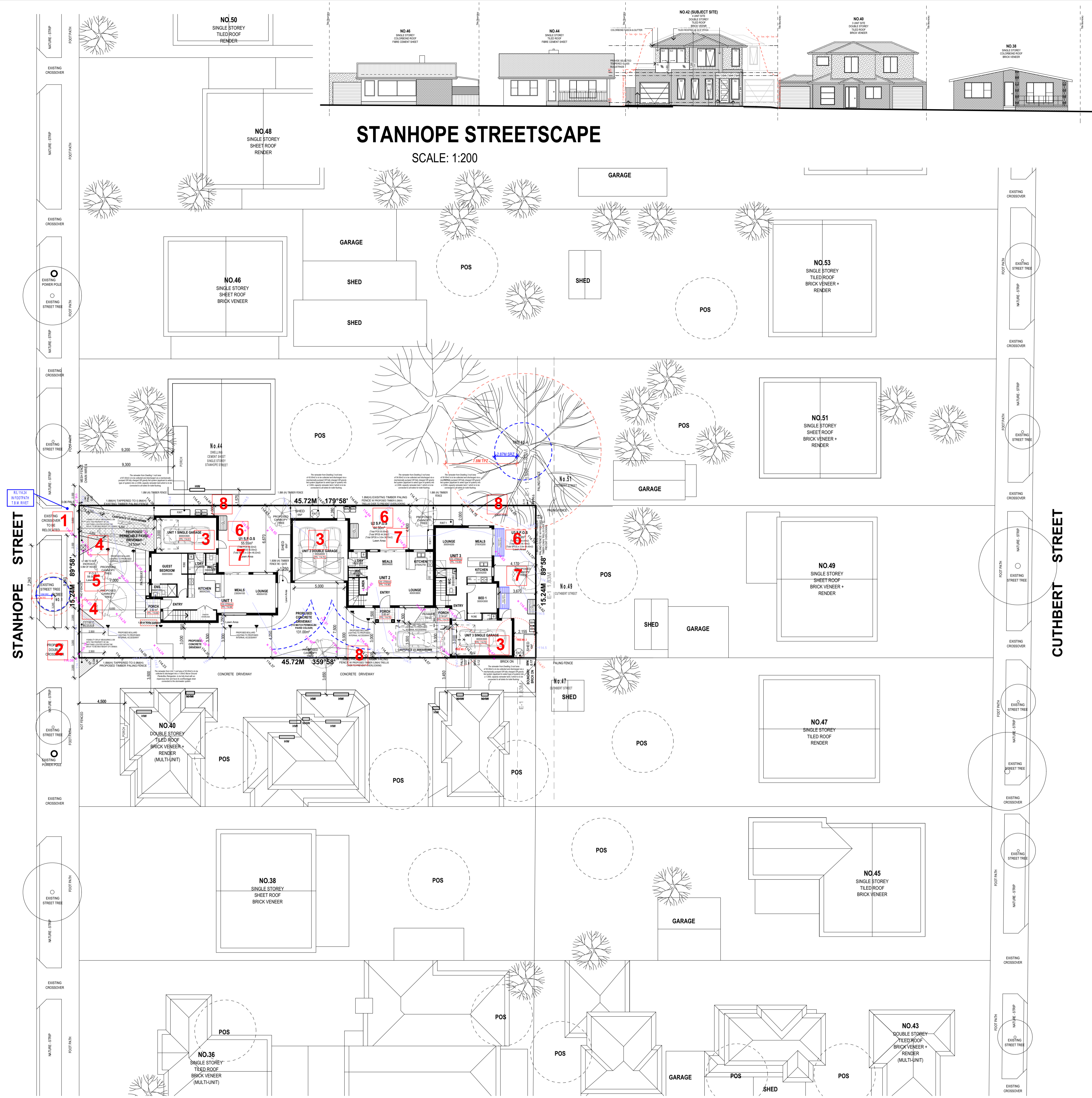
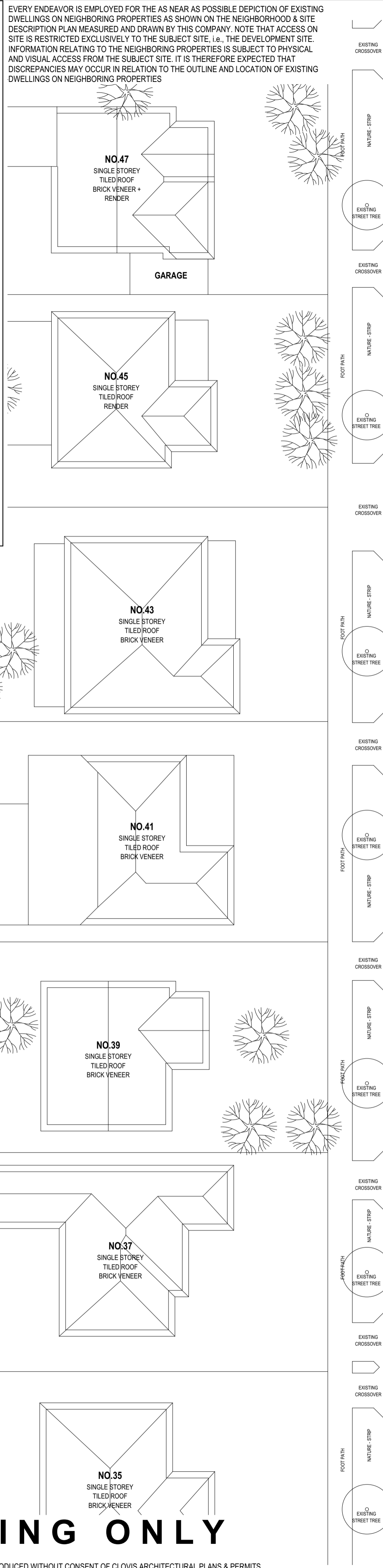


CLOVIS ARCHITECTURAL PLANS & PERMITS  
17 HUNTINGTON GROVE, COBURG EAST 3058  
E.DORIAN.FRANCIS.ARCHITECTURAL@GMAIL.COM

REVISIONS:	DATE:

# DESIGN RESPONSE

- 1 EXISTING CROSSOVER TO BE RELOCATED FOR ACCESS TO UNIT 1
- 2 PROPOSED DOUBLE CROSSOVER TO BE USED FOR ACCESS TO UNIT 2-3
- 3 NEW GARAGES TO PROPOSED DWELLINGS TO BE SUBSTANTIALLY SETBACK FROM STREET TO AVOID VISIBLE IMPACT ON EXISTING STREETScape.
- 4 NEW MAILBOXES FOR ALL DWELLINGS.
- 5 FRONT SETBACK OF 7.00M FOR PROPOSED UNIT 1.
- 6 LAWN AREA PROVIDES SPACE FOR LANDSCAPING.
- 7 OPEN SPACE ON SITE FOR EACH DWELLING IS DISTRIBUTED TO THE REAR AND THROUGHOUT THE SITE. THE DEVELOPMENT WILL PROVIDE SUFFICIENT PRIVATE OPEN SPACE FOR THE REASONABLE RECREATION, SERVICE AND STORAGE NEEDS OF RESIDENTS. THE PRIVATE OPEN SPACES FOR BOTH DWELLING ARE LOCATED OFF LIVING AREAS.
- 8 LANDSCAPING LOCATION TO PROVIDE SOFT BUFFER AND SCREENING BETWEEN THE ADJOINING PROPERTIES. EXTENSIVE LANDSCAPING TO BE IMPLEMENTED.



## STANHOPE STREETScape

SCALE: 1:200

# DESIGN RESPONSE

SCALE: 1:200

# TOWN PLANNING ONLY

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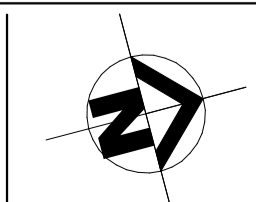
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 E: DORIAN.FRANCIS.ARCHITECTURAL@GMAIL.COM

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**MULTI-UNIT DEVELOPMENT**  
**42 STANHOPE STREET**  
 BROADMEADOWS VIC 3047

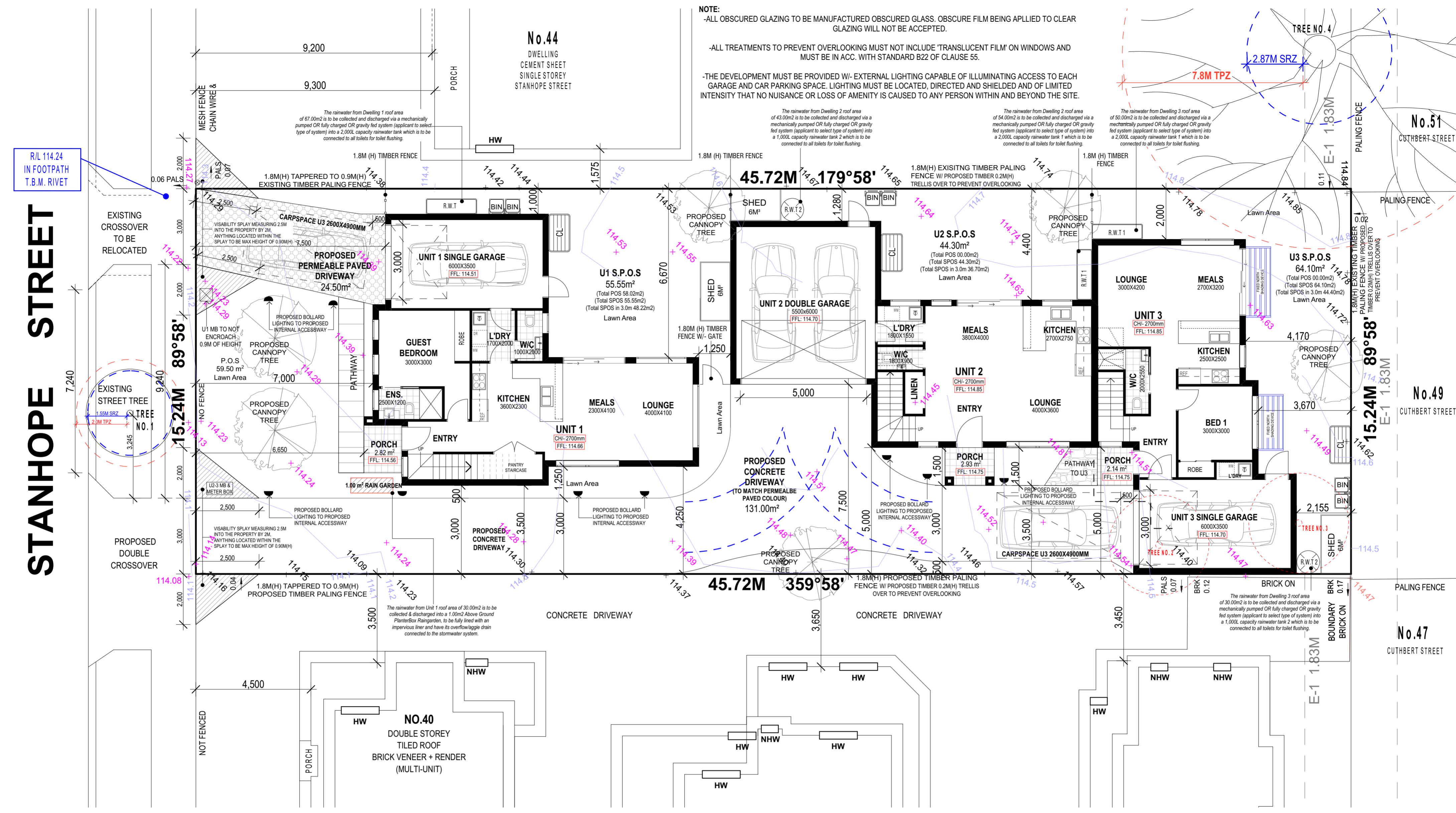


PROPOSED - DESIGN RESPONSE			
CAD REF:	DRAWN BY: S.F. A.R.	PROJECT NO.:	REVISION NO.:
	SCALE: 1:200 @ A1	REVISION DATE:	DRAWING No: TP
		DATE: 20.07.21	18/01/2022
			2 of 10

# STANHOPE STREET

R/L 114.24  
IN FOOTPATH  
T.B.M. RIVET

**NOTE:**  
-ALL OBSCURED GLAZING TO BE MANUFACTURED OBSCURE GLASS. OBSCURE FILM BEING APPLIED TO CLEAR GLAZING WILL NOT BE ACCEPTED.  
-ALL TREATMENTS TO PREVENT OVERLOOKING MUST NOT INCLUDE 'TRANSLUCENT FILM' ON WINDOWS AND MUST BE IN ACC. WITH STANDARD B22 OF CLAUSE 55.  
-THE DEVELOPMENT MUST BE PROVIDED W/ EXTERNAL LIGHTING CAPABLE OF ILLUMINATING ACCESS TO EACH GARAGE AND CAR PARKING SPACE. LIGHTING MUST BE LOCATED, DIRECTED AND SHIELDED AND OF LIMITED INTENSITY THAT NO NUISANCE OR LOSS OF AMENITY IS CAUSED TO ANY PERSON WITHIN AND BEYOND THE SITE.



## GROUND FLOOR PLAN

SCALE: 1:100

**AREA ANALYSIS**

SITE AREA	696.80m <sup>2</sup>	100%
SITE COVERAGE AREA	286.86m <sup>2</sup>	41.16%
SEALED SURFACES	131.00m <sup>2</sup>	18.80%
PERMEABLE SURFACES	286.56m <sup>2</sup>	41.12%
GARDEN AREA	243.94m <sup>2</sup>	35.00%

**UNIT 1**

GROUND FLOOR	73.57m <sup>2</sup>
FIRST FLOOR	66.83m <sup>2</sup>
GARAGE	24.06m <sup>2</sup>
PORCH	2.82m <sup>2</sup>
BALCONY	4.41m <sup>2</sup>
<b>TOTAL</b>	<b>171.69m<sup>2</sup> 18.48sq</b>

**UNIT 2**

GROUND FLOOR	50.81m <sup>2</sup>
FIRST FLOOR	61.75m <sup>2</sup>
GARAGE	38.07m <sup>2</sup>
PORCH	2.93m <sup>2</sup>
<b>TOTAL</b>	<b>153.56m<sup>2</sup> 16.53sq</b>

**UNIT 3**

GROUND FLOOR	50.81m <sup>2</sup>
FIRST FLOOR	61.75m <sup>2</sup>
GARAGE	38.07m <sup>2</sup>
PORCH	2.14m <sup>2</sup>
<b>TOTAL</b>	<b>138.19m<sup>2</sup> 14.88sq</b>

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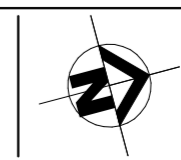
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**MULTI-UNIT DEVELOPMENT**  
**42 STANHOPE STREET**  
BROADMEADOWS VIC 3047



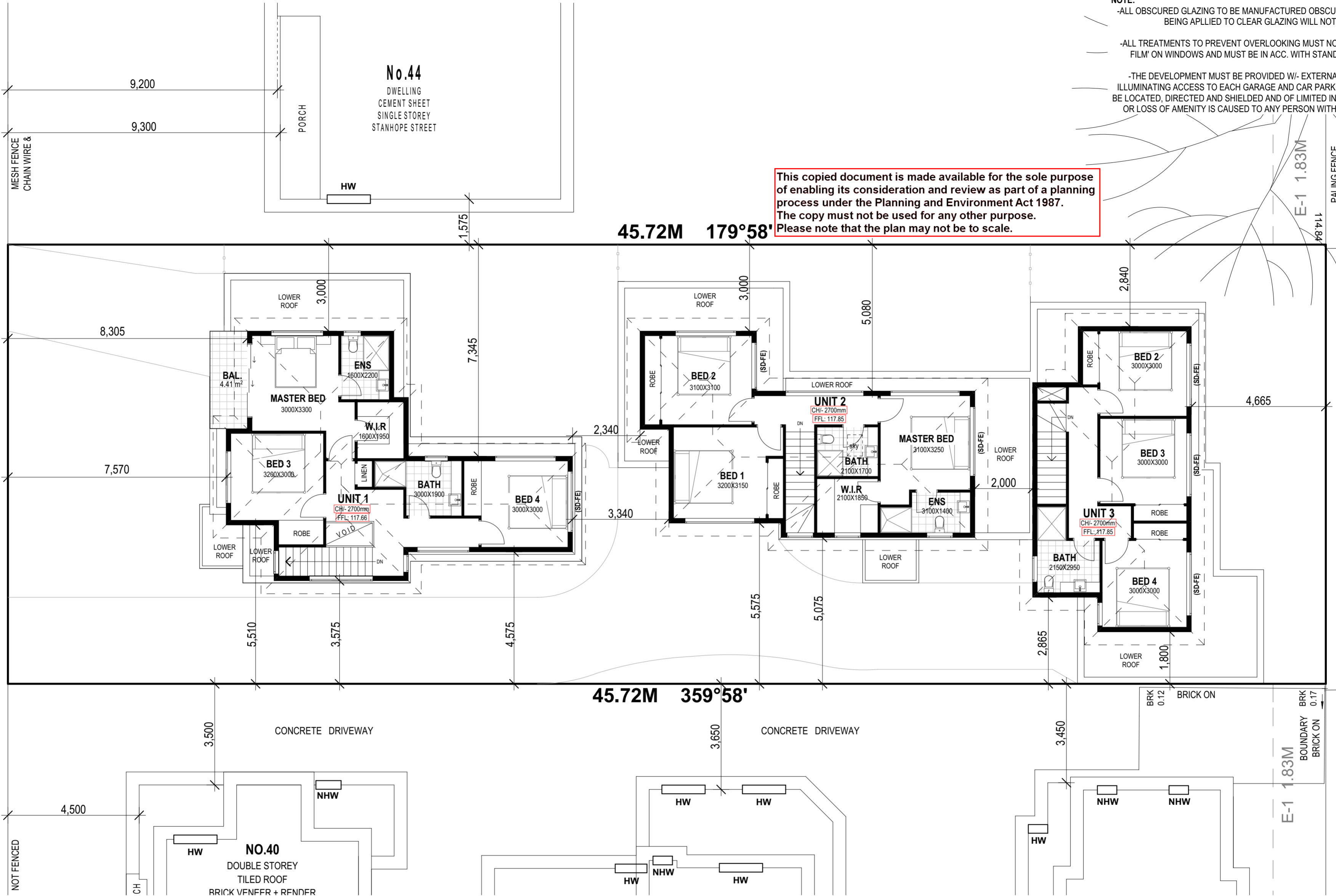
**PROPOSED - GROUND FLOOR PLAN**

DRAWN BY: S.F. AR	PROJECT NO: -	REVISION NO:
CAD REF:	SCALE: 1:100 @ A2	REVISION DATE:
DATE: 20.07.21	18/01/2022	DRAWING NO: TP 3 of 10

# STANHOPE STREET

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## FIRST FLOOR PLAN

SCALE: 1:100

### AREA ANALYSIS

SITE AREA	696.80m <sup>2</sup>	100%
SITE COVERAGE AREA	286.86m <sup>2</sup>	41.16%
SEALED SURFACES	131.00m <sup>2</sup>	18.80%
PERMEABLE SURFACES	286.56m <sup>2</sup>	41.12%
GARDEN AREA	243.94m <sup>2</sup>	35.00%

UNIT 1	
GROUND FLOOR	73.57m <sup>2</sup>
FIRST FLOOR	66.83m <sup>2</sup>
GARAGE	24.06m <sup>2</sup>
PORCH	2.82m <sup>2</sup>
BALCONY	4.41m <sup>2</sup>
<b>TOTAL</b>	<b>171.69m<sup>2</sup> 18.48sq</b>

UNIT 2	
GROUND FLOOR	50.81m <sup>2</sup>
FIRST FLOOR	61.75m <sup>2</sup>
GARAGE	38.07m <sup>2</sup>
PORCH	2.93m <sup>2</sup>
<b>TOTAL</b>	<b>153.56m<sup>2</sup> 16.53sq</b>

UNIT 3	
GROUND FLOOR	58.53m <sup>2</sup>
FIRST FLOOR	52.63m <sup>2</sup>
GARAGE	24.89m <sup>2</sup>
PORCH	2.14m <sup>2</sup>
<b>TOTAL</b>	<b>138.19m<sup>2</sup> 14.88sq</b>

## TOWN PLANNING ONLY

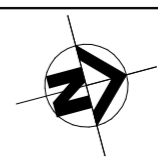
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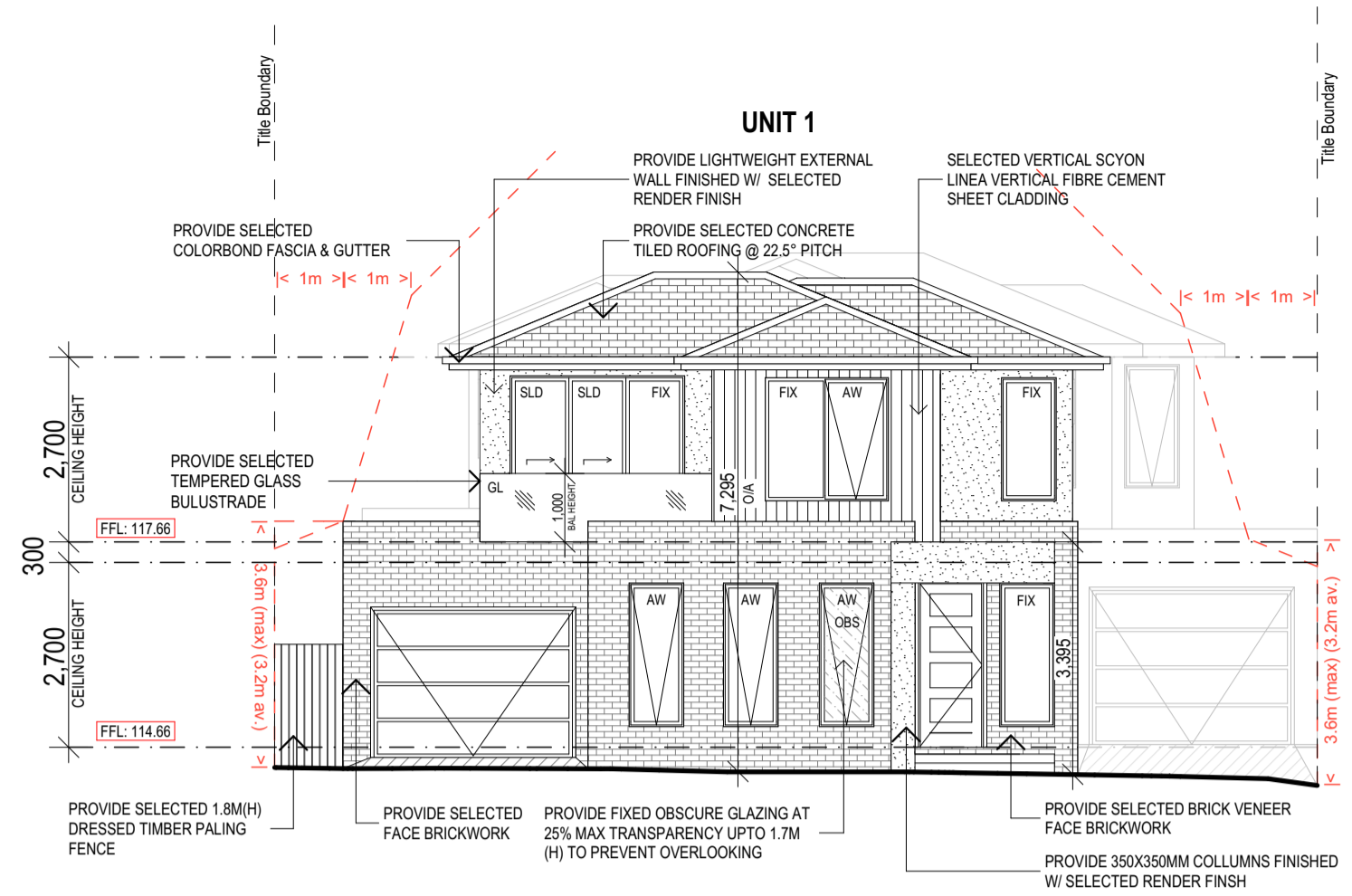
**MULTI-UNIT DEVELOPMENT**  
**42 STANHOPE STREET**  
 BROADMEADOWS VIC 3047



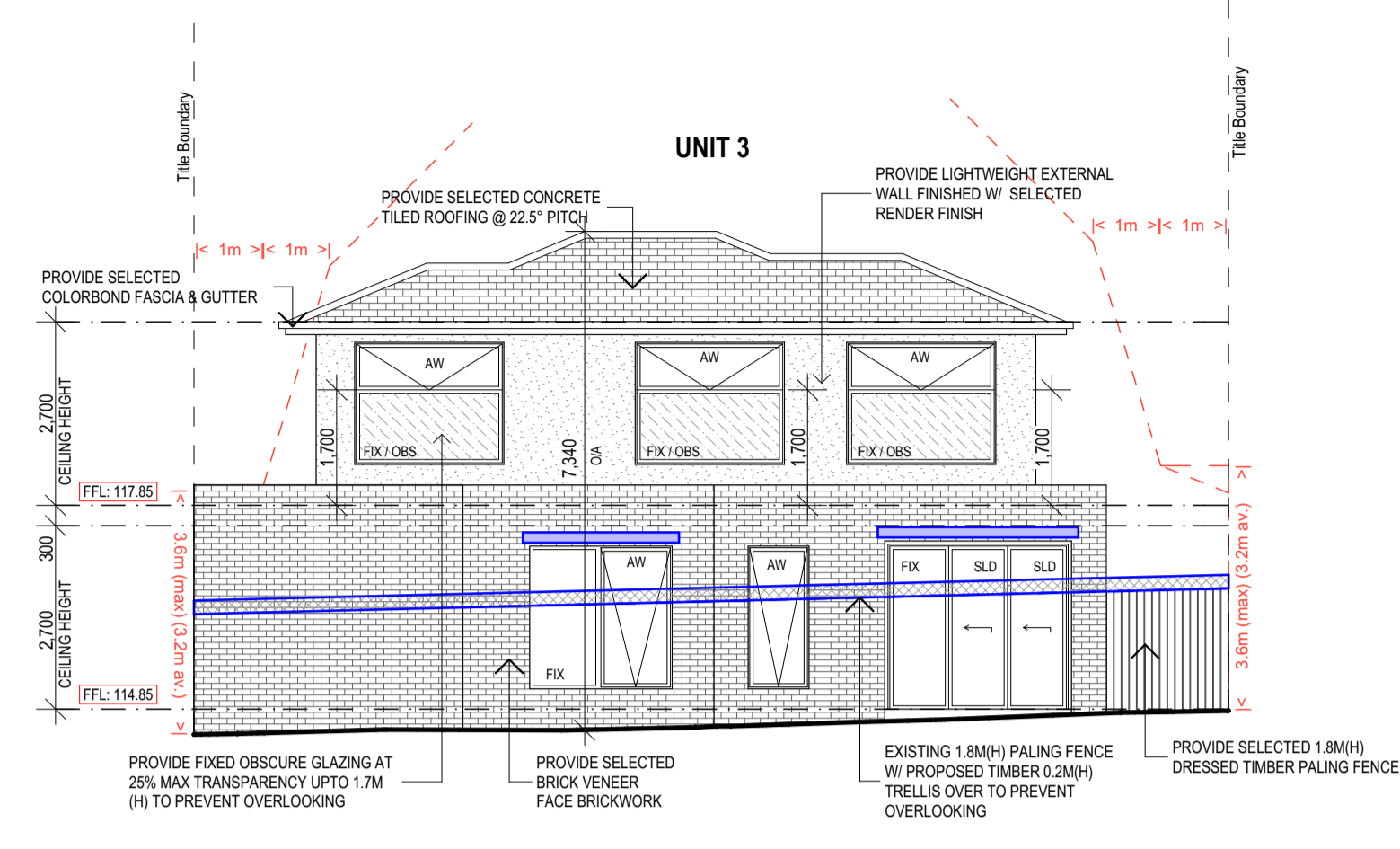
PROPOSED - FIRST FLOOR PLAN			
DRAWN BY: S.F. A.R.	PROJECT NO.:	REVISION NO.:	
CAD REF.:	SCALE: 1:100 @ A2	REVISION DATE:	DRAWING NO. TP
DATE: 20.07.21	18/01/2022	4 of 10	



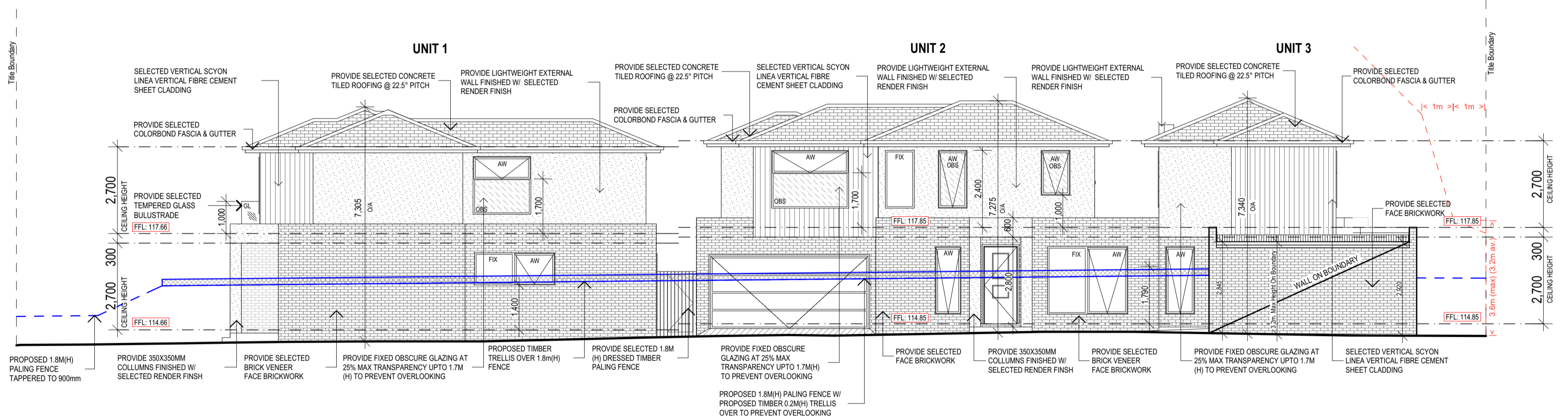
- LEGEND**
- SLD SLIDING PANEL
  - SLD/OBS OBSCURE SLIDING PANEL
  - FIX FIXED GLAZING
  - F/OBS OBSCURE FIXED GLAZING
  - AW AWNING WINDOW
  - AW/OBS OBSCURE AWNING WINDOW
- NOTE:**
- PLEASE REFER TO MATERIAL SCHEDULE FOR EXACT MATERIAL FINISH.
  - ALL OBSCURE GLAZING WITH NOT MORE THAN 25 PER CENT TRANSPARENCY
  - EXTERNAL LIGHTING TO BE CONTROLLED BY MOTION DETECTOR



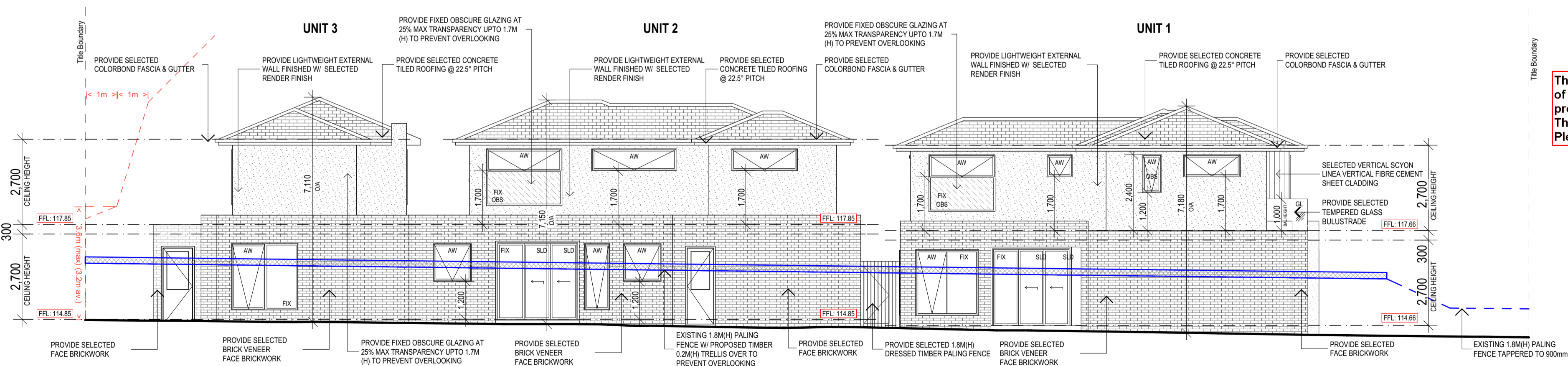
**SOUTH ELEVATION**  
SCALE: 1:100



**NORTH ELEVATION**  
SCALE: 1:100



**EAST ELEVATION**  
SCALE: 1:100



**WEST ELEVATION**  
SCALE: 1:100

**SHADING DEVICES**

SHADING DEVICE TYPE	PLAN VIEW	ELEVATION	SECTION
<b>FIXED EAVE (SD-FE)</b> (NORTH FACING WINDOWS ONLY) The width of the eave and the gutter is used to determine the sill height of the window to use a fixed eave as a shading device for north facing windows. The eave width is to be 25% of the 'HEIGHT'. The 'HEIGHT' is taken from the underside of the shading device and varies based on the angle of the roof pitch and the wall cladding. The height of the window varies based on the head height of the window.			
<b>FIXED CANTILEVERED LOUVERS (SDT.5)</b> (NORTH FACING OPENINGS ONLY) Fixed horizontal shading devices facing north must extend beyond the width opening by the same distance as their outward projection. The projection must be 25% of the 'HEIGHT' from the underside of the shading device to the sill. Option 1: Fixed louvers Fixed louvers will allow solar access into the dwelling during winter provided the louvers are fixed at 29°. Ensure louvers are spaced sufficiently to prevent solar heat gain in summer. Melbourne summer sun angle is 75° from the horizon. Option 2: Fixed battens Alternatively, fixed battens may be used however this will prevent winter solar access into dwelling.			

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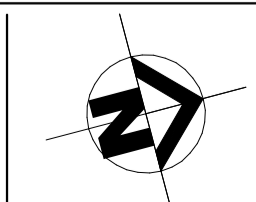
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REVISIONS:	DATE:

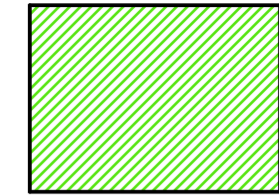
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**MULTI-UNIT DEVELOPMENT**  
**42 STANHOPE STREET**  
**BROADMEADOWS VIC 3047**

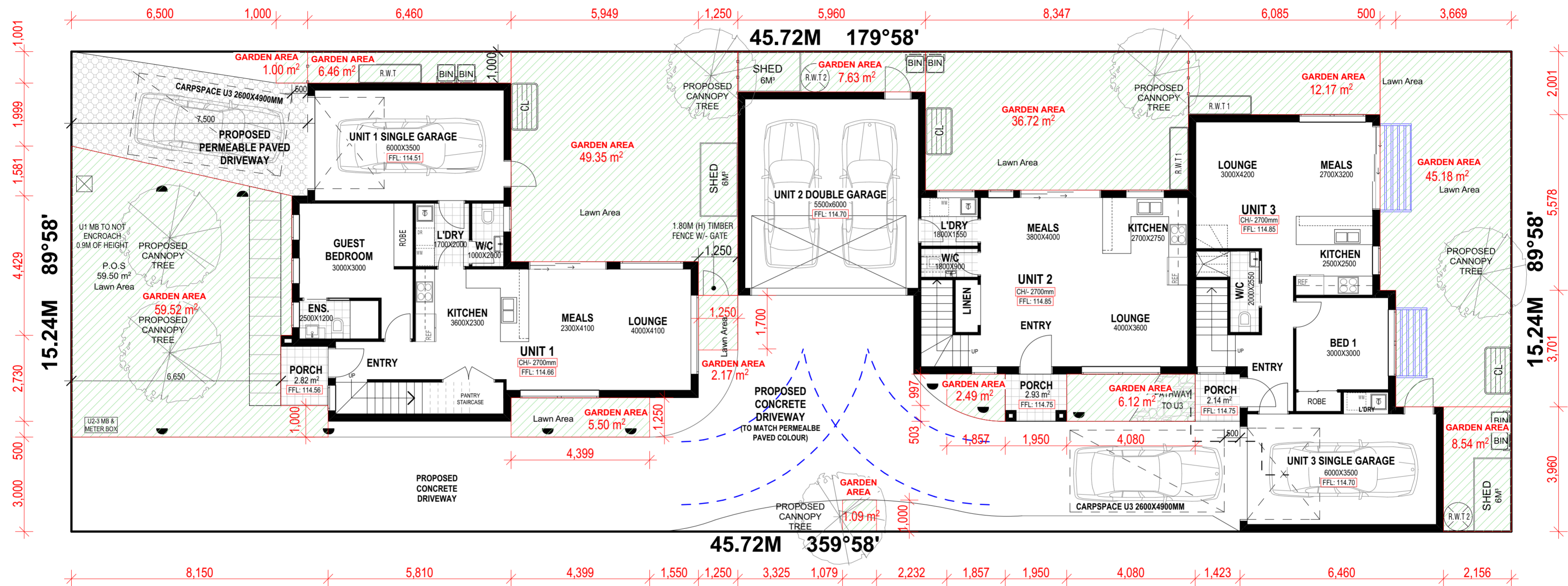


**PROPOSED - ELEVATIONS**

CAD REF:	DRAWN BY: S.F. A.R.	PROJECT NO.:	REVISION NO.:
	SCALE: 1:100 @ A1	REVISION DATE:	DRAWING No: TP
	DATE: 20.07.21	18/01/2022	5 of 10



-NOMINATED GARDEN AREA



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# GARDEN AREA FLOOR PLAN

SCALE: 1:100

UNIT 1			UNIT 2			UNIT 3		
<b>AREA ANALYSIS</b>			<b>GROUND FLOOR</b>			<b>GROUND FLOOR</b>		
SITE AREA	696.80m <sup>2</sup>	100%	FIRST FLOOR	73.57m <sup>2</sup>	FIRST FLOOR	50.81m <sup>2</sup>	FIRST FLOOR	58.53m <sup>2</sup>
SITE COVERAGE AREA	286.86m <sup>2</sup>	41.16%	GARAGE	66.83m <sup>2</sup>	FIRST FLOOR	61.75m <sup>2</sup>	FIRST FLOOR	52.63m <sup>2</sup>
SEALED SURFACES	131.00m <sup>2</sup>	18.80%	PORCH	24.06m <sup>2</sup>	GARAGE	38.07m <sup>2</sup>	GARAGE	24.89m <sup>2</sup>
PERMEABLE SURFACES	286.56m <sup>2</sup>	41.12%	BALCONY	2.82m <sup>2</sup>	PORCH	2.93m <sup>2</sup>	PORCH	2.14m <sup>2</sup>
GARDEN AREA	243.94m <sup>2</sup>	35.00%	<b>TOTAL</b>	<b>171.69m<sup>2</sup> 18.48sq</b>	<b>TOTAL</b>	<b>153.56m<sup>2</sup> 16.53sq</b>	<b>TOTAL</b>	<b>138.19m<sup>2</sup> 14.88sq</b>

## TOWN PLANNING ONLY

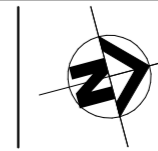
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REVISIONS:	DATE:

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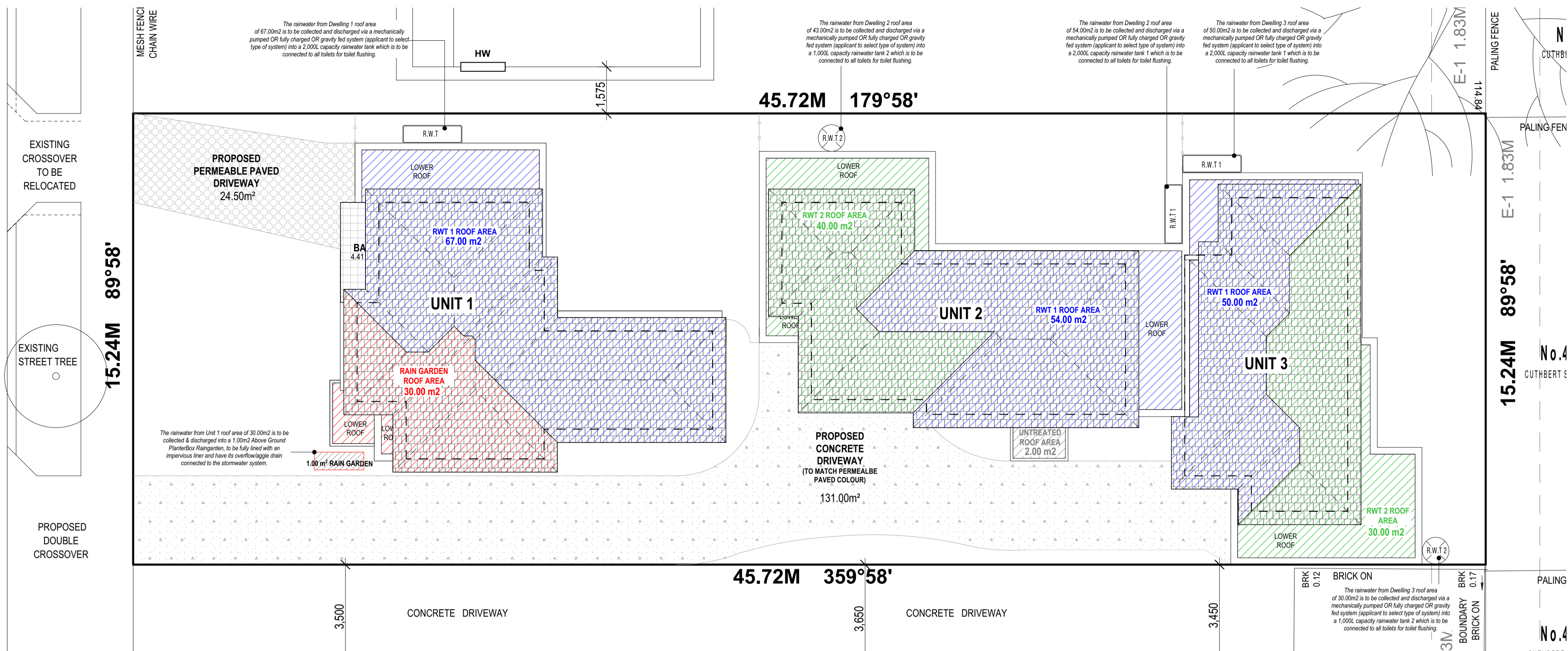
**MULTI - UNIT DEVELOPMENT**  
**42 STANHOPE STREET**  
 BROADMEADOWS VIC 3047



### PROPOSED - GARDEN AREA PLAN

CAD REF:	DRAWN BY: S.F. A.R.	PROJECT NO.:	REVISION NO.:
	SCALE: 1:100 @ A2	REVISION DATE:	DRAWING NO. TP
	DATE: 20/07/21	18/01/2022	6 of 10

# STANHOPE STREET



UNIT	GROUND FLOOR	FIRST FLOOR	GARAGE	PORCH	BALCONY	TOTAL
<b>UNIT 1</b>	73.57m <sup>2</sup>	66.83m <sup>2</sup>	24.06m <sup>2</sup>	2.82m <sup>2</sup>	4.41m <sup>2</sup>	<b>171.69m<sup>2</sup> 18.48sqr</b>
<b>UNIT 2</b>	50.81m <sup>2</sup>	61.75m <sup>2</sup>	38.07m <sup>2</sup>	2.93m <sup>2</sup>		<b>153.56m<sup>2</sup> 16.53sqr</b>
<b>UNIT 3</b>	58.53m <sup>2</sup>	52.63m <sup>2</sup>	24.89m <sup>2</sup>	2.14m <sup>2</sup>		<b>138.19m<sup>2</sup> 14.88sqr</b>

WSUD LEGEND/TREATMENT METHOD	
	-NOMINATED ROOF AREA USED FOR ABOVE GROUND RAIN GARDEN
	-NOMINATED ROOF AREA USED FOR RAIN WATER TANKS
	-NOMINATED ROOF AREA TO BE UNUSED
	-ENVIS SENTINEL MEDIA FILTER PITT TO TREAT NOMINATED DRIVEWAY AREA
	-SWALE / BUFFER STRIP IN BED GARDEN TO TREAT NOMINATED DRIVEWAY AREA
	-MIN. 2000L RAIN WATER TANK TO TREAT NOMINATED ROOF AREA
	-MIN. 500(W)x900(H)mm ABOVE GROUND RAIN GARDEN BED TO TREAT NOMINATED ROOF AREA
	-NOMINATED NON-PERMEABLE CONCRETE DRIVEWAY
	-NOMINATED PERMEABLE PAVING
	-NOMINATED GRASS AREA

## PRO. WSUD ROOF CATCHMENT PLAN

SCALE: 1:100

MAINTENANCE GUIDELINES (EVERY 3-6 MONTHS)	
RAINWATER TANKS:	TO BE INSPECTED, INLET TO BE CLEANED REGULARLY. IF SLUDGE IS PRESENT, TANKS MUST BE DRAINED BY PROFESSIONAL PLUMBER AND CLEANED
GUTTERS AND DOWNPIPES:	TO BE INSPECTED AND CLEANED REGULARLY.
FIRST FLUSH DEVICES:	IF APPLICABLE, TO BE INSPECTED AND CLEANED REGULARLY.

### WATER SENSITIVE URBAN DESIGN NOTES:

ALL DRAINAGE TO BE DESIGNED AND CERTIFIED BY AUTHORIZED DRAINAGE ENGINEER

EACH RAINWATER TANK IS TO BE CONNECTED TO ALL TOILETS IN EACH DWELLING

GRAVITY FED OR FULLY CHARGED SYSTEM IS NECESSARY TO ACHIEVE THE MINIMUM ROOF CATCHMENT AREA IN ACCORDANCE WITH STORM REQUIREMENTS.

THE OVERFLOW SYSTEMS FOR ALL RAINWATER TANKS MUST BE GRAVITY FED TO THE LEGAL POINT OF DISCHARGE AND NOT SERVICED BY OVERFLOW PUMPS

THE TANKS MUST BE USED ONLY FOR REUSE WITHIN THE DWELLINGS, AND ARE COMPLETELY INDEPENDENT OF ANY DETENTION REQUIREMENTS (THROUGH THE LEGAL POINT OF DISCHARGE PROCESS)

IN NO CASE WILL RAINWATER PIPES BE CHARGED UNDER THE SLAB

GRAVITY FED SYSTEM TO BE USED WHEN HARVESTING STORMWATER FROM ROOF TO RAINGARDENS.

RAINGARDENS TO BE BUILT MINIMUM 300MM FROM ADJOINING FOOTINGS

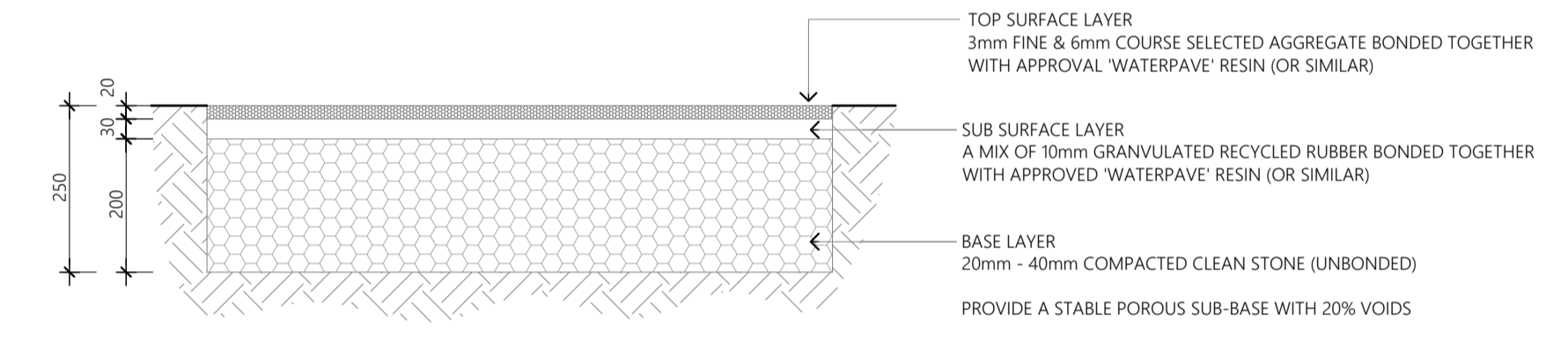
BUILD THE RAINGARDEN CLOSE TO THE WATER SOURCE. THIS WILL HELP MINIMISE THE ADDITIONAL PLUMBING NEEDED TO BRING WATER TO THE RAINGARDEN.

RAINGARDEN MUST BE FULLY LINED AND HAVE OVERFLOW PLUMBED INTO THE STORMWATER SYSTEM.

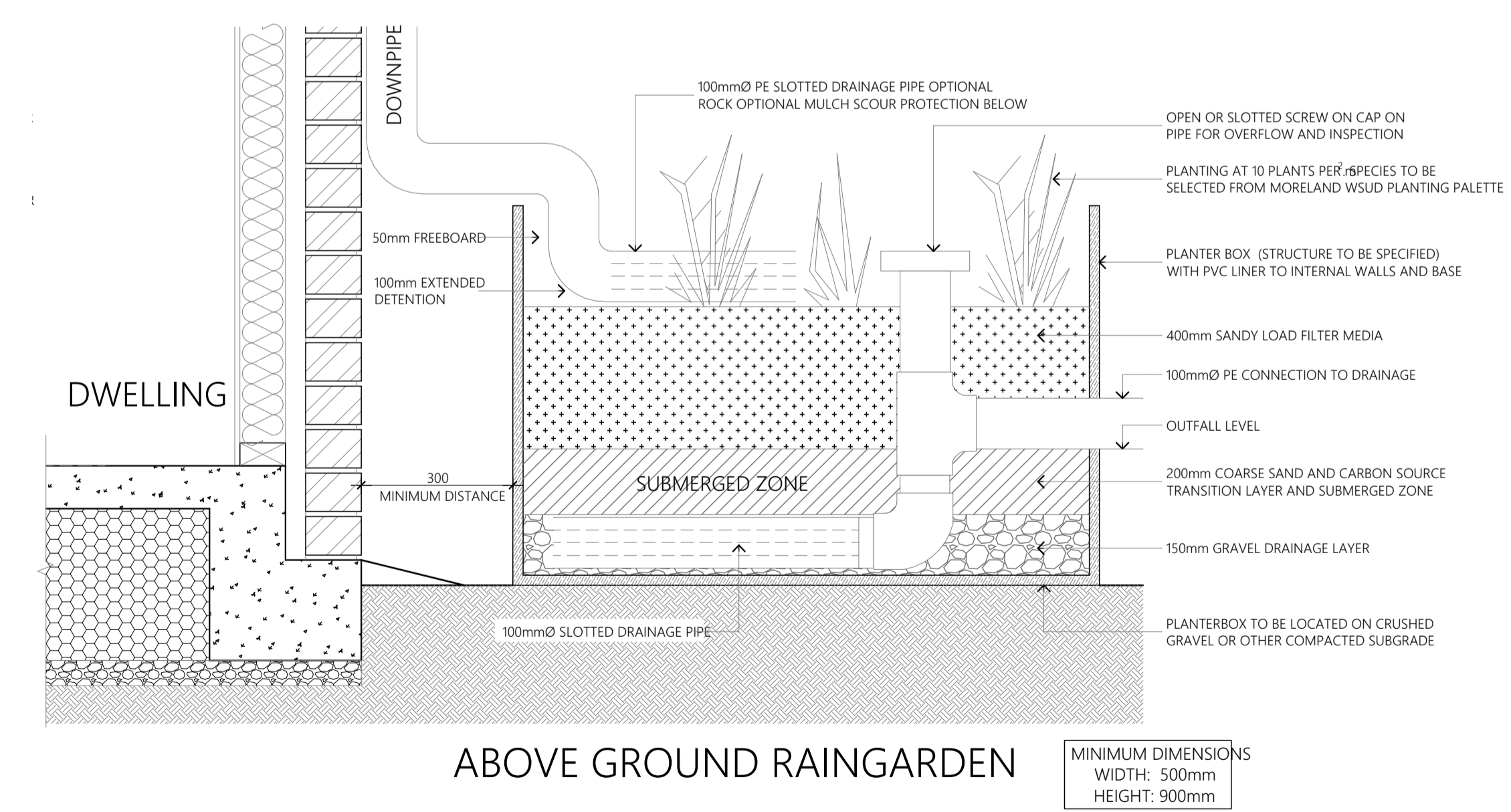
FOR EXCAVATION AND CLEARANCE REFER TO BUILDING A RAINGARDEN INSTRUCTION SHEET, RAINGARDENS MUST BE BUILT TO MELBOURNE WATER REQUIREMENTS

MAINTENANCE OF WSUD TREATMENTS INCLUDING RAIN WATER TANKS, RAINGARDENS ETC ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

THE FINAL DESIGN OF THE STORMWATER SYSTEM WILL MEET COUNCIL DRAINAGE ENGINEERS' REQUIREMENTS. THE DESIGNED SYSTEM COMPLIES WITH MELBOURNE WATER STORM REQUIREMENTS THAT MEETS VICTORIAN BEST PRACTICE STORMWATER GUIDELINES



PERMEABLE CONCRETE (FOR VEHICULAR LOADS)  
SCALE 1:10



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## Melbourne Water STORM Rating Report

TransactionID: 1262084  
Municipality: HUME  
Rainfall Station: HUME  
Address: 42 Stanhope Street  
Broadmeadows VIC 3047  
Assessor: Aidan  
Development Type: Residential - Multiunit  
Allotment Site (m2): 696.00  
STORM Rating %: 102

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Unit 1 Roof Area - Water Tank	67.00	Rainwater Tank	2,000.00	4	170.00	82.00
Unit 1 Roof Area - Raingarden	30.00	Raingarden 100mm	1.00	0	132.00	0.00
Unit 2 Roof Area - Water Tank 1	54.00	Rainwater Tank	2,000.00	2	154.00	87.60
Unit 2 Roof Area - Water Tank 2	43.00	Rainwater Tank	1,000.00	1	120.00	97.30
Unit 3 Roof Area - Water Tank 1	50.00	Rainwater Tank	2,000.00	2	154.00	86.00
Unit 3 Roof Area - Water Tank 2	30.00	Rainwater Tank	1,000.00	2	170.00	82.00
Common Driveway	131.00	None	0.00	0	0.00	0.00
Unit 2 Roof Area Unused	2.00	None	0.00	0	0.00	0.00

Date Generated: 01-Nov-2021 Program Version: 1.0.0

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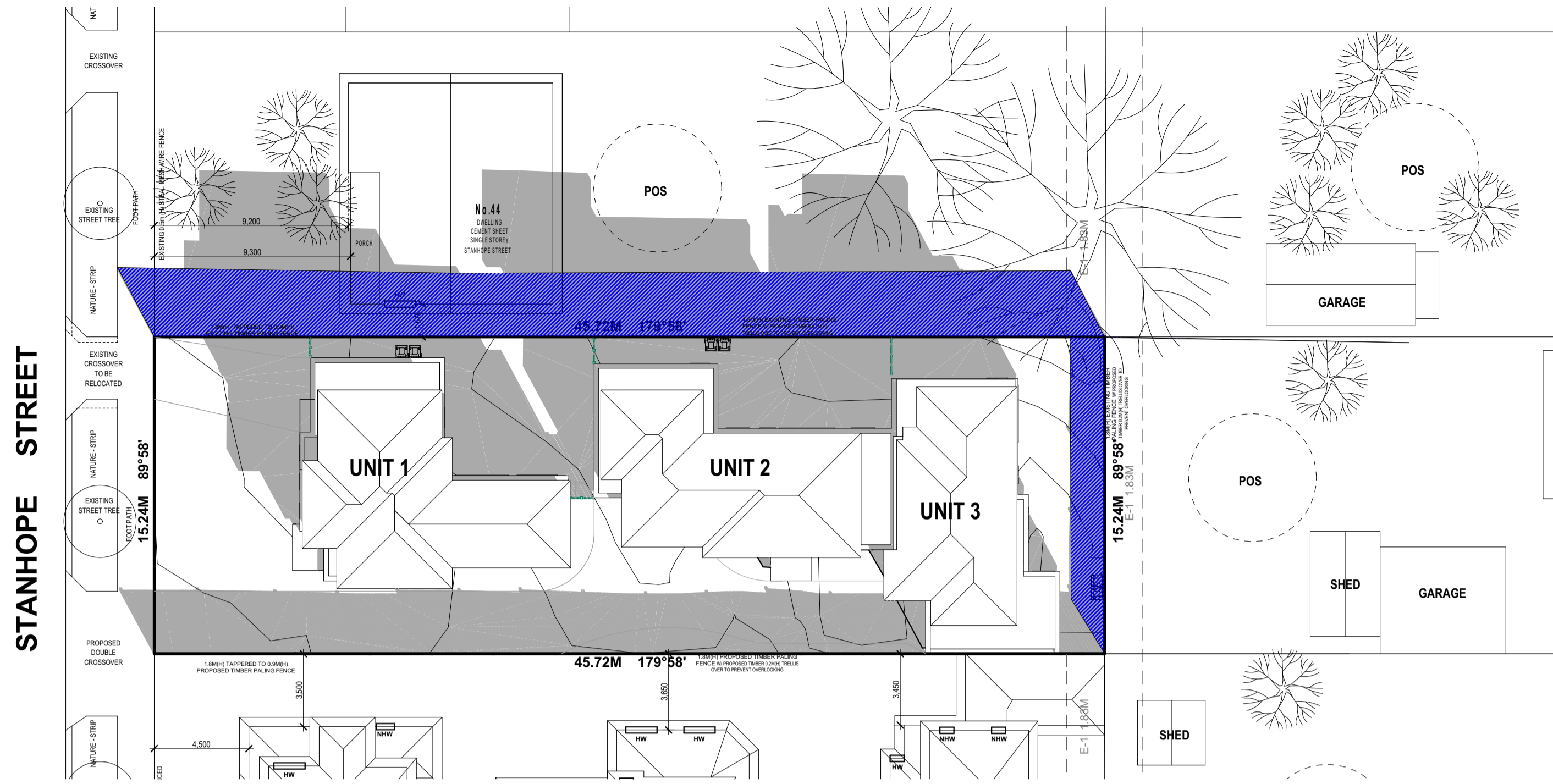
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**MULTI-UNIT DEVELOPMENT  
42 STANHOPE STREET  
BROADMEADOWS VIC 3047**

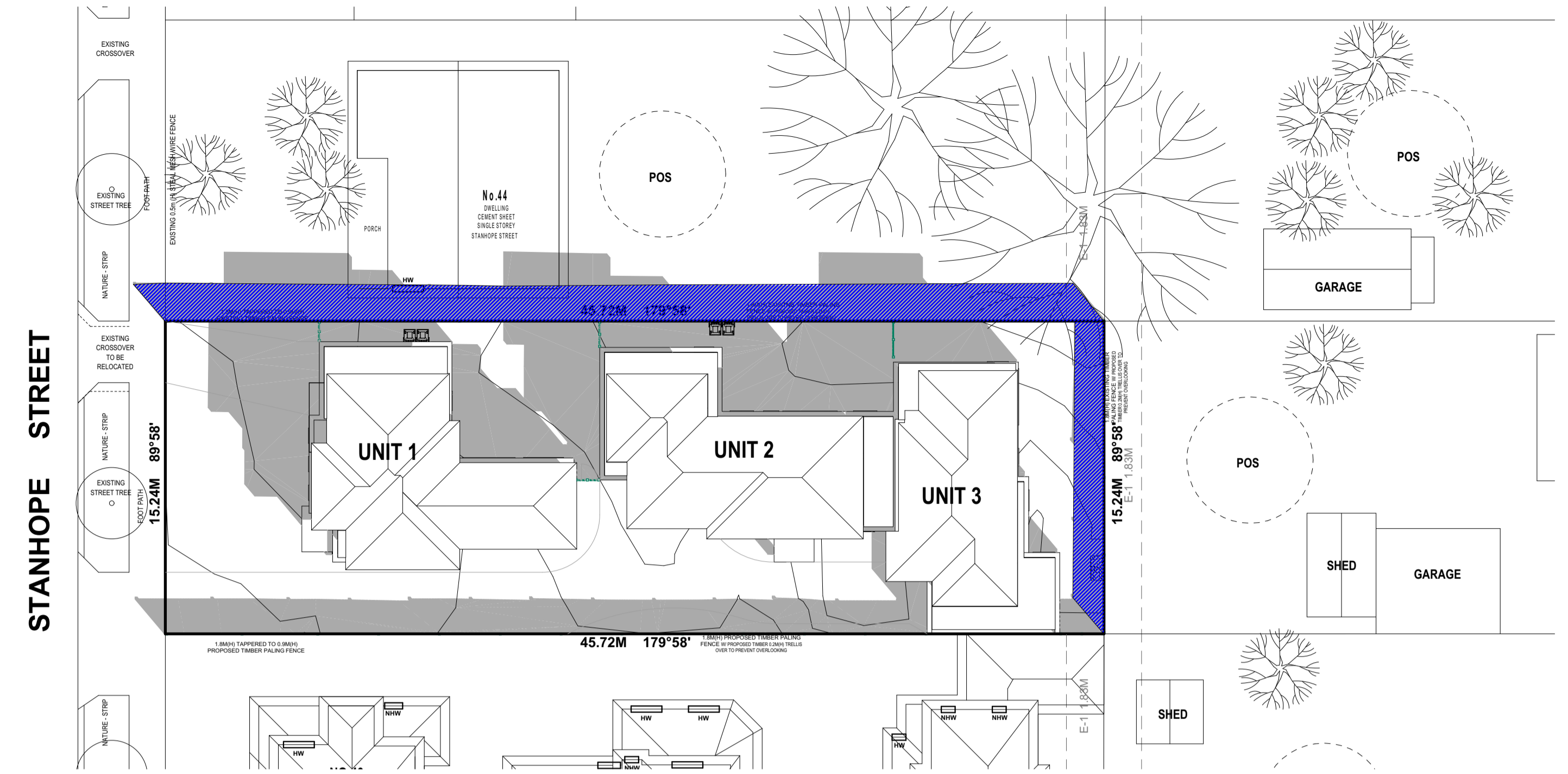
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SCALE: 1:100, 1:1.12 REVISION DATE: DRAWING No: TP  
DATE: 20.07.21 18/01/2022 7 of 10



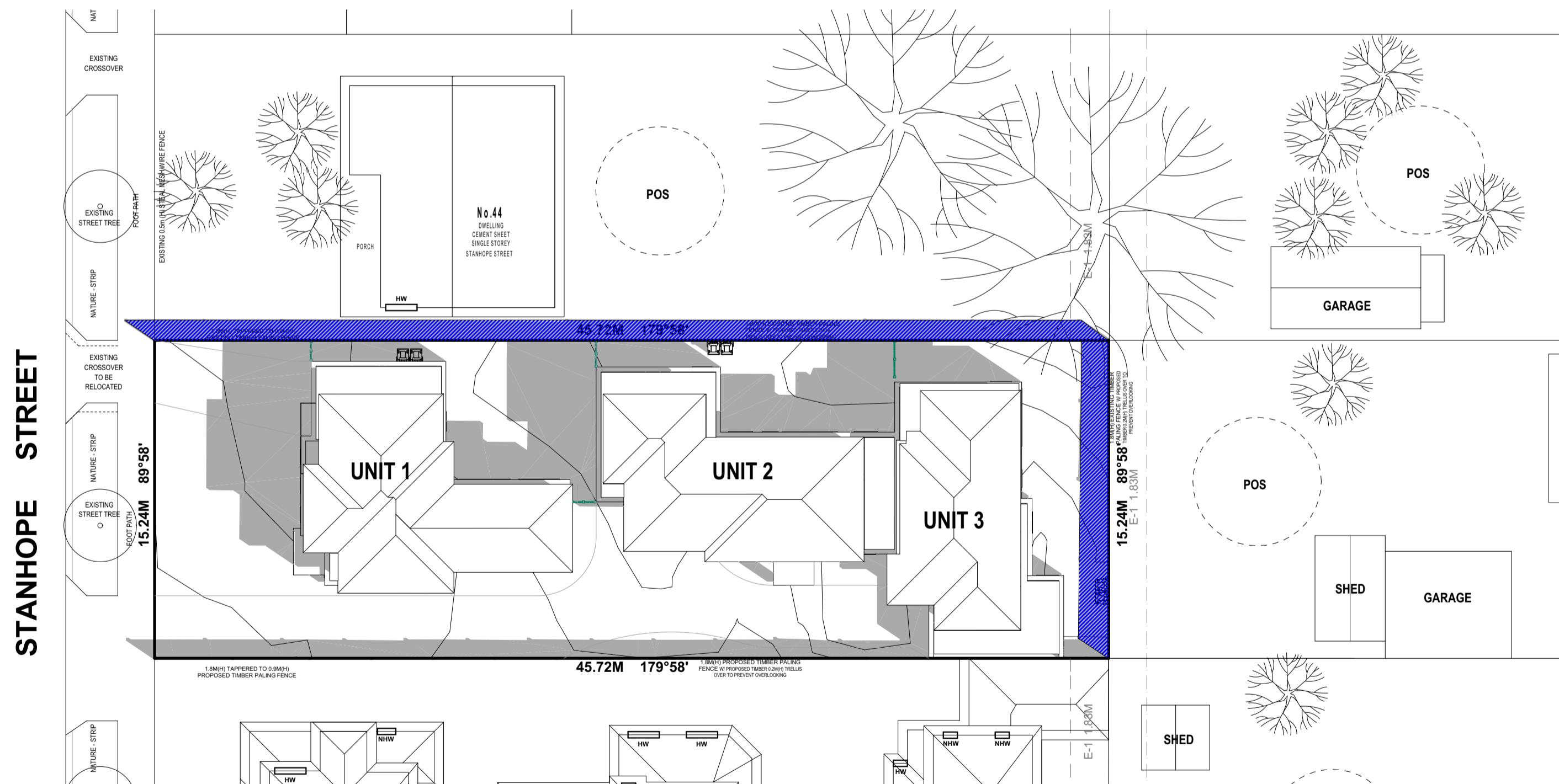
**22nd SEPTEMBER  
9AM SHADOW DIAGRAM**

SCALE: 1:200



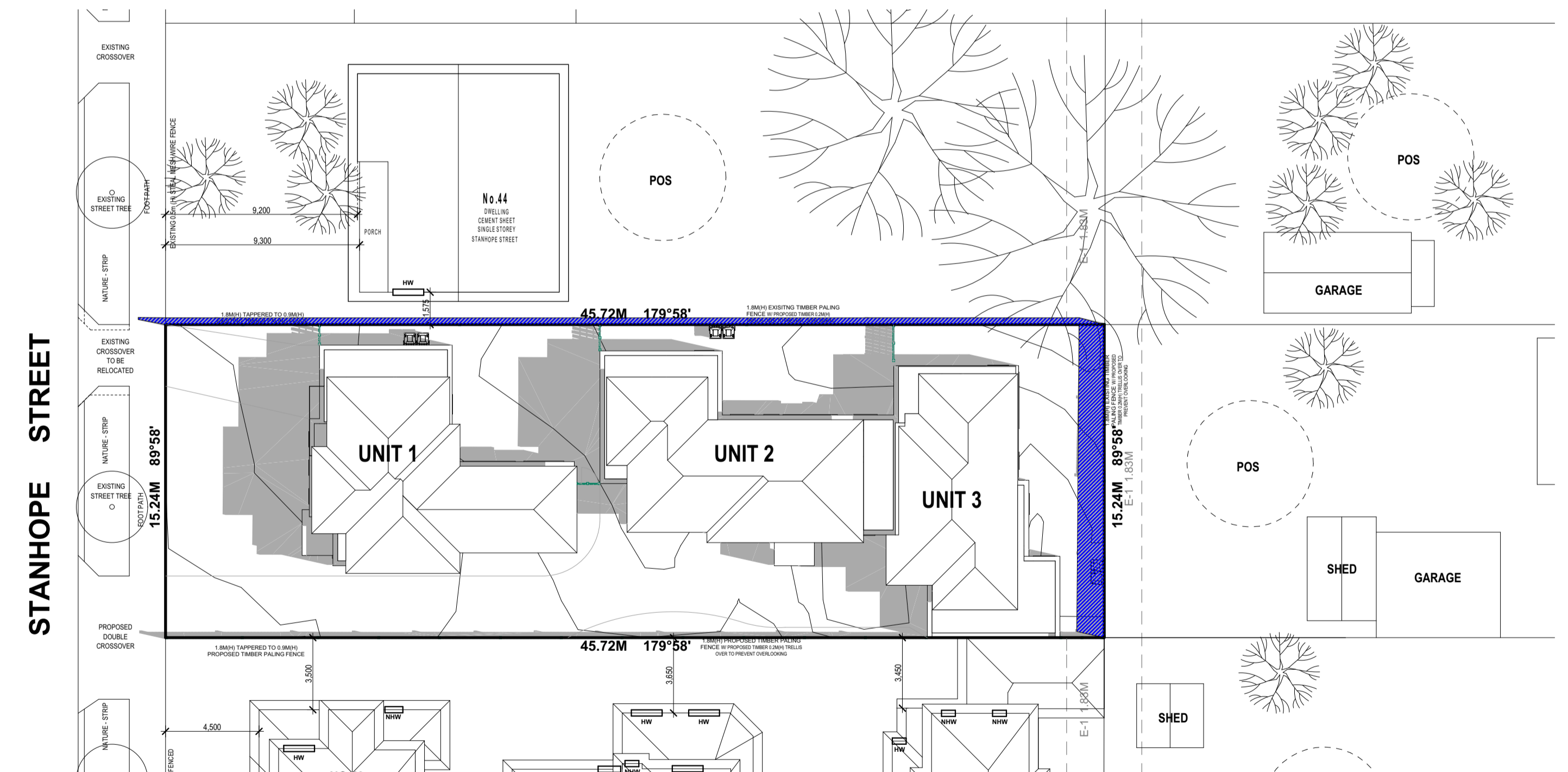
**22nd SEPTEMBER  
10AM SHADOW DIAGRAM**

SCALE: 1:200



**22nd SEPTEMBER  
11AM SHADOW DIAGRAM**

SCALE: 1:200

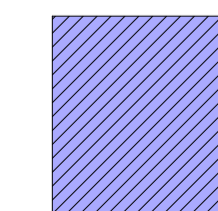


**22nd SEPTEMBER  
12PM SHADOW DIAGRAM**

SCALE: 1:200

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**EXISTING SHADOWS**



**PROPOSED SHADOWS**

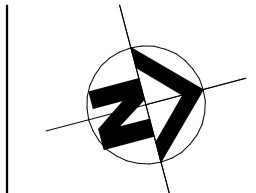
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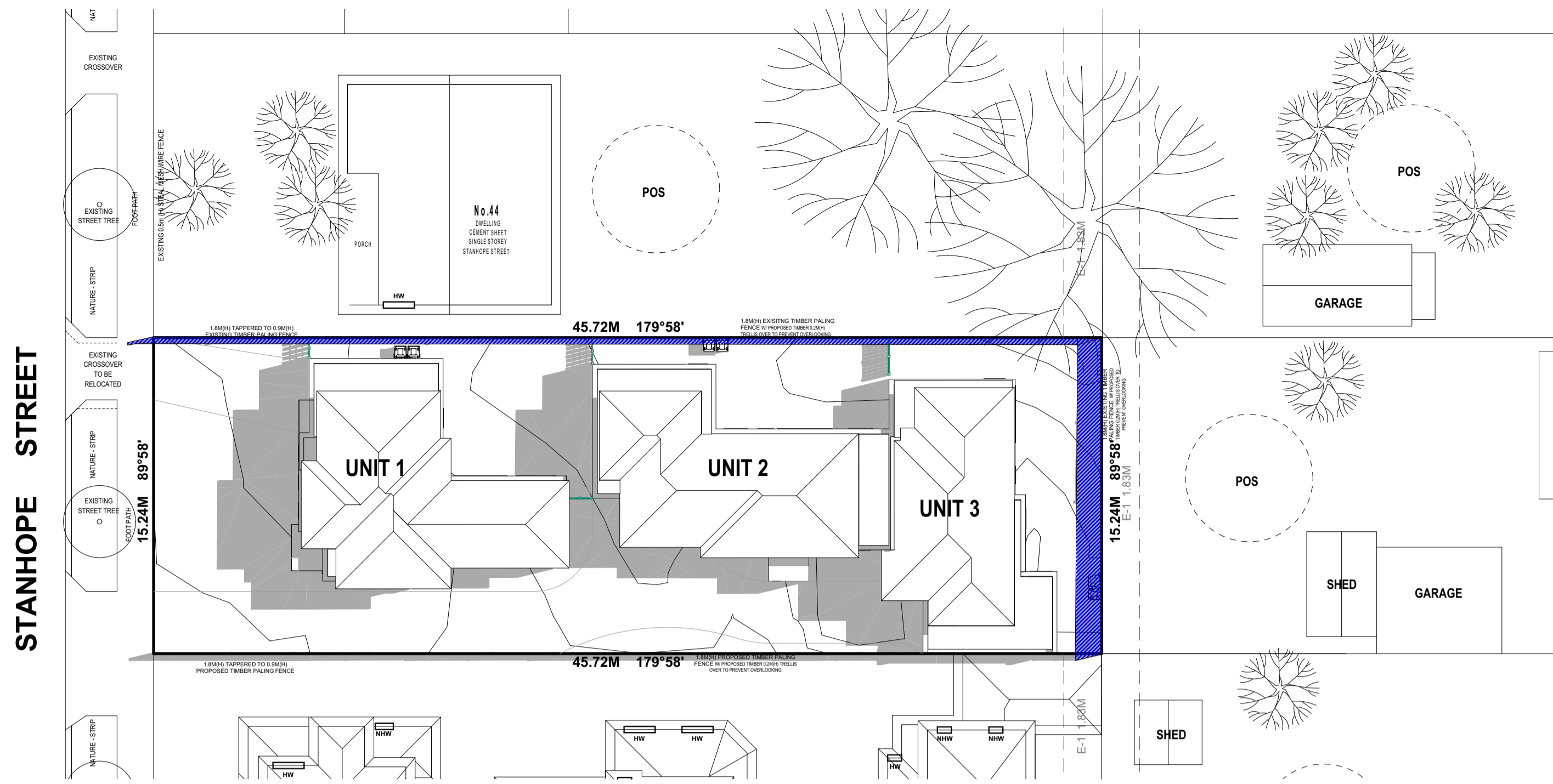
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**MULTI - UNIT DEVELOPMENT  
42 STANHOPE STREET  
BROADMEADOWS VIC 3047**

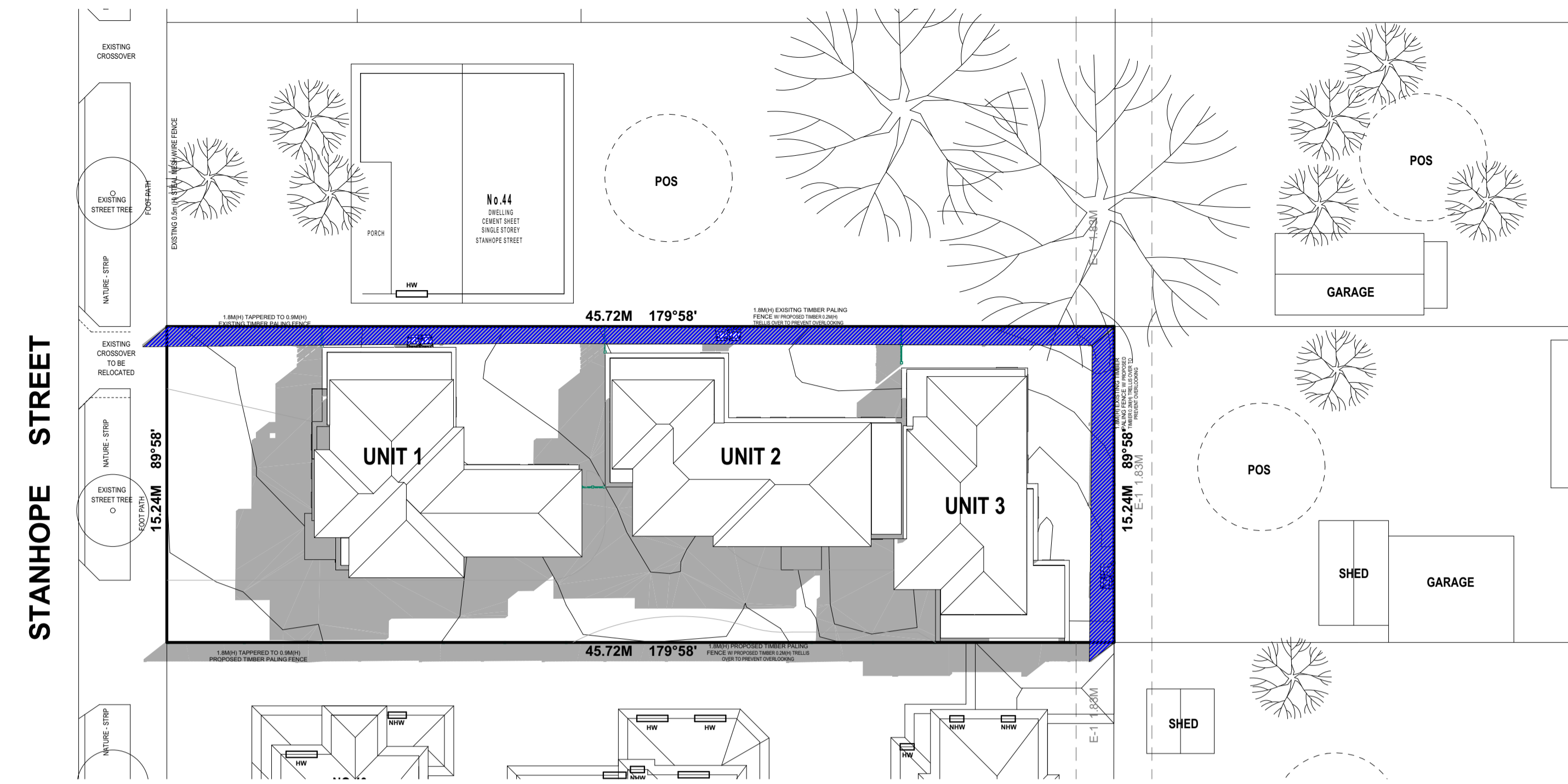


PROPOSED - SHADOW DIAGRAMS			
DRAWN BY: S.F. A.R.	PROJECT NO.:	REVISION NO.:	
CAD REF:	SCALE: 1:200 @ A1	REVISION DATE:	DRAWING No: TP
DATE: 20.07.21	18/01/2022		8 of 10



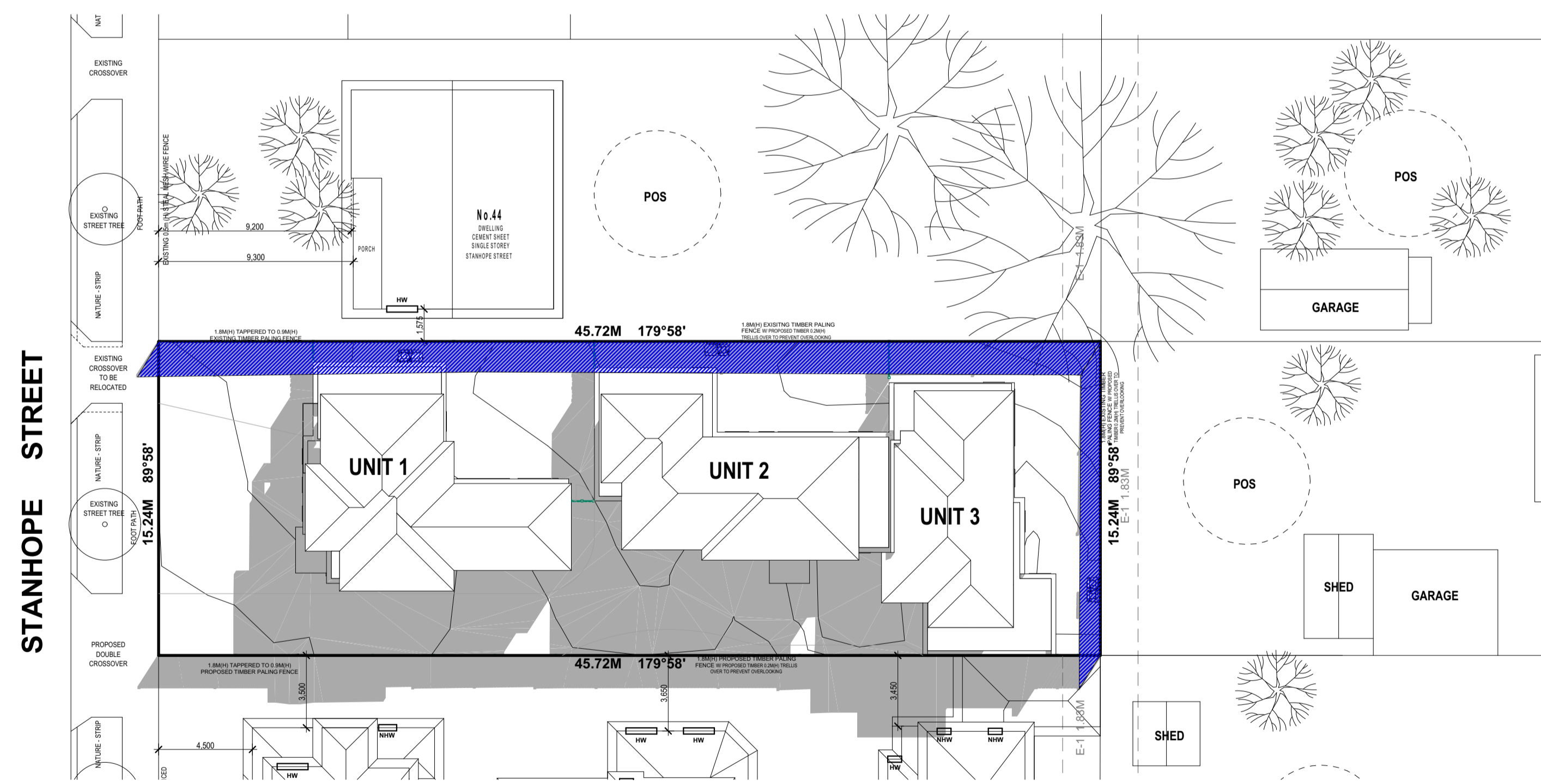
**22nd SEPTEMBER  
1PM SHADOW DIAGRAM**

SCALE: 1:200



**22nd SEPTEMBER  
2PM SHADOW DIAGRAM**

SCALE: 1:200



**22nd SEPTEMBER  
3PM SHADOW DIAGRAM**


SCALE: 1:200

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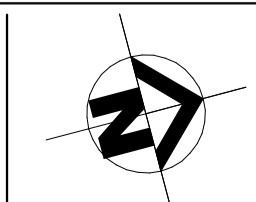
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EXISTING SHADOWS
  PROPOSED SHADOWS

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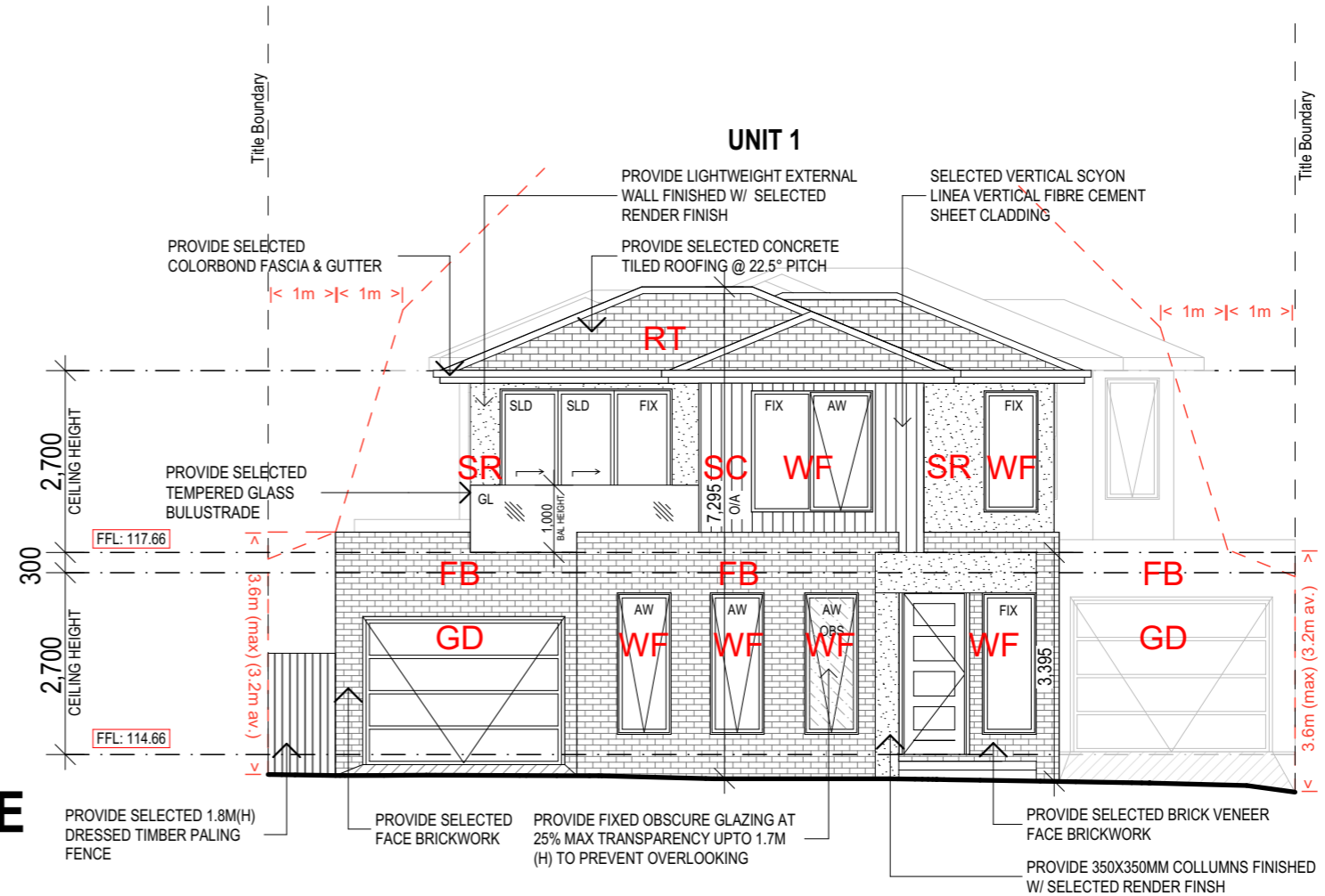
**MULTI - UNIT DEVELOPMENT  
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BROADMEADOWS VIC 3047**



<b>PROPOSED - SHADOW DIAGRAMS</b>			
CAD REF:	DRAWN BY: S.F. A.R.	PROJECT NO.:	REVISION NO.:
	SCALE: 1:200 @ A1	REVISION DATE:	DRAWING No: TP
	DATE: 20.07.21	18/01/2022	9 of 10

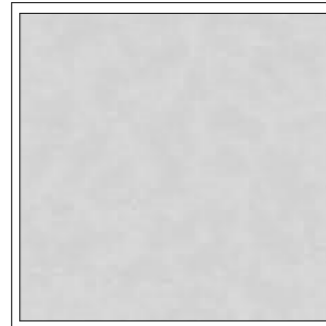
# EXTERNAL COLOUR AND MATERIALS SCHEDULE

- SR - SMOOTH RENDER FINISH
- WF - ALUMINUM FRAMED WINDOWS
- GD - GARAGE DOOR
- FB - FACE BRICKWORK
- CONC - CONCRETE PAVED DRIVEWAY
- RT - CONCRETE ROOF TILES
- FF - DRESSED TIMBER FENCE
- SC - SYCON CLADDING



## MATERIAL SCHEDULE

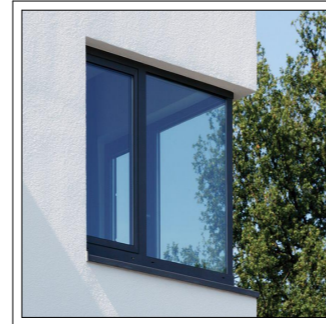
SCALE: 1:100



SMOOTH RENDER FINISH  
- CONCRETE LIGHT GREY



CONCRETE ROOF TILES  
- MONUMENT



SELECTED WINDOW FRAMES  
- COLORBOND BLACK



PGH FACE BRICKWORK  
- LIGHT GREY BRICK



TEXTURED CONCRETE DRIVEWAY  
- MUTED GREY TONE



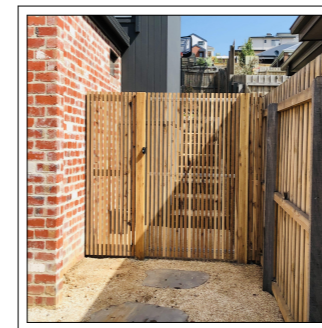
GARAGE DOOR  
- COLORBOND MONUMENT



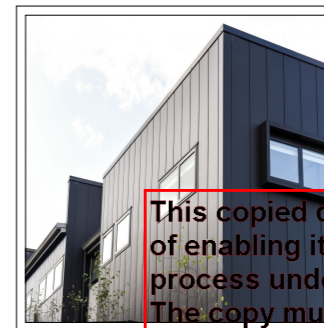
SELECTED COLORBOND FASCIA  
AND GUTTER  
- MONUMENT



SELECTED FIXED AND  
AWNING OBSCURE GLAZING



FRONT TIMBER FENCE  
- NATURAL STAIN



SELECTED VERTICAL SCYON  
LINEA VERTICAL FIBRE CEMENT  
SHEET CLADDING  
- MONUMENT

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**MULTI - UNIT DEVELOPMENT**  
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### PROPOSED - MATERIAL SCHEDULE

CAD REF:	SCALE:	REVISION DATE:	REVISION NO.:
	1:100 @ A3	18/01/2022	
	DATE: 20.07.21		

DRAWING No: TP  
10 of 10

## REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

VOLUME 08210 FOLIO 561

Security no : 124091383202L  
Produced 23/07/2021 04:53 PM

### LAND DESCRIPTION

Lot 543 on Plan of Subdivision 059115.  
PARENT TITLE Volume 04136 Folio 199  
Created by instrument A537424 28/05/1958

### REGISTERED PROPRIETOR

Estate Fee Simple  
Sole Proprietor  
RAMEH MOUSTAFA of 42 STANHOPE STREET BROADMEADOWS VIC 3047  
AF998798P 30/07/2008

### ENCUMBRANCES, CAVEATS AND NOTICES

COVENANT A537424

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

### DIAGRAM LOCATION

SEE LP059115 FOR FURTHER DETAILS AND BOUNDARIES

### ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 42 STANHOPE STREET BROADMEADOWS VIC 3047

DOCUMENT END

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Document Identification	<b>A537424</b>
Number of Pages (excluding this cover sheet)	<b>2</b>
Document Assembled	<b>23/07/2021 16:58</b>

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10-38

166

537424

J. Halas

A537424

66 Warrigal Rd.

Surrey Hills

FREEHOLD

VICTORIA.

CT to S E Bullen A

155897

74-66393

10-38 516825 MAY 28-58  
TRANSFER OF LAND.



I, STANHOPE EVERITT BULLEN formerly of Beulah Victoria Now of 88 Green Street Ivanhoe Victoria Solicitor being registered as the proprietor of an estate in fee simple in the land hereinafter described, subject to the encumbrances notified hereunder, in consideration of FIFTY POUNDS paid to me by JAN HALAT accountant and SYLVIA HALAT married woman both formerly of Hostel 2 Broadmeadows Victoria now of 66 Warrigal Road Surrey Hills Victoria DO HEREBY TRANSFER to the said JAN HALAT and SYLVIA HALAT all my estate and interest in all that piece of land being lot 69 (Stanhope Street Broadmeadows,) on Plan of subdivision No. 10178 lodged in the Office of Titles and being part of Crown Allotment A (or B) Section 11 Parish of Will/Will Rook County of Bourke and being part of the land more particularly described in Certificate of Title entered in the Register Book Volume 4136 Folium 827199. And the said JAN HALAT and SYLVIA HALAT with the intent ~~that the benefit of this covenant shall be attached to and run at law and in equity with every lot on the said plan of subdivision other than the lot hereby transferred and~~ that the burden of this covenant shall be annexed to and run at law and in equity with the said land hereby transferred DO HEREBY for themselves their heirs executors administrators and transferees COVENANT with the said STANHOPE EVERITT BULLEN his heirs executors administrators and transferees the registered proprietor or proprietors for the time being of so much of the land ~~now described~~ in the said Certificate of Title as constitutes ~~the~~ lots on the said Plan of Subdivision other than the lot hereby transferred that they the said JAN HALAT and SYLVIA HALAT will not at any time hereafter excavate carry away or remove or permit to be excavated carried away or removed any earth clay stone gravel or sand from the said land hereby transferred except for the purpose of excavating for the foundations of any building to be erected thereon.

22/7/1958  
JH.

24/12/1958  
JH.

24/12/1959  
JH.

comprised

now  
24/12/1958  
JH.

DATED the *Twenty eighth* day of May One thousand nine hundred and fifty eight.

4136/100 (Pt)

ENC: The Court...  
herein.

Signed by the said STANHOPE EVERITT BULLEN in Victoria in the presence

*Stanhope E. Bullen*

of *Jos. Brown*  
*Chap. to M. Small, 27 Queen Street, Melbourne*

Signed by the said JAN HALAT in

Victoria in the presence of

*J. A. Smith*  
Commissioner for taking  
Declarations and Affidavits  
under the Evidence Act 1928

Signed by the said SYLVIA HALAT in

*Sylvia Halat*

Victoria in the presence of

*Braun*

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The easements (if any) effecting the said land and the encumbrances (if any) set out at the foot of the certificate of title to the said land.



DA537424-1-3

*155897*  
*74-66393*

*10/9-7-58*

A memorandum of the within instrument  
has been entered in the Register Book.

Vol. 4136 Feb. 199



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JAN HALLAT AND STAVIA HALLAT.

STAMPED BY VERITIC BULLEN.

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Document Type	<b>Plan</b>
Document Identification	<b>LP059115</b>
Number of Pages (excluding this cover sheet)	<b>5</b>
Document Assembled	<b>23/07/2021 16:58</b>

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HOUSING COMMISSION VICTORIA  
BROADMEADOWS ESTATE  
PLAN OF SUBDIVISION OF  
PART OF CROWN ALLOTMENT A SECTION II  
PARISH OF WILL WILL ROOK  
COUNTY OF BOURKE

LP59115  
EDITION 5

APPROVED 22/4/168

COLOUR CONVERSION  
E-1 = BLUE  
E-2 = GREEN

VOL. 8644 FOL. 850

Measurements are in Feet & Inches

Conversion Factor

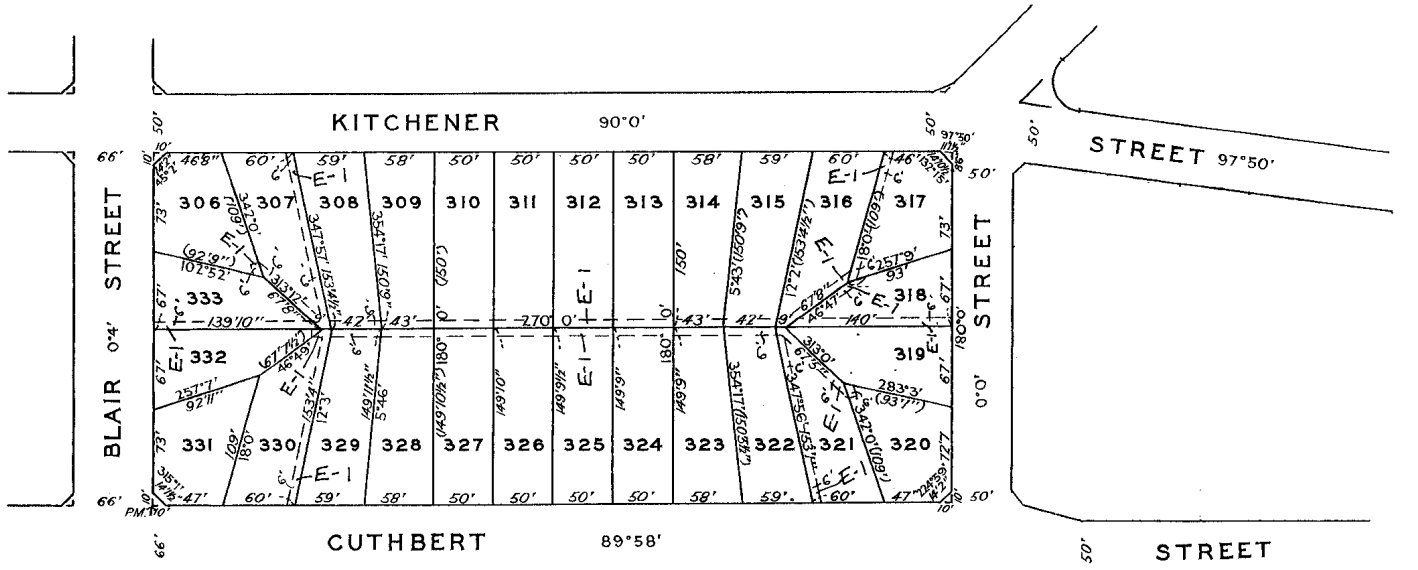
FEET X 0.3048 = METRES

**APPROPRIATIONS**

The land coloured Blue is set apart for Drainage, Sewerage and Gas supply purposes and is 6 feet wide except where otherwise shown.

**NOTATIONS**

LOTS 528 TO 578, BOTH INCLUSIVE, IN THE NAMES OF REGISTERED PROPRIETORS OTHER THAN THE HOUSING COMMISSION ARE INCLUDED IN THIS PLAN PURSUANT TO SECTION 23 OF ACT 6275



**ENCUMBRANCES**

- THE LAND MARKED E-2 IS ENCUMBERED FOR DRAINAGE & SEWERAGE PURPOSES VIDE L.P.10178
- AS TO THE LAND MARKED E-3, THE EASEMENT TO THE M.M.B.W. CREATED BY A 859811
- AS TO THE LAND MARKED E-4, THE EASEMENT TO THE M.M.B.W. CREATED BY A 743693
- AS TO THE LAND MARKED E-5, THE EASEMENT TO THE M.M.B.W. CREATED BY A 821422
- AS TO THE LAND MARKED E-6, THE EASEMENT TO THE M.M.B.W. CREATED BY B 282147
- THE LAND MARKED E-7, IS ENCUMBERED VIDE THE RELATIVE CERTIFICATES OF TITLE
- AS TO THE LAND MARKED E-8 THE EASEMENT TO M.M.B.W. CREATED BY A743695
- AS TO THE LAND MARKED E-9 THE EASEMENT TO M.M.B.W. CREATED BY A776403
- AS TO THE LAND MARKED E-10 THE EASEMENT TO M.M.B.W. CREATED BY A776396
- AS TO THE LAND MARKED E-11 THE EASEMENT TO M.M.B.W. CREATED BY A757055
- AS TO THE LAND MARKED E-12 THE EASEMENT TO M.M.B.W. CREATED BY A787336

SEE SHEET TWO

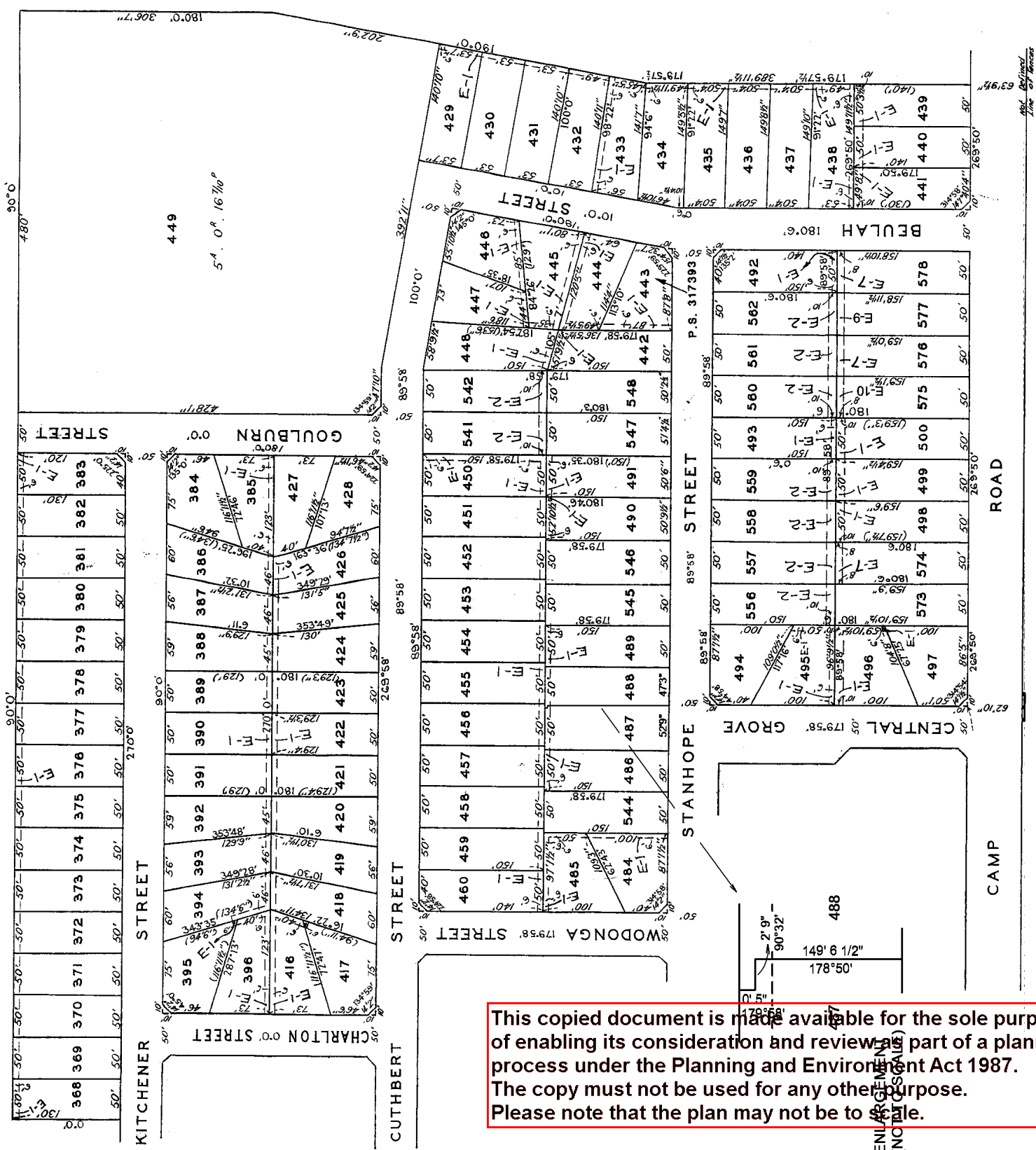
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FOUR SHEETS  
SHEET ONE



LP59115

FOUR...SHEETS  
SHEET...THREE



SEE SHEET TWO

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Ref. Document Line of Address

# MODIFICATION TABLE

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

WARNING: THE IMAGE OF THIS PLAN/DOCUMENT HAS BEEN DIGITALLY AMENDED.  
NO FURTHER AMENDMENTS ARE TO BE MADE TO THE ORIGINAL PLAN/DOCUMENT.

**PLAN NUMBER**  
**LP 59115**

AFFECTED LAND/PARCEL	LAND/PARCEL IDENTIFIER CREATED	MODIFICATION	DEALING NUMBER	DATE	TIME	EDITION NUMBER	ASSISTANT REGISTRAR OF TITLES
LOT 567	E-3	CREATION OF EASEMENT	A 859811			2	AD.
LOT 566	E-4	CREATION OF EASEMENT	A 743693			3	AD.
LOT 572	E-5	CREATION OF EASEMENT	A 821422			3	AD.
LOT 564	E-6	CREATION OF EASEMENT	B 282147			3	AD.
VARIOUS LOTS	E-2	EASEMENTS ENHANCED				3	AD.
LOT 565	E-8	CREATION OF EASEMENT	A743695			4	AD
LOT 577	E-9	CREATION OF EASEMENT	A776403			4	AD
LOT 575	E-10	CREATION OF EASEMENT	A776396			4	AD
LOT 570	E-11	CREATION OF EASEMENT	A757055			4	AD
LOT 568	E-12	CREATION OF EASEMENT	A787336			4	AD

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This form is only to be used for changes made to a current planning permit application

# DECLARATION FOR AMENDMENT TO A PLANNING PERMIT APPLICATION



PLANNING PERMIT NO:

Office Use Only:

DATE RECEIVED:

FEE PAID: \$

Planning and Environment Act 1987 Sections 50 & 50A & 57A. Planning and Environment Regulations, Regulation 16. Council is collecting the information on this form so that it may consider your application in accordance with Part IV of the Planning and Environment Act 1987. Council must make a copy of this application available for any person to inspect free of charge in accordance with Section 51 of the Act.

Please print clearly. Please read the notes on the back before completing this form.

**THE APPLICANT: Who is making this amendment**

Name: CLOVIS ARCHITECTURAL PLANS AND PERMITS  
 Tel.: 0422 898 889  
 Address: 36 WHARTON ST, SURREY HILLS, 3127

**THE LAND: Give the address and title particulars of the land.**

42 STANHOPE STREET, BROADMEADOWS, 3047  
 LOT 543 PS: 059115

**PROPOSED AMENDMENTS: what changes are being requested since lodging the original application for planning permit (attach letter if required)**

\* GARDEN AREA HAS BEEN RECTIFIED TO COMPLY WITH 35% MIN REARWARDS  
 \* FIRST FLOOR LEVEL REDUCED ON ALL DWELLINGS TO REDUCE BULK  
 \* ARBORIST REPORT UPDATED AND SHOWN ON THE PLANS.

**THE OWNER: The owner must be notified of these proposed changes**

Name: LAMEH MOUSTAFA  
 Address: 42 STANHOPE ST, BROADMEADOWS  
 Tel. Bus. hours:

**DECLARATION TO BE COMPLETED FOR ALL APPLICATIONS**  
 This form must be signed. Please complete A, B or C

<b>A</b>	I declare that I am the Application and Owner of this land that all information given is true and correct	Owner/Applicant Signature:  Date:
<b>B</b>	I am the Owner of the land. I have seen this application I/We the Applicant declare that all information given is true and correct	Owner Signature:  Date:
<b>C</b>	I/We the Applicant declare that I/We have notified the owner about this application and that all information given is true and correct	Applicant Signature:  Date:

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**This form is only to be used for changes made to a current planning permit application**  
**HOW TO AMEND AN APPLICATION FOR A PLANNING PERMIT**

**Section 50. Amendment to application at request of applicant before notice**

- (1) An applicant may ask the responsible authority to amend an application before notice of the application is first given under section 52.
- (2) An amendment to an application may include—
  - (a) an amendment to the use or development mentioned in the application; and
  - (b) an amendment to the description of land to which the application applies; and
  - (c) an amendment to any plans and other documents forming part of or accompanying the application.
- (3) A request under this section must—
  - (a) be accompanied by the prescribed fee (if any); and
  - (b) be accompanied by any information or document referred to in section 47(1)(c) to 47(1)(e) that relates to the proposed amendment to the application and that was not provided with the original application; and
  - (c) if the applicant is not the owner of the land to which the application applies, be signed by the owner or include a declaration by the applicant, that the applicant has notified the owner about the request.
- (4) Subject to subsection (5), the responsible authority must amend the application in accordance with the request.
- (5) The responsible authority may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.
- (6) The responsible authority must make a note in the register if any amendment is made to an application under this section.
- (7) On the amendment of an application under this section, the amended application is to be taken—
  - (a) to be the application for the purposes of this Act; and
  - (b) to have been received on the day that the request for amendment was received by the responsible authority.

**50A. Amendment of application by responsible authority before notice**

- (1) With the agreement of the applicant and after giving notice to the owner, the responsible authority may make any amendments to an application that it thinks necessary before notice of the application is first given under section 52.
- (2) An amendment to an application may include—
  - (a) an amendment to the use or development mentioned in the application; and
  - (b) an amendment to the description of land to which the application applies; and
  - (c) an amendment to any plans and other documents forming part of or accompanying the application.
- (3) The responsible authority may require the applicant—
  - (a) to notify the owner under subsection (1); and
  - (b) to make a declaration that that notice has been given.
- (4) The responsible authority must make a note in the register if any amendment is made to an application under this section.
- (5) On the amendment of an application under this section, the amended application is to be taken—
  - (a) to be the application for the purposes of this Act; and
  - (b) to have been received on the day that the applicant agreed to the amendment.

**57A. Amendments to application after notice of application is given**

- (1) An applicant may ask the responsible authority to amend an application after notice of the application is given under section 52.
- (2) An amendment to an application may include—
  - (a) an amendment to the use or development mentioned in the application; and
  - (b) an amendment to the description of land to which the application applies; and
  - (c) an amendment to any plans and other documents forming part of or accompanying the application.
- (3) A request under this section must—
  - (a) be accompanied by the prescribed fee (if any); and
  - (b) be accompanied by any information or document referred to in section 47(1)(c) to 47(1)(e) that relates to the proposed amendment to the application and that was not provided with the original application; and
  - (c) if the applicant is not the owner of the land to which the application applies, be signed by the owner or include a declaration by the applicant that the applicant has notified the owner about the request.
- (4) Subject to subsection (5), the responsible authority must amend the application in accordance with the request.
- (5) The responsible authority may refuse to amend the application if it considers that the amendment is so substantial that a new application for a permit should be made.
- (6) The responsible authority must make a note in the register if any amendment is made to an application under this section.
- (7) On the amendment of an application under this section—
  - (a) the amended application is to be taken—
    - (i) to be the application for the purposes of this Act; and
    - (ii) to have been received on the day that the request for amendment was received by the responsible authority;and
  - (b) all objections made in relation to the original application are to be taken to be objections to the amended application.
- (8) Nothing in this section affects any right a person may have to make a request under section 67 or 69 in respect of anything done or not done in relation to the original application.
- (9) Sections 52 and 55 do not apply to an amended application.

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***Send your completed form and all documents to the Responsible Authority:***

**HUME CITY COUNCIL – STATUTORY PLANNING  
P O BOX 119, DALLAS 3047  
1079 PASCOE VALE RD. BROADMEADOWS**

## **42 STANHOPE STREET, BROADMEADOWS**

24/09/2021 Clovis Architectural Plans & Permits.

RFI response dated: 24 August 2021

- **Traffic**

If the access way serves four or more car spaces or connects to a road in a Road Zone, the accessway must be designed so that cars can exit the site in a forward direction (Clause 52.06-9). It is unclear if this can be accommodated under the current design. If compliance with this cannot be demonstrated, then the application will not be supported at the officer level and the application will be refused.

Unit 2 Double Garage has been pushed back a further 500mm to allow adequate turning circle for Unit 3 Vehicle turning circle to exit the site in a forward direction.

- **Garden Area**

Council cannot consider any application that does not meet the requirements under Clause 32.08-4. The plan provided does not meet at least the minimum requirements. See the appendix at the end of this letter. The proposed vegetation is also to be removed from the plan and the shading more clear to show which areas are over 1m and are proposed to be included.

Garden Area has been recalculated after redesign and has achieved 243.77sqm (35.10%) of the Total Site Area of 696.80sqm.

- **Design**

The proposed dwellings are bulky and not characteristic of the area. The bulk is very similar to the proposal on the site which was refused by Council on earlier this year.

Ground Floor and primarily the First Floor levels have been reduced in sizes with increased setbacks to all Units has shown in RFI amended plans.

- **Solar access to open space objective**

Unit 2 receives very poor solar access. It is recommended that the design is amended to improve this. Due to the Upper Floor reduction to Unit 2 and 3 additional Solar Access has been allowed into the S.P.O.S of Unit 2 as shown on amended RFI plans.

- **Parking location objectives**

Dwelling 1 - The habitable room windows on the meals/lounge of the proposed dwelling do not meet Objective 55.03-10 / Standard B15.

Unit 1 Habitable Window changed to highlight windows to comply with Standard B15.

- **Entry to dwelling 3**

The entry to the dwelling 3 does not meet objective 55.05-2 or 55.03-7 as it is located behind the car space required, therefore obscured. It is recommended that this dwelling is reduced to 2 bedrooms, or the development is redesigned.

Unit 3 Entry has been resolved by setting back Unit 2 Living area East Wall Flush with Unit 3 to allow greater clearer Entry to Unit 3.

- **Overlooking**

West elevation does not demonstrate compliance with Standard B22 or objective 55.04-6. Also, the fence shown appears to be only 1.2m in height which is not what is noted on the elevations.

All Elevations have been amended to show compliance Standard B22. Timber Trellis' over fence have been shown where required to satisfy 1.7m overlooking compliance where necessary as shown on amended RFI plans.

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- **Energy efficiency**

**Objective 55.03-5 is not met in regards to the north facing ground floor windows/doors on unit 3. Shading devices or eaves to be provided. Dwellings 1-2 have no north facing windows and it is not considered to achieve energy efficiency objectives.**

Shading devices have been provided to satisfy Objective 55.03-5 Energy Efficiency. Even though Unit 2 & Unit 3 have no direct North facing sunlight North is facing 9° to the West and due to the number of openings on the East and West the orientation of the Sun Path delivers adequate solar access as shown in the 9am-3pm Sun Shadows.

This proposal is designed in the best interest of Hume City Council.

**Please Review these plans attached, and we hope to hear from you soon and come to an agreement and gain council support.**

Thank you to the Team at Hume City Council.



CLOVIS ARCHITECTURAL PLANS & PERMITS

Dorian Francis

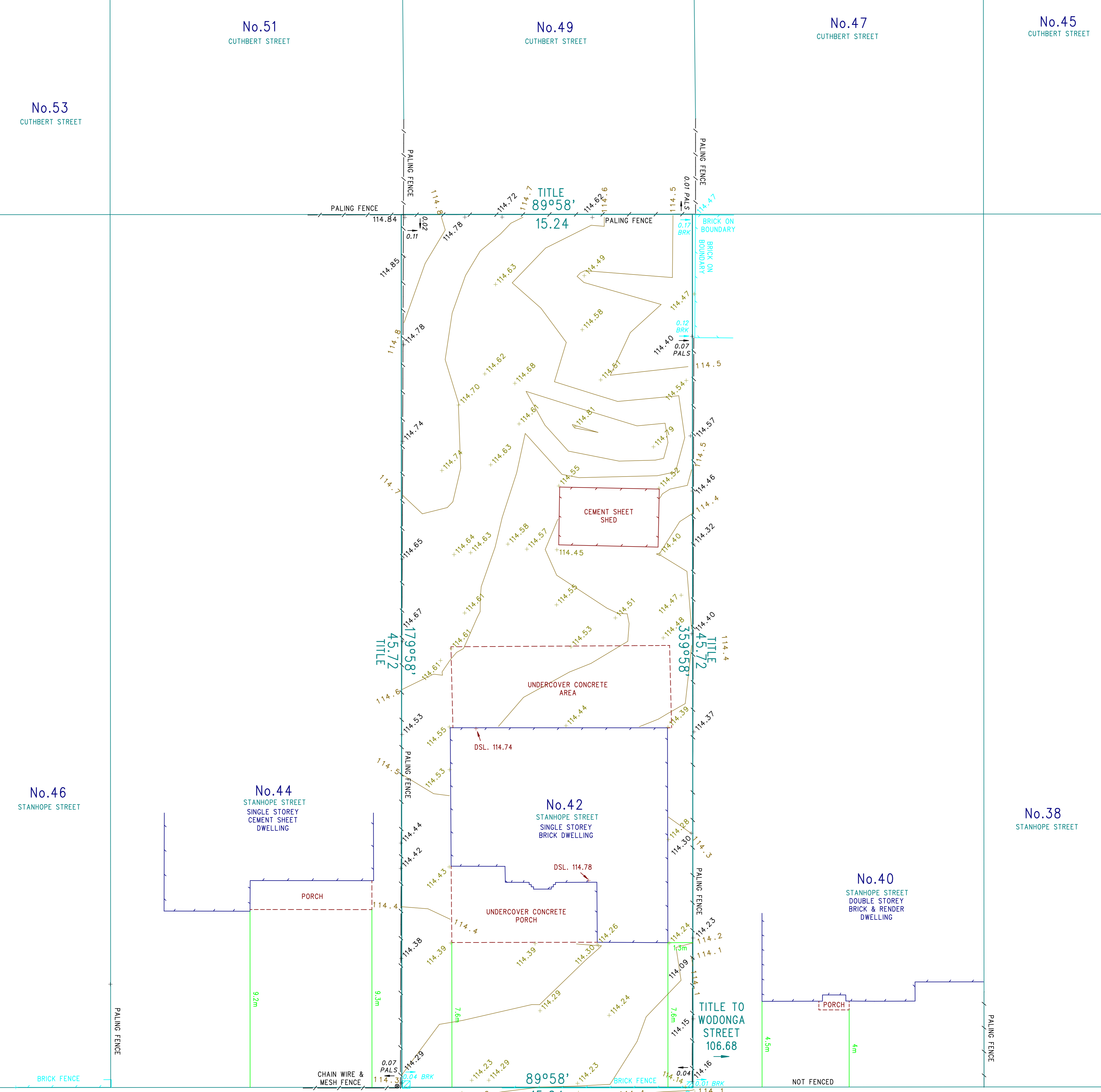
[dorian.francis.architectural@gmail.com](mailto:dorian.francis.architectural@gmail.com)

36 Wharton Street, Surrey Hills, 3127

0422-898-869

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- NOTES:
- LEVELS SHOWN THUS  $+113.78$  ARE TO THE A.H.D. A.H.D. VIDE PM.255 R/L.107.179. (ALONG CAMP ROAD APPROX 170m EAST OF BEULAH STREET)
  - 0.02: DENOTES OFFSET DISTANCE FROM TITLE BOUNDARY TO EXISTING FENCING.
  - LOCATION OF BUILDINGS AND FEATURES ON ADJOINING PROPERTIES ARE APPROXIMATE ONLY.
  - CONTOURS SHOWN AT 0.1m INTERVALS.
  - FEATURES SUCH AS TREES, ABOVE AND BELOW GROUND SERVICES AND STRUCTURES EXIST ON SITE THAT HAVE NOT BEEN SHOWN ON THIS PLAN. ONLY MAJOR STRUCTURES ON SITE HAVE BEEN SHOWN ON THIS PLAN.
  - BUILDING SETBACKS SHOWN THUS  $3.2m$  HAVE BEEN COMPUTED FROM TITLE BOUNDARIES.
  - DSL: .... DENOTES LEVEL ON DOORSTEP.



STANHOPE (BITUMEN SURFACE) STREET

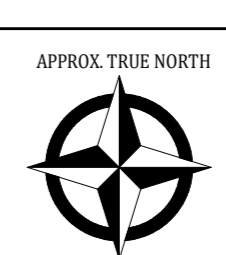
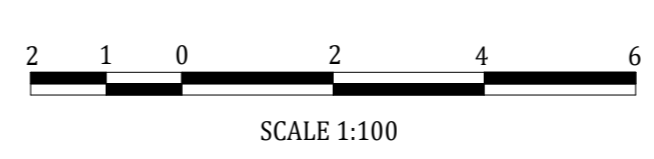
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**LEWIS LAND SURVEYING**  
 CONSULTING LAND SURVEYORS  
 ACN 125 211 716  
 17 EVERARD STREET DIAMOND CREEK VICTORIA 3089  
 t (03) 9438 4965  
 e leighton@lewislandsurveying.com.au

**PLAN OF RE-ESTABLISHMENT AND LEVEL SURVEY**  
 No.42 STANHOPE STREET, BROADMEADOWS

PART OF CROWN ALLOTMENT A SECTION 11 PARISH OF WILL WILL ROOK COUNTY OF BOURKE

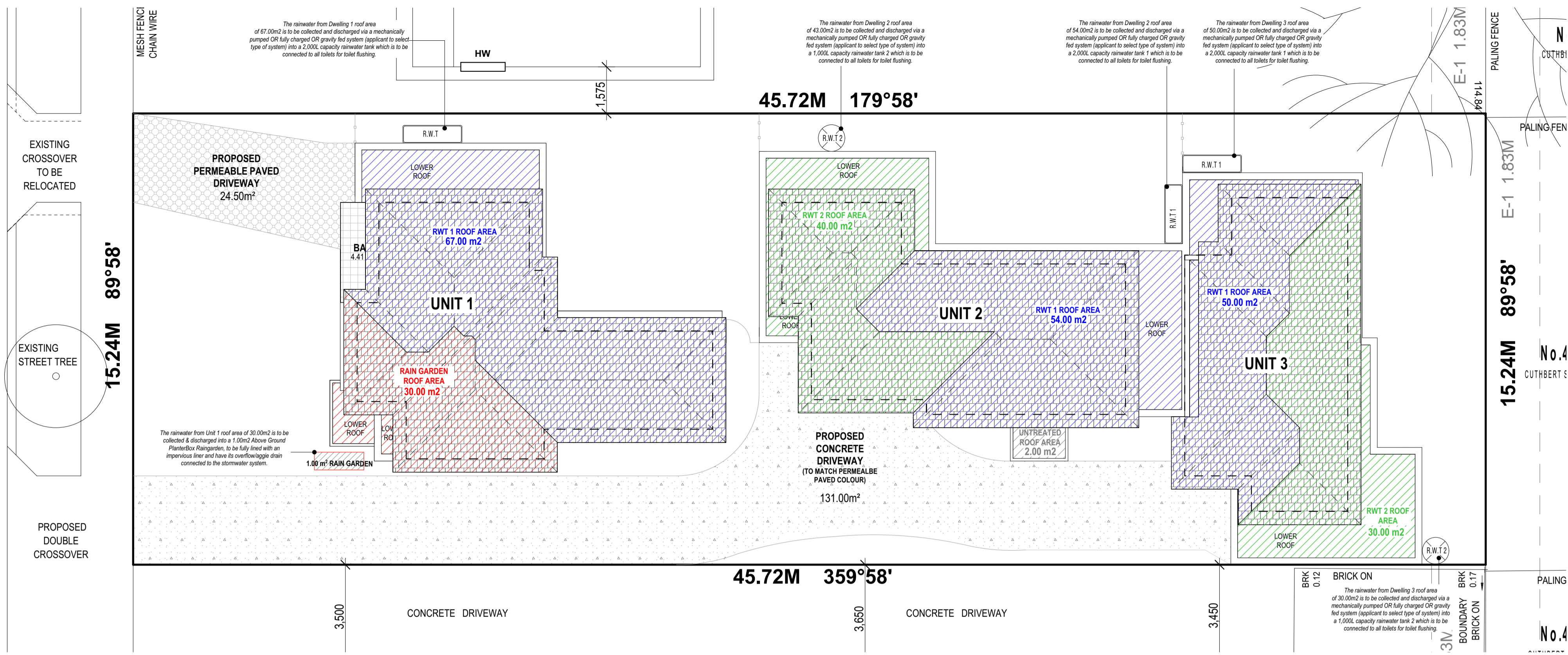
C/T VOL.8210 FOL.561  
 LOT 543, LP59115  
 SITE AREA: 697m<sup>2</sup>



DATE	REV.	AMENDMENTS
SURVEYED: 27/10/20 LL/JP DRAFTED: 2/11/20 JP		
CAD FILE: 2062.lcd	SURVEYORS REF: 2062	SHEET 1 OF 1 ORIGINAL SHEET SIZE: A1

Leighton Lewis L.S.

# STANHOPE STREET



**UNIT 1**

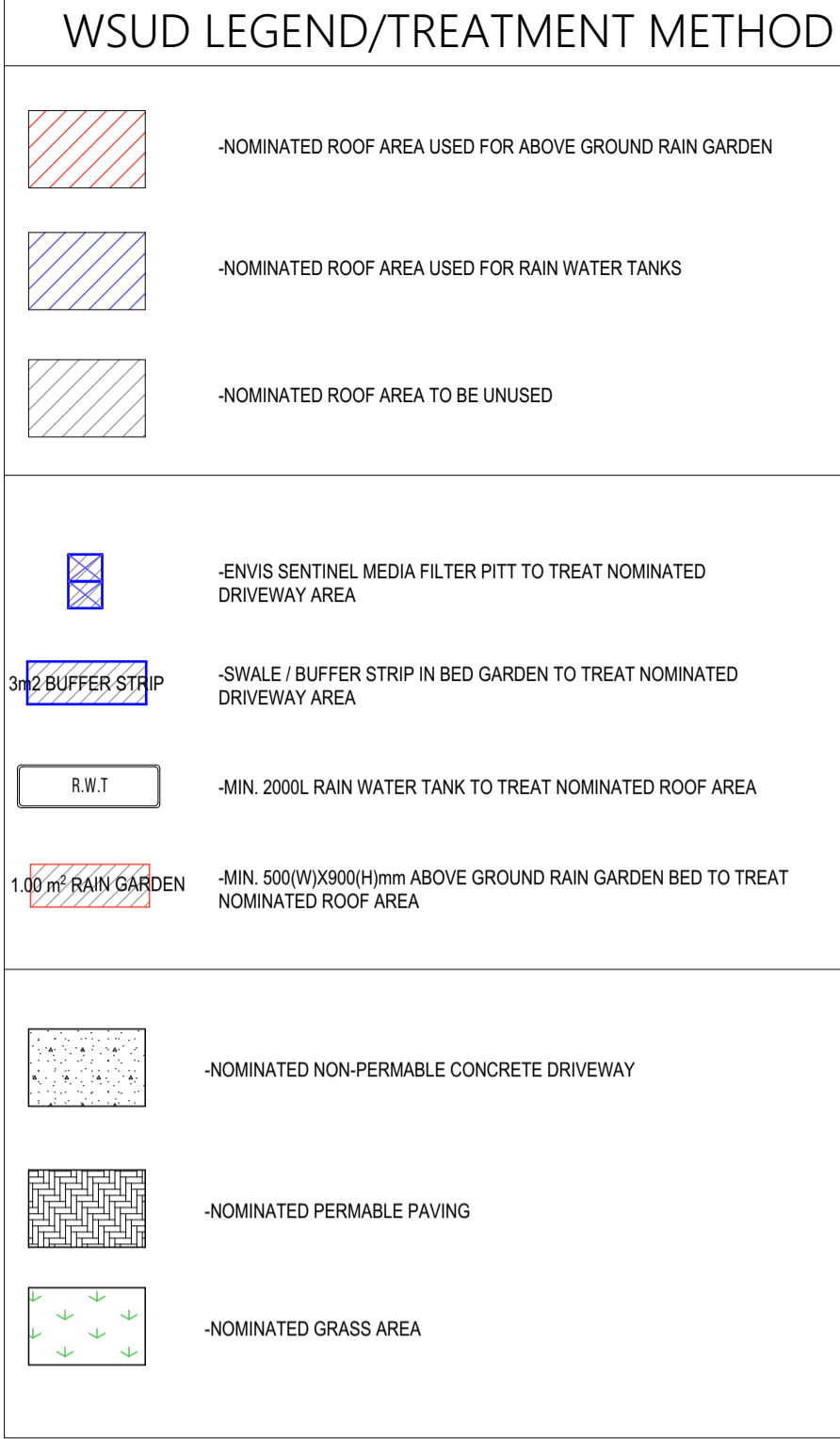
GROUND FLOOR	73.57m <sup>2</sup>
FIRST FLOOR	66.83m <sup>2</sup>
GARAGE	24.06m <sup>2</sup>
PORCH	2.82m <sup>2</sup>
BALCONY	4.41m <sup>2</sup>
<b>TOTAL</b>	<b>171.69m<sup>2</sup> 18.48sqr</b>

**UNIT 2**

GROUND FLOOR	50.81m <sup>2</sup>
FIRST FLOOR	61.75m <sup>2</sup>
GARAGE	38.07m <sup>2</sup>
PORCH	2.93m <sup>2</sup>
<b>TOTAL</b>	<b>153.56m<sup>2</sup> 16.53sqr</b>

**UNIT 3**

GROUND FLOOR	58.53m <sup>2</sup>
FIRST FLOOR	52.63m <sup>2</sup>
GARAGE	24.89m <sup>2</sup>
PORCH	2.14m <sup>2</sup>
<b>TOTAL</b>	<b>138.19m<sup>2</sup> 14.88sqr</b>



## PRO. WSUD ROOF CATCHMENT PLAN

SCALE: 1:100

### Melbourne Water STORM Rating Report

TransactionID: 1262084  
 Municipality: HUME  
 Rainfall Station: HUME  
 Address: 42 Stanhope Street

Broadmeadows  
 VIC 3047  
 Assessor: Aidan  
 Development Type: Residential - Multiunit  
 Allotment Site (m2): 696.00  
 STORM Rating %: 102

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Unit 1 Roof Area - Water Tank	67.00	Rainwater Tank	2,000.00	4	170.00	82.00
Unit 1 Roof Area - Raingarden	30.00	Raingarden 100mm	1.00	0	132.00	0.00
Unit 2 Roof Area - Water Tank 1	54.00	Rainwater Tank	2,000.00	2	154.00	87.60
Unit 2 Roof Area - Water Tank 2	43.00	Rainwater Tank	1,000.00	1	120.00	97.30
Unit 3 Roof Area - Water Tank 1	50.00	Rainwater Tank	2,000.00	2	154.00	86.00
Unit 3 Roof Area - Water Tank 2	30.00	Rainwater Tank	1,000.00	2	170.00	82.00
Common Driveway	131.00	None	0.00	0	0.00	0.00
Unit 2 Roof Area Unused	2.00	None	0.00	0	0.00	0.00

Date Generated: 01-Nov-2021 Program Version: 1.0.0

**MAINTENANCE GUIDELINES (EVERY 3-6 MONTHS)**

RAINWATER TANKS:	TO BE INSPECTED, INLET TO BE CLEANED REGULARLY. IF SLUDGE IS PRESENT, TANKS MUST BE DRAINED BY PROFESSIONAL PLUMBER AND CLEANED
GUTTERS AND DOWNPIPES:	TO BE INSPECTED AND CLEANED REGULARLY.
FIRST FLUSH DEVICES:	IF APPLICABLE, TO BE INSPECTED AND CLEANED REGULARLY.

**WATER SENSITIVE URBAN DESIGN NOTES:**

ALL DRAINAGE TO BE DESIGNED AND CERTIFIED BY AUTHORIZED DRAINAGE ENGINEER

EACH RAINWATER TANK IS TO BE CONNECTED TO ALL TOILETS IN EACH DWELLING

GRAVITY FED OR FULLY CHARGED SYSTEM IS NECESSARY TO ACHIEVE THE MINIMUM ROOF CATCHMENT AREA IN ACCORDANCE WITH STORM REQUIREMENTS.

THE OVERFLOW SYSTEMS FOR ALL RAINWATER TANKS MUST BE GRAVITY FED TO THE LEGAL POINT OF DISCHARGE AND NOT SERVICED BY OVERFLOW PUMPS

THE TANKS MUST BE USED ONLY FOR REUSE WITHIN THE DWELLINGS, AND ARE COMPLETELY INDEPENDENT OF ANY DETENTION REQUIREMENTS (THROUGH THE LEGAL POINT OF DISCHARGE PROCESS)

IN NO CASE WILL RAINWATER PIPES BE CHARGED UNDER THE SLAB

GRAVITY FED SYSTEM TO BE USED WHEN HARVESTING STORMWATER FROM ROOF TO RAINGARDENS.

RAINGARDENS TO BE BUILT MINIMUM 300MM FROM ADJOINING FOOTINGS

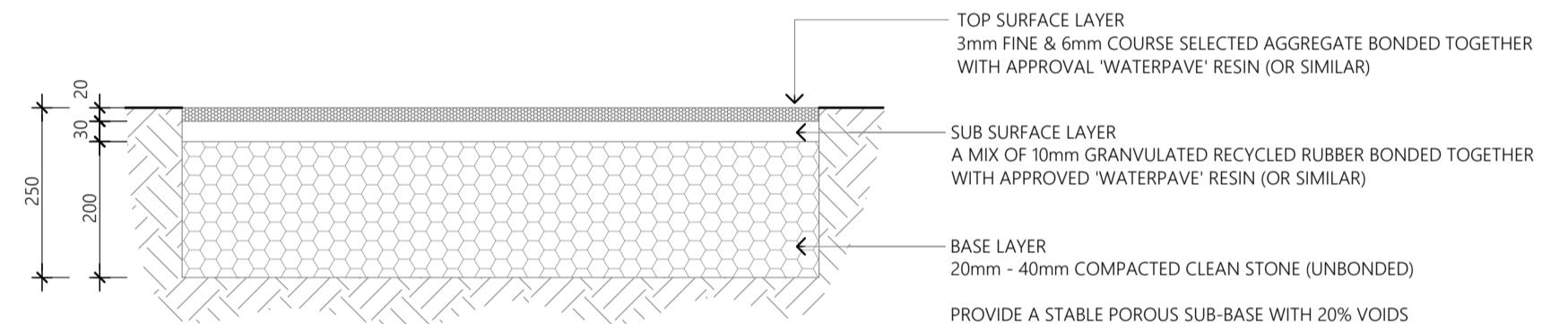
BUILD THE RAINGARDEN CLOSE TO THE WATER SOURCE. THIS WILL HELP MINIMISE THE ADDITIONAL PLUMBING NEEDED TO BRING WATER TO THE RAINGARDEN.

RAINGARDEN MUST BE FULLY LINED AND HAVE OVERFLOW PLUMBED INTO THE STORMWATER SYSTEM.

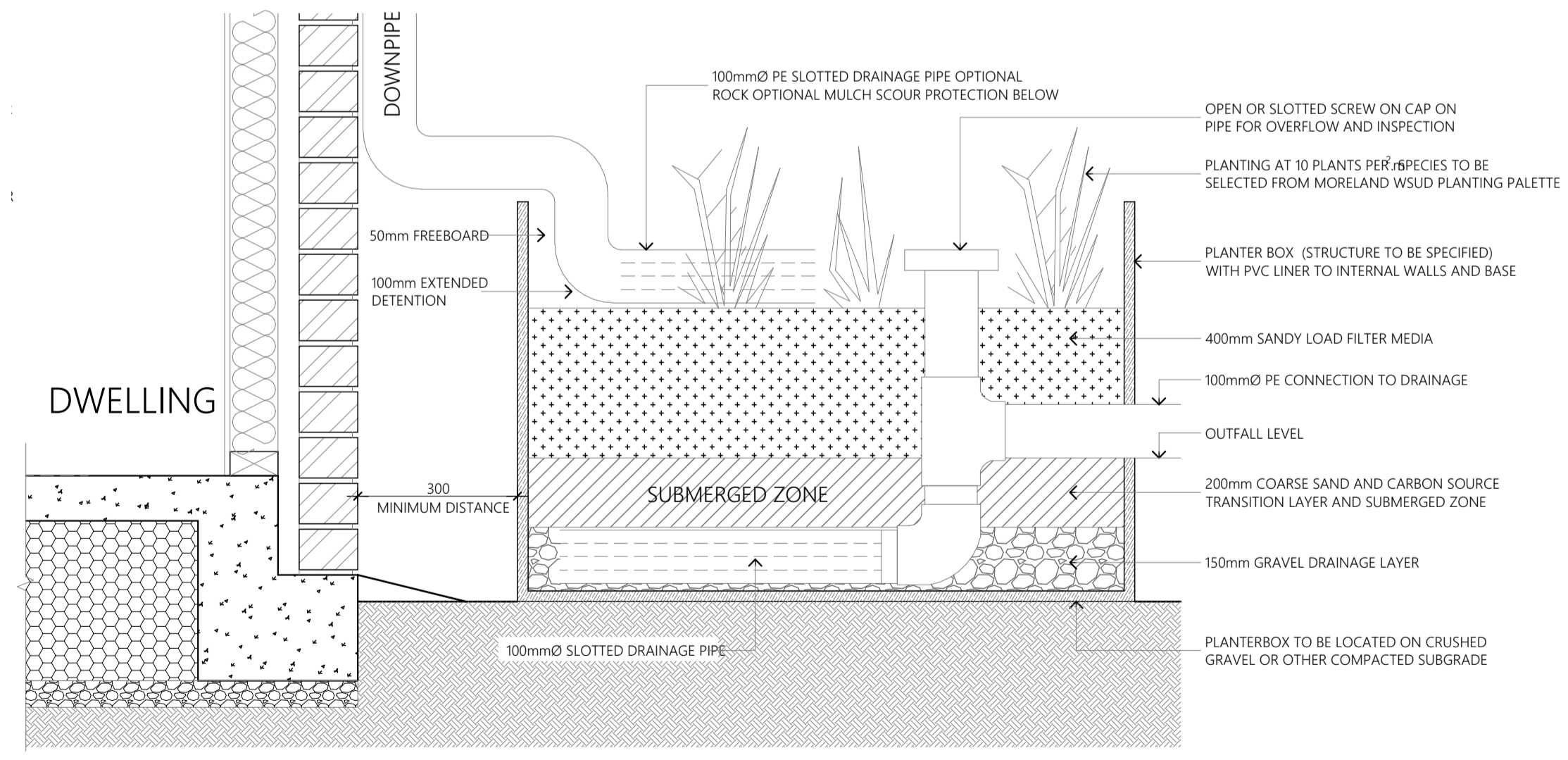
FOR EXCAVATION AND CLEARANCE REFER TO BUILDING A RAINGARDEN INSTRUCTION SHEET, RAINGARDENS MUST BE BUILT TO MELBOURNE WATER REQUIREMENTS

MAINTENANCE OF WSUD TREATMENTS INCLUDING RAIN WATER TANKS, RAINGARDENS ETC ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

THE FINAL DESIGN OF THE STORMWATER SYSTEM WILL MEET COUNCIL DRAINAGE ENGINEERS' REQUIREMENTS. THE DESIGNED SYSTEM COMPLIES WITH MELBOURNE WATER STORM REQUIREMENTS THAT MEETS VICTORIAN BEST PRACTICE STORMWATER GUIDELINES



PERMEABLE CONCRETE (FOR VEHICULAR LOADS)  
SCALE 1:10



ABOVE GROUND RAINGARDEN  
MINIMUM DIMENSIONS WIDTH: 500mm HEIGHT: 900mm

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# TOWN PLANNING ONLY

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**CLOVIS ARCHITECTURAL PLANS & PERMITS**  
 17 HUNTINGTON GROVE, COBURG EAST 3058  
 E: DORIAN.FRANCIS.ARCHITECTURAL@GMAIL.COM

REVISIONS:	DATE:

NOTE: CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORKS. DRAFTSMAN TO BE NOTIFIED OF ANY DISCREPANCIES FOR CLARIFICATION.

**MULTI-UNIT DEVELOPMENT**  
**42 STANHOPE STREET**  
 BROADMEADOWS VIC 3047

**PROPOSED - WSUD ROOF CATCHMENT PLAN**

CAD REF:	DRAWN BY: S.F.A.R.	PROJECT NO.:	REVISION NO.:
	SCALE: 1:100, 1:1.12	REVISION DATE:	DRAWING No: TP
	DATE: 20.07.21		
			7 of 10



# STORM Rating Report

TransactionID: 1262084  
Municipality: HUME  
Rainfall Station: HUME  
Address: 42 Stanhope Street

Broadmeadows  
VIC 3047

Assessor: Aidan  
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Unit 1 Roof Area - Raingarden	30.00	Raingarden 100mm	1.00	0	132.00	0.00
Unit 2 Roof Area - Water Tank 1	54.00	Rainwater Tank	2,000.00	2	154.00	87.60
Unit 2 Roof Area - Water Tank 2	43.00	Rainwater Tank	1,000.00	1	120.00	97.30
Unit 3 Roof Area - Water Tank 1	50.00	Rainwater Tank	2,000.00	2	154.00	86.00
Unit 3 Roof Area - Water Tank 2	30.00	Rainwater Tank	1,000.00	2	170.00	82.00
Common Driveway	131.00	None	0.00	0	0.00	0.00
Unit 2 Roof Area Unused	2.00	None	0.00	0	0.00	0.00

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Date Generated: 01-Nov-2021

Program Version: 1.0.0

# BESS Report

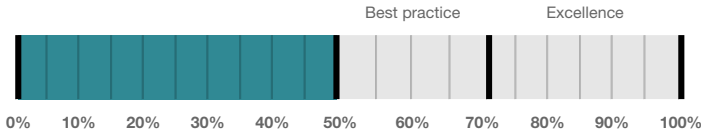
Built Environment Sustainability Scorecard



This BESS report outlines the sustainable design commitments of the proposed development at 42 Stanhope St Broadmeadows VIC 3047. The BESS report and accompanying documents and evidence are submitted in response to the requirement for a Sustainable Design Assessment or Sustainability Management Plan at Hume City Council.

Note that where a Sustainability Management Plan is required, the BESS report must be accompanied by a report that further demonstrates the development's potential to achieve the relevant environmental performance outcomes and documents the means by which the performance outcomes can be achieved.

## Your BESS Score



# 53%

## Project details

**Address** 42 Stanhope St Broadmeadows VIC 3047  
**Project no** FC51644A-R1  
**BESS Version** BESS-6

**Site type** Multi dwelling (dual occupancy, townhouse, villa unit etc)  
**Account** aidan.rosin.architectural@gmail.com  
**Application no.**  
**Site area** 696 m<sup>2</sup>  
**Building floor area** 395.0 m<sup>2</sup>  
**Date** 01 November 2021  
**Software version** 1.7.0-B.371



## Performance by category

● Your development ● Maximum available

Category	Weight	Score	Pass
Management	5%	0%	*
Water	9%	50%	✓
Energy	28%	50%	✓
Stormwater	14%	100%	✓
IEQ	17%	60%	✓
Transport	9%	100%	*
Waste	6%	0%	*
Urban Ecology	6%	50%	*
Innovation	9%	0%	*

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## Dwellings & Non Res Spaces

### Dwellings

Name	Quantity	Area	% of total area
<b>Townhouse</b>			
Townhouse 1	1	146 m <sup>2</sup>	36%
Townhouse 3	1	126 m <sup>2</sup>	31%
Townhouse 2	1	123 m <sup>2</sup>	31%
<b>Total</b>	<b>3</b>	<b>395 m<sup>2</sup></b>	<b>100%</b>

### Supporting information

#### Floorplans & elevation notes

Credit	Requirement	Response	Status
Water 3.1	Water efficient garden annotated		-
Energy 3.3	External lighting sensors annotated		-
Energy 3.4	Clothes line annotated (if proposed)		-
Stormwater 1.1	Location of any stormwater management systems used in STORM or MUSIC modelling (e.g. Rainwater tanks, raingarden, buffer strips)		-
IEQ 3.1	Glazing specification to be annotated		-
IEQ 3.2	Adjustable shading systems		-
Transport 1.1	All nominated residential bicycle parking spaces		-
Urban Ecology 2.1	Vegetated areas		-

#### Supporting evidence

Credit	Requirement	Response	Status
Energy 3.5	Provide a written description of the average lighting power density to be installed in the development and specify the lighting type(s) to be used.		-
Stormwater 1.1	STORM report or MUSIC model		-
IEQ 3.1	Reference to floor plans or energy modelling showing the glazing specification (U-value and Solar Heat Gain Coefficient, SHGC)		-
IEQ 3.2	Reference to floor plans and elevations showing shading devices		-

### Credit summary

Management Overall contribution 4.5%

	0%
--	----

1.1 Pre-Application Meeting	0%
2.2 Thermal Performance Modelling - Multi-Dwelling Residential	0%
4.1 Building Users Guide	0%

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**Water Overall contribution 9.0%**

		Minimum required 50%	50%	✓ Pass
1.1 Potable water use reduction			40%	
3.1 Water Efficient Landscaping			100%	

**Energy Overall contribution 27.5%**

		Minimum required 50%	50%	✓ Pass
1.2 Thermal Performance Rating - Residential			0%	
2.1 Greenhouse Gas Emissions			100%	
2.2 Peak Demand			0%	
2.3 Electricity Consumption			100%	
2.4 Gas Consumption			100%	
2.5 Wood Consumption			N/A	✦ Scoped Out
No wood heating system present				
3.2 Hot Water			100%	
3.3 External Lighting			100%	
3.4 Clothes Drying			100%	
3.5 Internal Lighting - Residential Single Dwelling			100%	
4.4 Renewable Energy Systems - Other			N/A	⊘ Disabled
No other (non-solar PV) renewable energy is in use.				
4.5 Solar PV - Houses and Townhouses			N/A	⊘ Disabled
No solar PV renewable energy is in use.				

**Stormwater Overall contribution 13.5%**



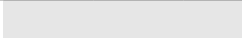
		Minimum required 100%	100%	✓ Pass
1.1 Stormwater Treatment			100%	

**IEQ Overall contribution 16.5%**

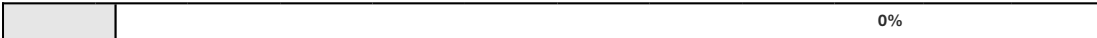

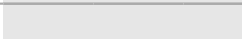
		Minimum required 50%	60%	✓ Pass
2.2 Cross Flow Ventilation			0%	
3.1 Thermal comfort - Double Glazing			100%	
3.2 Thermal Comfort - External Shading			100%	
3.3 Thermal Comfort - Orientation			0%	

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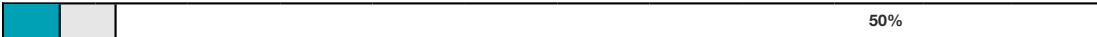





**Transport Overall contribution 9.0%**

		100%
1.1 Bicycle Parking - Residential		100%
1.2 Bicycle Parking - Residential Visitor		N/A ✦ Scoped Out
Not enough dwellings.		
2.1 Electric Vehicle Infrastructure		N/A ✦ Scoped Out
Electric Vehicles uncommon in this area.		

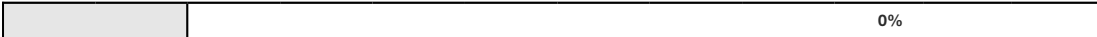

**Waste Overall contribution 5.5%**

		0%
1.1 - Construction Waste - Building Re-Use		0%
2.1 - Operational Waste - Food & Garden Waste		0%

**Urban Ecology Overall contribution 5.5%**

		50%
2.1 Vegetation		100%
2.2 Green Roofs		0%
2.3 Green Walls and Facades		0%
2.4 Private Open Space - Balcony / Courtyard Ecology		0%
3.1 Food Production - Residential		0%

**Innovation Overall contribution 9.0%**

		0%
1.1 Innovation		0%

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## Credit breakdown

### Management Overall contribution 0%

<b>1.1 Pre-Application Meeting</b>		0%
Score Contribution	This credit contributes 50.0% towards the category score.	
Criteria	Has an ESD professional been engaged to provide sustainability advice from schematic design to construction? AND Has the ESD professional been involved in a pre-application meeting with Council?	
Question	Criteria Achieved ?	
Project	No	
<b>2.2 Thermal Performance Modelling - Multi-Dwelling Residential</b>		0%
Score Contribution	This credit contributes 33.3% towards the category score.	
Criteria	Have preliminary NatHERS ratings been undertaken for all thermally unique dwellings?	
Question	Criteria Achieved ?	
Townhouse	No	
<b>4.1 Building Users Guide</b>		0%
Score Contribution	This credit contributes 16.7% towards the category score.	
Criteria	Will a building users guide be produced and issued to occupants?	
Question	Criteria Achieved ?	
Project	No	

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**Water** Overall contribution 4% Minimum required 50%

<b>Water Approach</b>	
What approach do you want to use for Water?:	Use the built in calculation tools
<b>Project Water Profile Question</b>	
Do you have a reticulated third pipe or an on-site water recycling system?:	No
Are you installing a swimming pool?:	No
Are you installing a rainwater tank?:	Yes
<b>Water fixtures, fittings and connections</b>	
Showerhead: All	4 Star WELS (>= 4.5 but <= 6.0)
Bath: All	Scope out
Kitchen Taps: All	>= 5 Star WELS rating
Bathroom Taps: All	>= 5 Star WELS rating
Dishwashers: All	Default or unrated
WC: All	>= 4 Star WELS rating
Urinals: All	Scope out
Washing Machine Water Efficiency: All	Default or unrated
<b>Rainwater Tanks</b>	
What is the total roof area connected to the rainwater tank?:	
RWT U1	67.0 m <sup>2</sup>
RWT U2	97.0 m <sup>2</sup>
RWT U3	80.0 m <sup>2</sup>
Tank Size:	
RWT U1	2,000 Litres
RWT U2	3,000 Litres
RWT U3	3,000 Litres
Irrigation area connected to tank:	
RWT U1	80.0 m <sup>2</sup>
RWT U2	80.0 m <sup>2</sup>
RWT U3	80.0 m <sup>2</sup>
Is connected irrigation area a water efficient garden?:	
RWT U1	Yes
RWT U2	Yes
RWT U3	Yes
Other external water demand connected to tank?:	
RWT U1	0.0 Litres/Day
RWT U2	0.0 Litres/Day
RWT U3	0.0 Litres/Day

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<b>1.1 Potable water use reduction</b>		40%
Score Contribution	This credit contributes 83.3% towards the category score.	
Criteria	What is the reduction in total potable water use due to efficient fixtures, appliances, rainwater use and recycled water use? To achieve points in this credit there must be >25% potable water reduction.	
Output	Reference	
Project	611 kL	
Output	Proposed (excluding rainwater and recycled water use)	
Project	490 kL	
Output	Proposed (including rainwater and recycled water use)	
Project	388 kL	
Output	% Reduction in Potable Water Consumption	
Project	36 %	
Output	% of connected demand met by rainwater	
Project	65 %	
Output	How often does the tank overflow?	
Project	Sometimes	
Output	Opportunity for additional rainwater connection	
Project	183 kL	
<b>3.1 Water Efficient Landscaping</b>		100%
Score Contribution	This credit contributes 16.7% towards the category score.	
Criteria	Will water efficient landscaping be installed?	
Question	Criteria Achieved ?	
Project	Yes	

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**Energy** Overall contribution 14% Minimum required 50%

<b>Dwellings Energy Approach</b>	
What approach do you want to use for Energy?:	Use the built in calculation tools
<b>Project Energy Profile Question</b>	
Are you installing any solar photovoltaic (PV) system(s)?:	No
Are you installing any other renewable energy system(s)?:	No
Gas supplied into building:	Natural Gas
<b>Dwelling Energy Profiles</b>	
Below the floor is: All	Ground or Carpark
Above the ceiling is: All	Outside
Exposed sides: All	3
NatHERS Annual Energy Loads - Heat: All	98.2 MJ/sqm
NatHERS Annual Energy Loads - Cool: All	22.8 MJ/sqm
NatHERS star rating: All	6.0
Type of Heating System: All	A Gas space
Heating System Efficiency: All	4 Star
Type of Cooling System: All	Refrigerative space
Cooling System Efficiency: All	4 Stars
Type of Hot Water System: All	I Gas Instantaneous 5 star
Is the hot water system shared by multiple dwellings?: All	No
% Contribution from solar hot water system: All	0 %
Clothes Line: All	D Private outdoor clothesline
Clothes Dryer: All	A No clothes dryer
<b>1.2 Thermal Performance Rating - Residential</b>	<b>0%</b>
Score Contribution	This credit contributes 30.0% towards the category score.
Criteria	What is the average NatHERS rating?
Output	Average NATHERS Rating (Weighted)
Townhouse	6.0 Stars
<b>2.1 Greenhouse Gas Emissions</b>	<b>100%</b>
Score Contribution	This credit contributes 10.0% towards the category score.
Criteria	What is the % reduction in annual greenhouse gas emissions against the benchmark?
Output	Reference Building with Reference Services (BCA only)
Townhouse	13,794 kg CO2
Output	Proposed Building with Proposed Services (Actual Building)
Townhouse	7,208 kg CO2
Output	% Reduction in GHG Emissions
Townhouse	47 %

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<b>2.2 Peak Demand</b>		0%
Score Contribution	This credit contributes 5.0% towards the category score.	
Criteria	What is the % reduction in instantaneous (peak-hour) demand against the benchmark?	
Output	Peak Thermal Cooling Load - Baseline	
Townhouse	39.9 kW	
Output	Peak Thermal Cooling Load - Proposed	
Townhouse	39.0 kW	
Output	Peak Thermal Cooling Load - % Reduction	
Townhouse	2 %	
<b>2.3 Electricity Consumption</b>		100%
Score Contribution	This credit contributes 10.0% towards the category score.	
Criteria	What is the % reduction in annual electricity consumption against the benchmark?	
Output	Reference	
Townhouse	6,234 kWh	
Output	Proposed	
Townhouse	2,319 kWh	
Output	Improvement	
Townhouse	62 %	
<b>2.4 Gas Consumption</b>		100%
Score Contribution	This credit contributes 10.0% towards the category score.	
Criteria	What is the % reduction in annual gas consumption against the benchmark?	
Output	Reference	
Townhouse	144,656 MJ	
Output	Proposed	
Townhouse	94,201 MJ	
Output	Improvement	
Townhouse	34 %	
<b>2.5 Wood Consumption</b>		N/A  Scoped Out
This credit was scoped out	No wood heating system present	
<b>3.2 Hot Water</b>		100%
Score Contribution	This credit contributes 5.0% towards the category score.	
Criteria	What is the % reduction in annual energy consumption (gas and electricity) of the hot water system against the benchmark?	
Output	Reference	
Townhouse	3,000 kWh	
Output	Proposed	
Townhouse	2,280 kWh	
Output	Improvement	
Townhouse	28 %	

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<b>3.3 External Lighting</b>		100%
Score Contribution	This credit contributes 5.0% towards the category score.	
Criteria	Is the external lighting controlled by a motion detector?	
Question	Criteria Achieved ?	
Townhouse	Yes	
<b>3.4 Clothes Drying</b>		100%
Score Contribution	This credit contributes 5.0% towards the category score.	
Criteria	What is the % reduction in annual energy consumption (gas and electricity) from a combination of clothes lines and efficient driers against the benchmark?	
Output	Reference	
Townhouse	1,903 kWh	
Output	Proposed	
Townhouse	381 kWh	
Output	Improvement	
Townhouse	80 %	
<b>3.5 Internal Lighting - Residential Single Dwelling</b>		100%
Score Contribution	This credit contributes 5.0% towards the category score.	
Criteria	Does the development achieve a maximum illumination power density of 4W/sqm or less?	
Question	Criteria Achieved?	
Townhouse	Yes	
<b>4.4 Renewable Energy Systems - Other</b>		N/A <input type="checkbox"/> Disabled
This credit is disabled	No other (non-solar PV) renewable energy is in use.	
<b>4.5 Solar PV - Houses and Townhouses</b>		N/A <input type="checkbox"/> Disabled
This credit is disabled	No solar PV renewable energy is in use.	

**Stormwater** Overall contribution 14% Minimum required 100%



Which stormwater modelling are you using?:		Melbourne Water STORM tool
<b>1.1 Stormwater Treatment</b>		100%
Score Contribution	This credit contributes 100.0% towards the category score.	
Criteria	Has best practice stormwater management been demonstrated?	
Question	STORM score achieved	
Project	100	
Output	Min STORM Score	
Project	100	

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**IEQ** Overall contribution 10% Minimum required 50%

<b>2.2 Cross Flow Ventilation</b>	0%
Score Contribution	This credit contributes 20.0% towards the category score.
Criteria	Are all habitable rooms designed to achieve natural cross flow ventilation?
Question	Criteria Achieved ?
Townhouse	No
<b>3.1 Thermal comfort - Double Glazing</b>	100%
Score Contribution	This credit contributes 40.0% towards the category score.
Criteria	Is double glazing (or better) used to all habitable areas?
Question	Criteria Achieved ?
Townhouse	Yes
<b>3.2 Thermal Comfort - External Shading</b>	100%
Score Contribution	This credit contributes 20.0% towards the category score.
Criteria	Is appropriate external shading provided to east, west and north facing glazing?
Question	Criteria Achieved ?
Townhouse	Yes
<b>3.3 Thermal Comfort - Orientation</b>	0%
Score Contribution	This credit contributes 20.0% towards the category score.
Criteria	Are at least 50% of living areas orientated to the north?
Question	Criteria Achieved ?
Townhouse	No

**Transport** Overall contribution 9%

<b>1.1 Bicycle Parking - Residential</b>	100%
Score Contribution	This credit contributes 100.0% towards the category score.
Criteria	How many secure and undercover bicycle spaces are there per dwelling for residents?
Question	Bicycle Spaces Provided ?
Townhouse	3
Output	Min Bicycle Spaces Required
Townhouse	3
<b>1.2 Bicycle Parking - Residential Visitor</b>	N/A  Scoped Out
This credit was scoped out	Not enough dwellings.
<b>2.1 Electric Vehicle Infrastructure</b>	N/A  Scoped Out
This credit was scoped out	Electric Vehicles uncommon in this area.

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**Waste** Overall contribution 0%

<b>1.1 - Construction Waste - Building Re-Use</b>		0%
Score Contribution	This credit contributes 50.0% towards the category score.	
Criteria	If the development is on a site that has been previously developed, has at least 30% of the existing building been re-used?	
Question	Criteria Achieved ?	
Project	No	
<b>2.1 - Operational Waste - Food &amp; Garden Waste</b>		0%
Score Contribution	This credit contributes 50.0% towards the category score.	
Criteria	Are facilities provided for on-site management of food and garden waste?	
Question	Criteria Achieved ?	
Project	No	

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**Urban Ecology** Overall contribution 3%

<b>2.1 Vegetation</b>	100%
Score Contribution	This credit contributes 50.0% towards the category score.
Criteria	How much of the site is covered with vegetation, expressed as a percentage of the total site area?
Question	Percentage Achieved ?
Project	36 %
<b>2.2 Green Roofs</b>	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Does the development incorporate a green roof?
Question	Criteria Achieved ?
Project	No
<b>2.3 Green Walls and Facades</b>	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Does the development incorporate a green wall or green façade?
Question	Criteria Achieved ?
Project	No
<b>2.4 Private Open Space - Balcony / Courtyard Ecology</b>	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Is there a tap and floor waste on every balcony / in every courtyard?
Question	Criteria Achieved ?
Townhouse	No
<b>3.1 Food Production - Residential</b>	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	What area of space per resident is dedicated to food production?
Question	Food Production Area
Townhouse	0.0 m <sup>2</sup>
Output	Min Food Production Area
Townhouse	3 m <sup>2</sup>

**Innovation** Overall contribution 0%

<b>1.1 Innovation</b>	0%
Score Contribution	This credit contributes 100.0% towards the category score.
Criteria	What percentage of the Innovation points have been claimed (10 points maximum)?

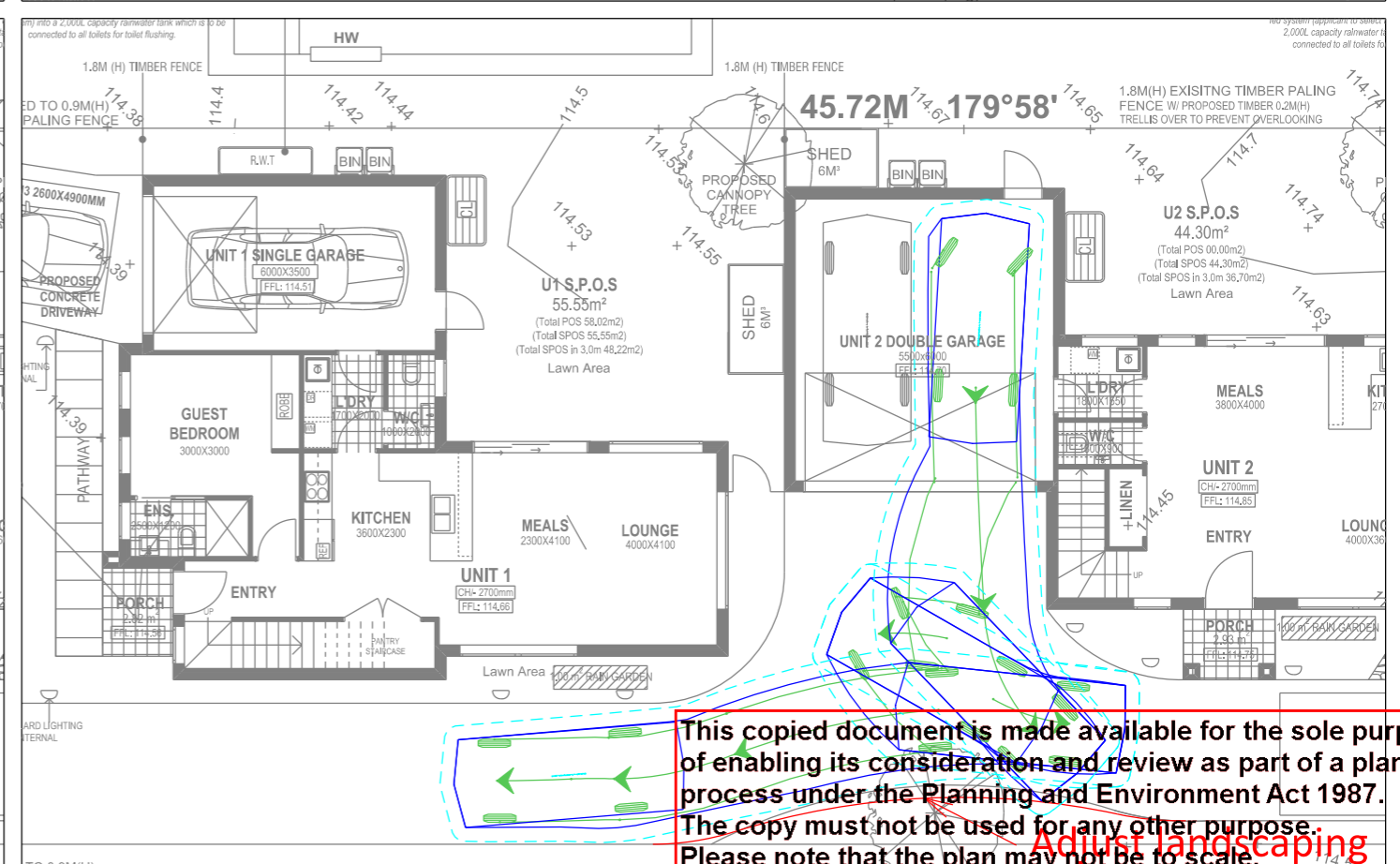
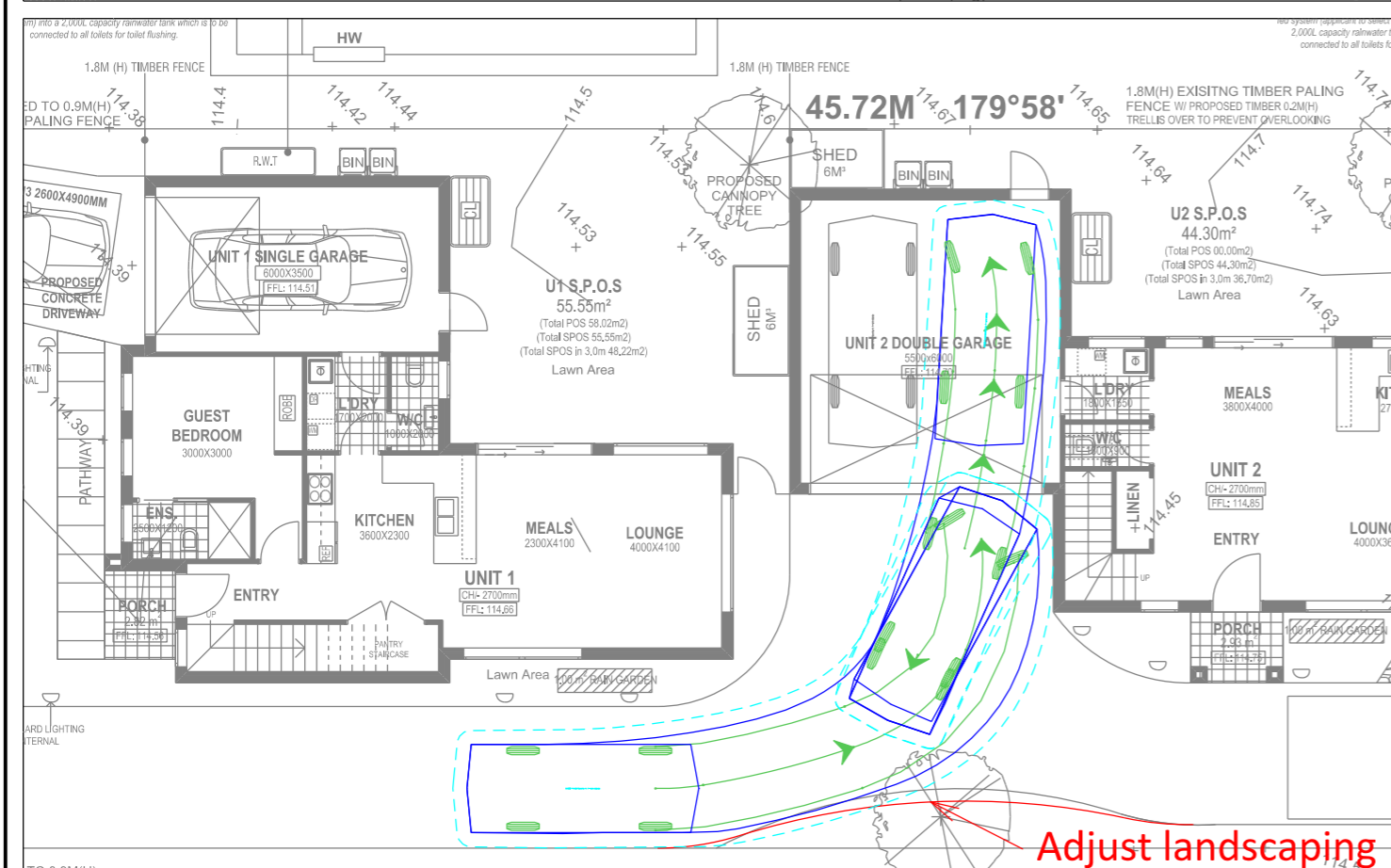
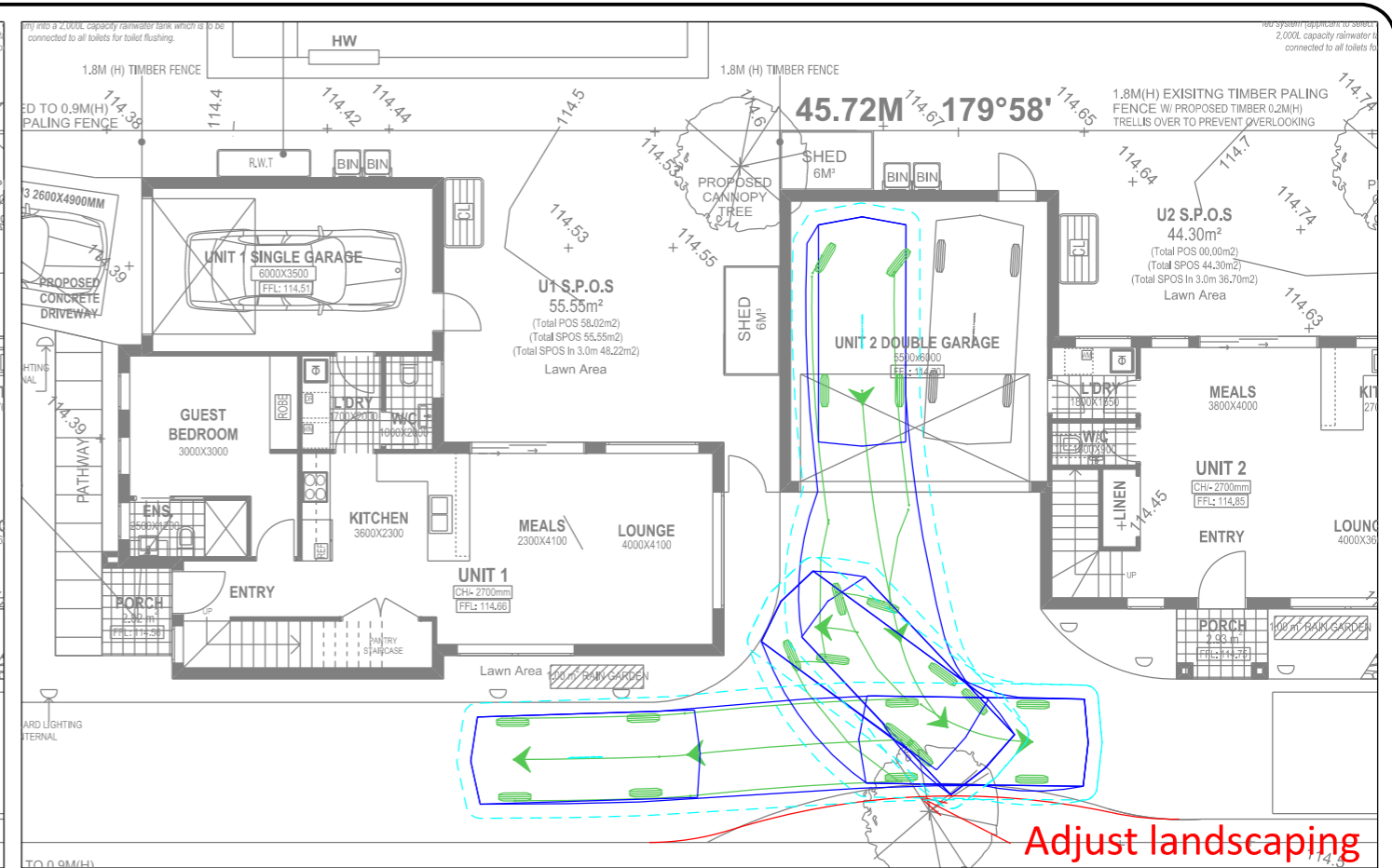
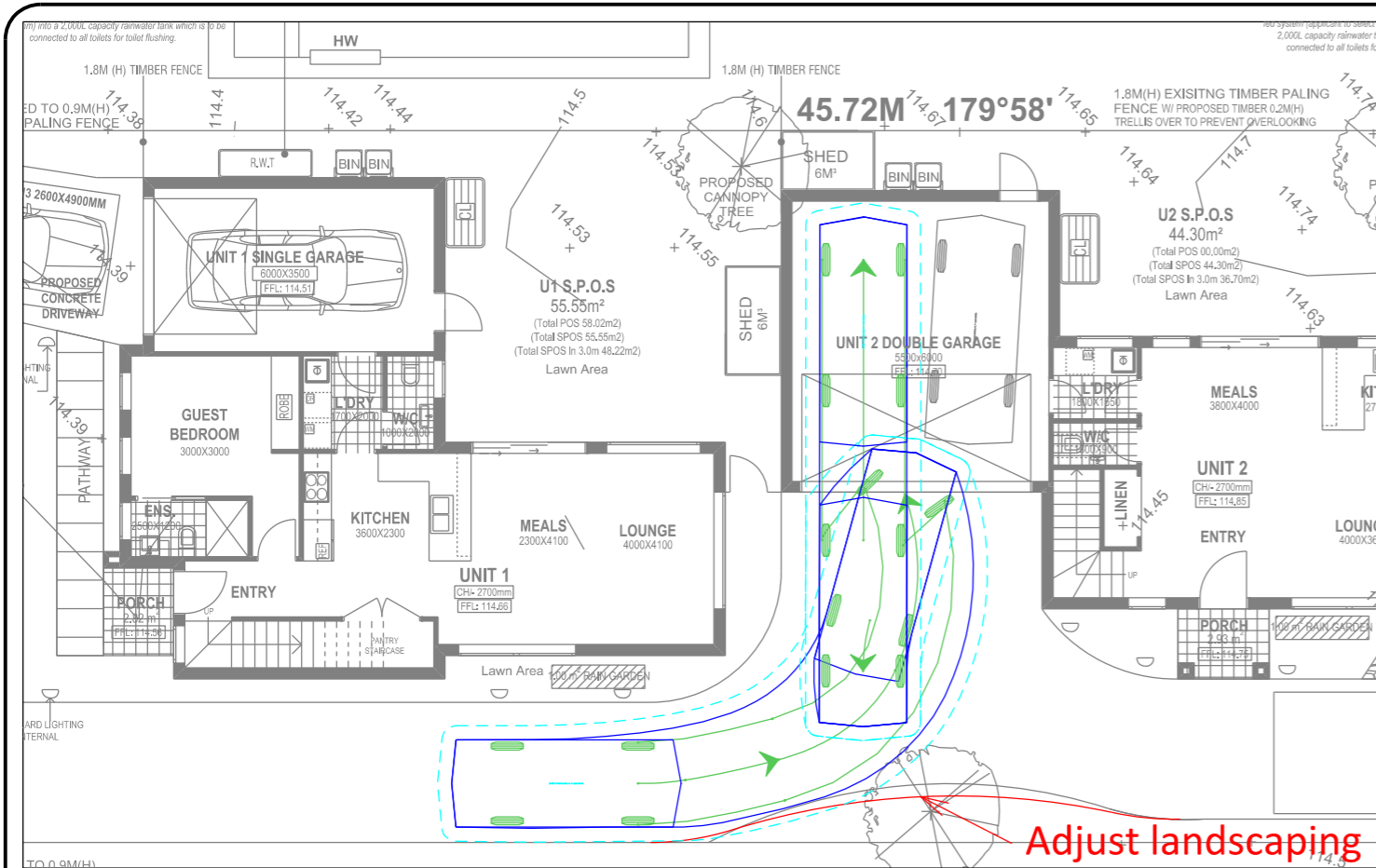
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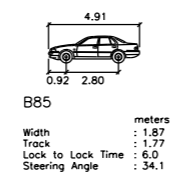
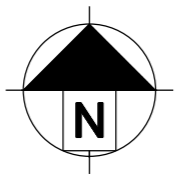
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**NOT FOR CONSTRUCTION**



**B85 ENTRY/EXIT**  
 42 Stanhope Street Broadmeadows  
 1:150 @ A3 03/11/21  
 DWG NO: 21312003

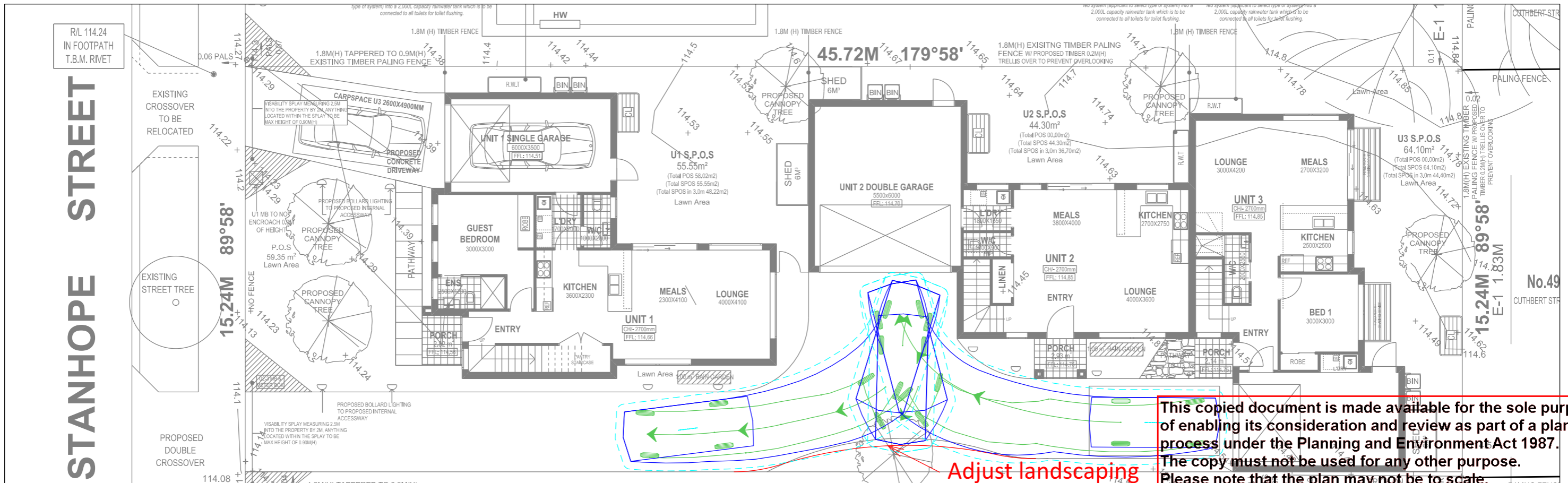
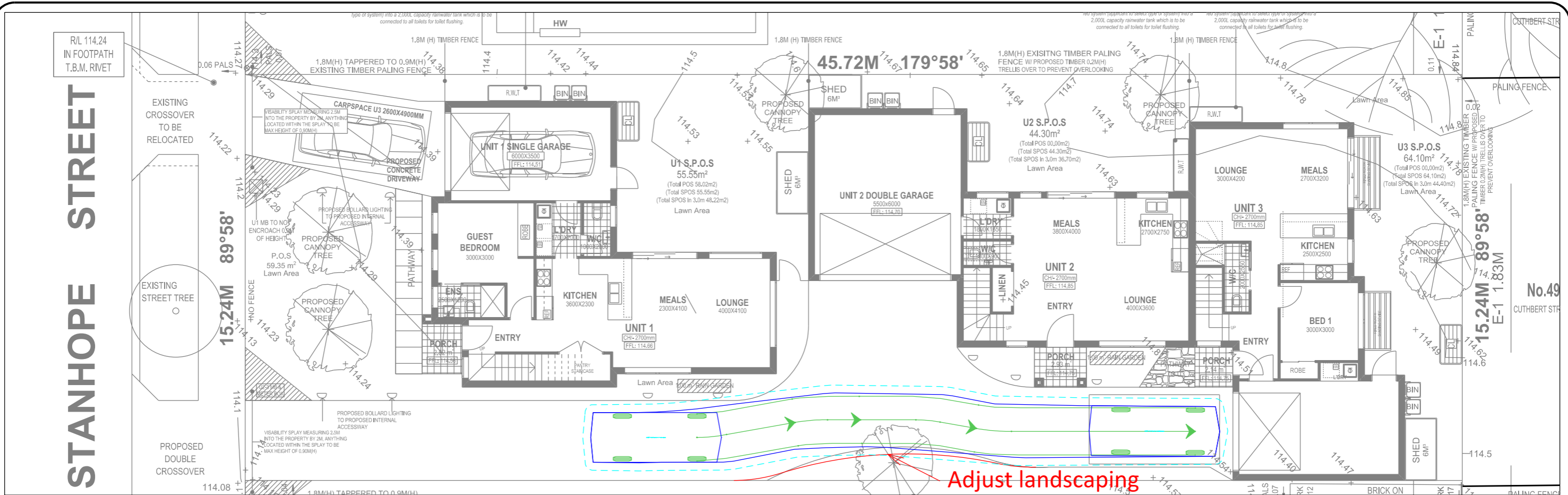
KEY	
	CENTRE LINE OF FRONT WHEELS
	WHEEL PATH
	VEHICLE BODY
	VEHICLE CLEARANCE LINE

• Traffic Planning • Transport Planning  
 • Traffic Engineering • Road Safety

SUITE 2.03, 789 TOORAK ROAD  
 HAWTHORN EAST, VIC, 3123  
 P: +613 9804 3610  
 W: obrientraffic.com

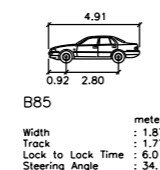
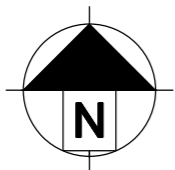
STANHOPE STREET

STANHOPE STREET



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NOT FOR CONSTRUCTION



B85  
Width : 1.87 meters  
Track : 1.77  
Lock to Lock Time : 6.0  
Steering Angle : 34.1

**B85**  
**ENTRY/EXIT**  
42 Stanhope Street Broadmeadows  
1:150 @ A3 03/11/21  
DWG NO: 21312003

KEY	
	CENTRE LINE OF FRONT WHEELS
	WHEEL PATH
	VEHICLE BODY
	VEHICLE CLEARANCE LINE

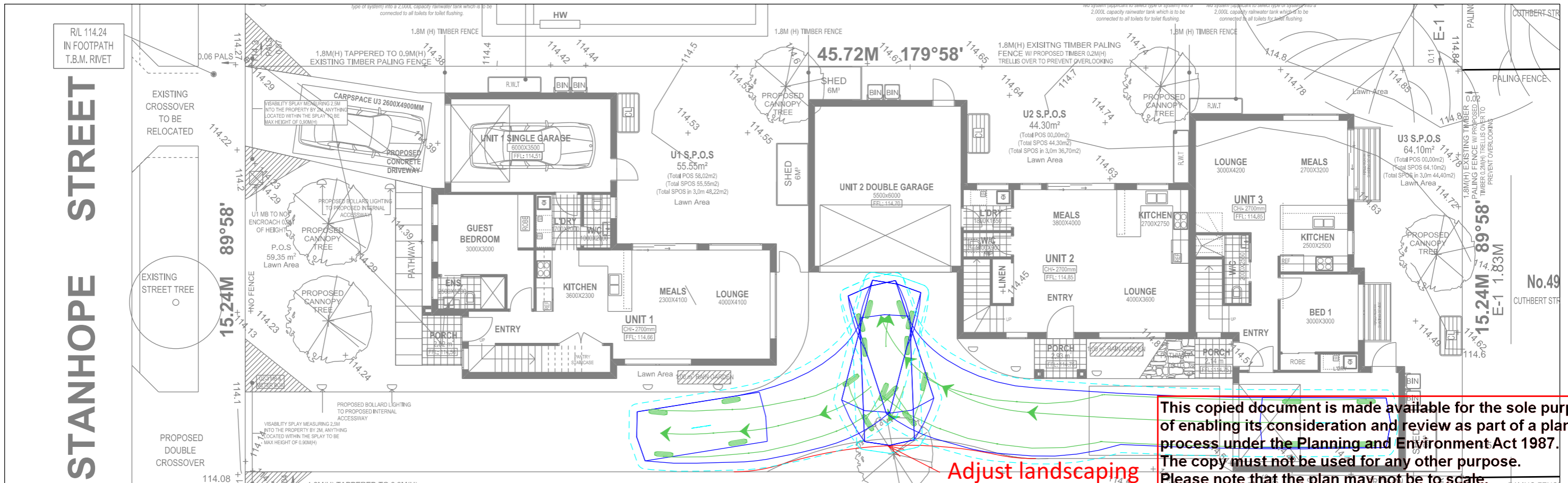
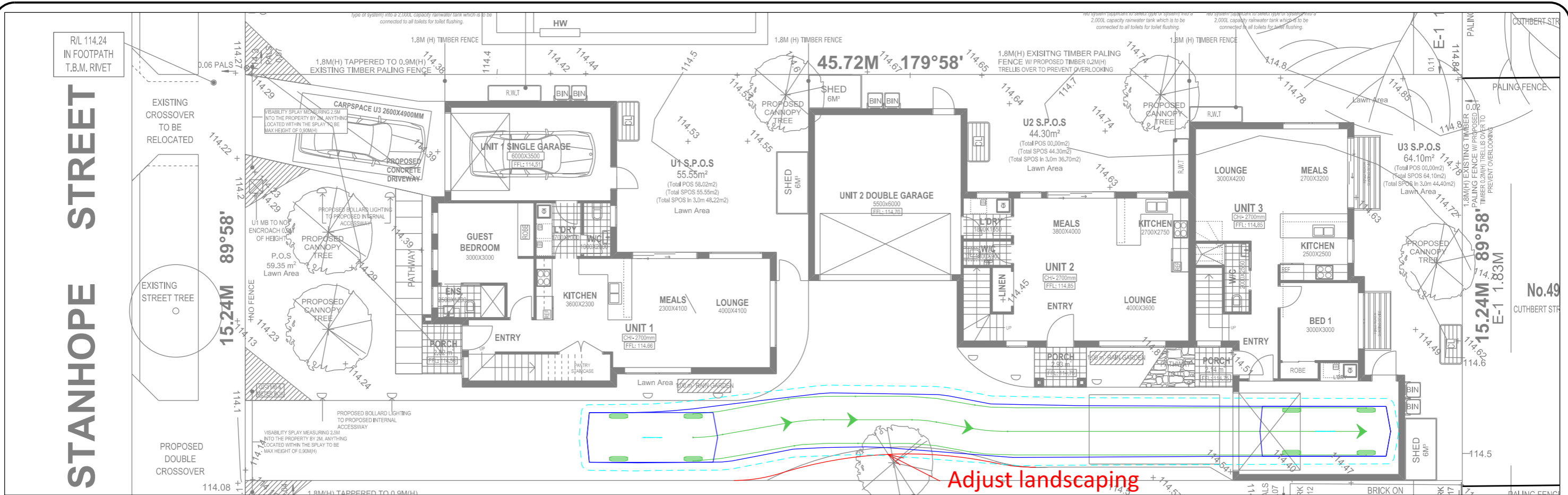
**OBRIEN TRAFFIC**

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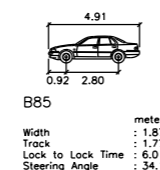
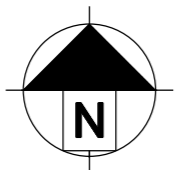
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**B85 ENTRY/EXIT**  
 42 Stanhope Street Broadmeadows  
 1:150 @ A3 03/11/21  
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# TREEMAP

ARBORICULTURE



## Arboricultural Assessment & Report 42 Stanhope Street, Broadmeadows

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Treemap Arboriculture

PO Box 465, Heidelberg VIC 3084

ABN 20 325 463 261

[www.treemap.com.au](http://www.treemap.com.au)

October 2021

Prepared for:  
Clovis Architectural Plans &  
Permits

## 1 Name and address of consultant

Dean Simonsen  
Treemap Arboriculture  
PO Box 465, Heidelberg, Victoria 3084

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## 2 Instructions

- 2.1 The instructions provided to Treemap Arboriculture on 10/10/21 by Clovis Architectural Plans & Permits were to provide an Arboricultural assessment and report for trees located on or adjacent to the subject site, the subject site being 42 Stanhope Street, Broadmeadows.

## 3 Introduction

- 3.1 The owners of the subject site are undertaking investigations to develop the property. As part of the design and application process the owners are undertaking a review of vegetation located adjacent to the site. This report examines the arboricultural matters associated with this vegetation.
- 3.2 Under AS4970-2009 (Australian Standard – Protection of trees on development sites), the following report would be defined as an ‘Arboricultural impact assessment’. The standard indicates that *“The report will identify possible impacts on trees to be retained. The report will explain design and construction methods proposed to minimize impacts on retained trees where there is encroachment into the calculated TPZ.”*

## 4 Key Objectives

- 4.1 To undertake a general assessment of trees located near the subject site.
- 4.2 To provide an assessment of the subject trees with respect to their overall condition, structure, safety and suitability for protection.
- 4.3 To provide recommendations on the suitability of the trees for protection, and provide approved methods of tree protection.

## 5 Method

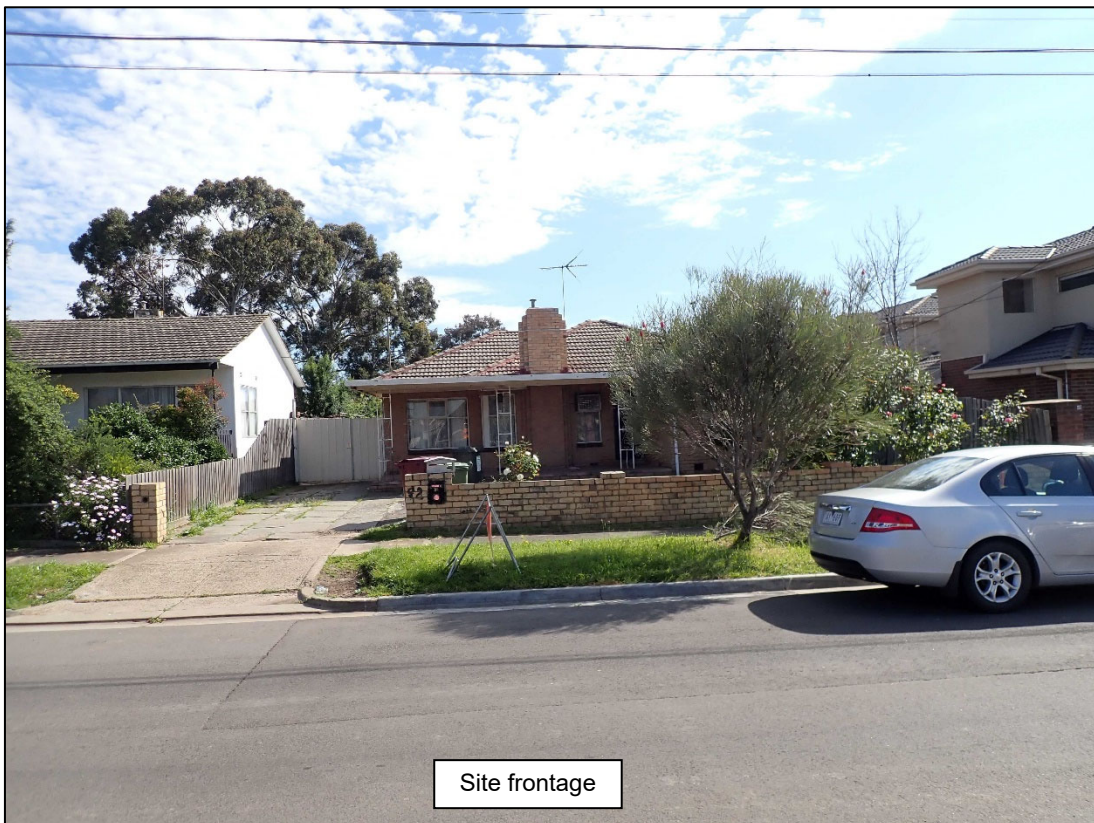
- 5.1 A site and tree inspection were conducted on Friday 22<sup>nd</sup> October, 2021.
- 5.2 The tree assessment consisted of a visual inspection, which was undertaken with regard to modern arboricultural principles and practices. The assessment did not involve a detailed examination of below ground or internal tree parts. The assessment was undertaken from the ground of the subject site to determine tree condition and species type. Measurements were taken to establish trunk and crown dimensions. No tree samples or site soil samples were taken unless specified. Trunk diameters for trees on adjoining properties may be estimated due to site access restrictions.
- 5.3 The trees have been allocated a retention value rating which combines tree condition factors with functional and aesthetic characteristics in the context of an urban landscape. The

retention or preservation of trees may not depend solely on arboricultural considerations; therefore, the ratings may act as a guide to assist in decisions relating to tree management and retention.

- 5.4 A survey plan was provided by the client (Site analysis plan prepared by Clovis Architectural Plans & Permits, dated 01/10/21). The assessed trees have been numbered on a section of this plan (Appendix 3).
- 5.5 A proposed ground floor plan was provided by the client for analysis (Ground Floor Plan, prepared by Clovis Architectural Plans & Permits, dated 01/10/21). The assessed trees have been indicated on this plan and the Tree Protection Zones and Structural Root Zones are provided for specific trees (Appendix 3a).

## 6 Observations

- 6.1 The site under review presented as a single residential allotment with an existing dwelling and detached sheds. The site adjoins residential properties to the east, west and north. Stanhope Street frontage is located to the south. The site contained shrubs and weeds.



- 6.2 Four (4) trees or shrubs were assessed in detail as part of the site review. This included 2 trees on the subject site, 1 neighbouring tree and 1 street tree. The detail of each individual tree assessment is provided in table format at Appendix 1. Tree numbers within the assessment table correspond to those provided on the site feature plan (Appendix 3).

- 6.3 The property is not influenced by any specific local vegetation controls under the City of Hume Planning Scheme. This is based on a planning property report for the site being obtained from [www.planning.vic.gov.au/](http://www.planning.vic.gov.au/) on 22/10/21.

- 6.4 The proposed plan indicates the construction of 3 units.

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## 7 Discussion

The Australian Standard (AS4970-2009) – ‘Protection of trees on development sites’ puts forward a process for undertaking tree inspections and reports on property where development is being considered. It recommends a preliminary assessment be undertaken to help guide planners and property owners with regard to the preservation of existing trees; that is trees that might contribute to the completed proposal. The standard points out that the preliminary report ‘information is to be used by planners, architects and designers, in conjunction with any planning controls and other legislation, to develop the design layout in such a way that trees selected for retention are provided with enough space’.

These assessments typically reveal a range of trees with varying attributes for health, structure and overall value. Some trees may be considered insignificant for their size, age, species type or condition, but they might still be considered for retention because they are situated conveniently on the site. Conversely, some trees may be exceptional for various reasons but there may be no scope for their retention because of their location or other site constraints. An objective of the tree assessment is to determine the trees that may be preferable, in terms of preservation, and to identify poor or insignificant trees that might be easily replaced or replaced with better species.

The arborist must also exercise judgement and expertise with respect to the types of trees that are deemed suitable for retention, and they should also consider what stage the tree is at in its overall lifecycle.

The site contained shrubs and weeds. The retention value of all the vegetation on the site was rated ‘None’. The absence of any applicable vegetation controls towards the site vegetation, plus its low quality, supports an approach whereby existing trees and shrubs should offer limited constraint to the proposed design. All of the trees and shrubs on the site are recommended for removal (Trees 2 & 3). A permit is not required to remove any trees.

A factor that may influence development on the subject site will be the proposed design in the vicinity of the neighbouring tree and street tree. The Tree Protection Zones for the street tree and neighbouring tree are illustrated on the plan at Appendix 3a.

Street tree 1 is not exposed to any Tree Protection Zone encroachment from the design. No harm is predicted to the street tree from the proposal.

Neighbouring tree 4 - *Eucalyptus leucoxylon* (Yellow Gum) is not exposed to any Tree Protection Zone encroachment from the design. No harm is predicted to the neighbouring tree from the proposal.

There are no other tree protection matters associated with trees or shrubs on adjoining land.

### 7.1 Tree protection zones on development sites

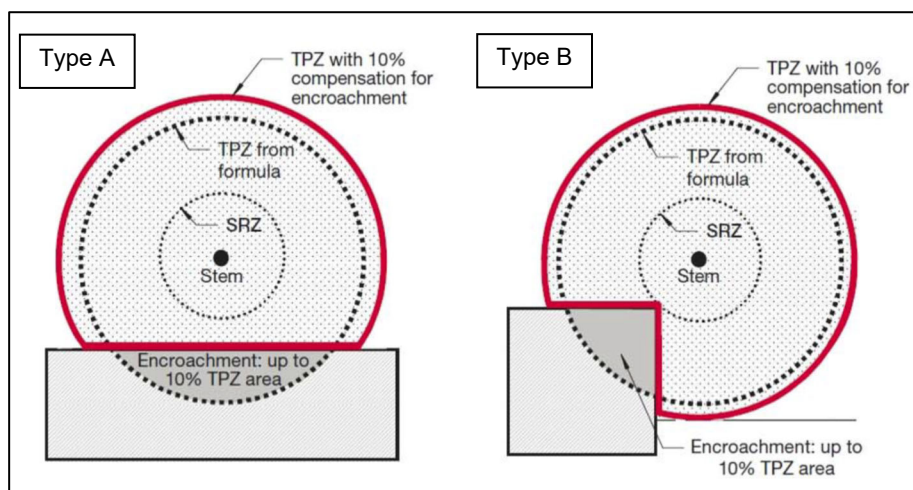
The level of encroachment and the impact to specific trees can be estimated by comparing standard or modified tree protection clearances with those clearances provided to trees in the development design (as discussed above). The level of encroachment is then assessed based on the severity of encroachment to the tree. Encroachment to the tree protection zone can be significant, which can result in more or less severe impacts to trees. The most accurate means of determining root activity in these zones is to undertake subsurface root investigations. The alternative to undertaking root investigations is to assign appropriate tree protection zones.

This report adopts AS4970-2009, Australian Standard – Protection of trees on development sites as the preferred tree protection method. The method provides a tree protection zone and a tree

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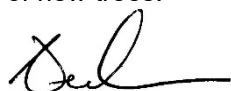
protection fencing distance (radial measurement from trunk centre) by using the width of the trunk at 1.4m above ground multiplied by 12. The prescribed TPZ distances are provided for each tree in Appendix 1 and tree protection zones are indicated for specific trees at Appendix 3a.

There is scope to reduce the tree protection zone by an area of 10% without further investigations. The rationale for any reduced tree protection distance is detailed in AS4970-2009 (*Australian Standard – Protection of trees on development sites*). Under encroachment Type A, it is acceptable to reduce the Tree Protection Zone (TPZ) area by 10%. This translates to a reduction in radial clearance distance of approximately 33% on one side of the tree only. This can be applied if there is contiguous space around the tree for root development to occur. The following diagram, from AS4970-2009, is provided to illustrate the approach.



## 8 Recommendations

- 8.1 The retention value of all the vegetation on the site was rated 'None'. The absence of any applicable vegetation controls towards the site vegetation, plus its low quality, supports an approach whereby existing trees and shrubs should offer limited constraint to the proposed design. All of the trees and shrubs on the site are recommended for removal (Trees 2 & 3). A permit is not required to remove any trees.
- 8.2 Street tree 1 is not exposed to any Tree Protection Zone encroachment from the design. No harm is predicted to the street tree from the proposal.
- 8.3 Neighbouring tree 4 - *Eucalyptus leucoxylon* (Yellow Gum) is not exposed to any Tree Protection Zone encroachment from the design. No harm is predicted to the neighbouring tree from the proposal.
- 8.4 Any vegetation in the study area that was not assessed as part of this report was considered insignificant, generally undesirable or sufficiently clear of any expected works.
- 8.5 Any proposed development on the site should make provision for landscaping and the planting of new trees.



Dean Simonsen (BAppSc Melb.)  
Consultant Arborist

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## 9 References

Australian Standard AS 4970, 2009. *Protection of trees on development sites*. Standards Australia

## 10 Definitions

The TPZ and SRZ are defined in AS4970-2009, Australian Standard – Protection of trees on development sites as:

### **Tree protection zone (TPZ)**

*A specified area above and below ground and at a given distance from the trunk set aside for the protection of a tree's roots and crown to provide for the viability and stability of a tree to be retained where it is potentially subject to damage by development.*

### **Structural root zone (SRZ)**

*The area around the base of a tree required for the tree's stability in the ground. The woody root growth and soil cohesion in this area are necessary to hold the tree upright. The SRZ is nominally circular with the trunk at its centre and is expressed by its radius in metres. This zone considers a tree's structural stability only, not the root zone required for a tree's vigour and long-term viability, which will usually be a much larger area.*

## 11 Expertise of Arborist to prepare report

### **Qualifications and expertise of consultant**

- Bachelor of Applied Science, Horticulture (Plant Production) – University of Melbourne, Burnley College.
- Diploma of Applied Science, Horticulture (Arboriculture) – University of Melbourne, Burnley College. Dux of Arboriculture.
- Twenty-eight years of experience in the arboriculture/horticulture industry (private and local government experience).
- Consultant Arborist and Director at Tree Logic Pty Ltd from June 1999 to September 2011.
- Manager of Arboriculture – Royal Botanic Gardens, Melbourne (27 Months 1997-1999).
- Secretary for the Victorian Tree Industry Organisation (VTIO) 2007-2012.
- Financial member of the International Society of Arboriculture (ISA).
- Trained and licensed to use Quantified Tree Risk Assessment method (Lic No. 809).
- Presented paper at the International Society of Arboriculture Conference, 2011 at Parramatta, NSW.

### **Expertise to prepare report**

- My qualifications and experience have primarily involved the management of tree issues in the urban landscape. Specifically, this has involved hazard, general or detailed assessment of tree condition on private and public land with recommendations made on preservation strategies or remedial works.
- Tree assessments to establish tree health, tree structure and arboricultural values are core components of Treemap Arboriculture's business activities.
- Prepared in excess of 2000 development reports.
- I have experience at Victorian Civil Administrative Tribunal and the magistrate's court as an expert witness on arboricultural matters.
- I have inspected and assessed well over one hundred thousand trees and managed assessment programs for at least ten times as many.

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## Appendix 1

**Tree Assessment Table**

No	Species	Common Name	DBH (cm)	TPZ AS4970 (m)	TPZr AS4970 (m)	SRZ AS4970 (m)	HxW (m)	Age	Health	Structure	Form	Comment	Tree Type	Retention value	Recommend
1	<i>Hakea francisiana</i>	Grass-leaved Hakea	15	2.00	1.55	1.55	3x3	Semi-mature	Fair	Poor	Minor asymmetry		Australian native	Low	Street tree
2	<i>Prunus cerasifera</i>	Cherry-plum	20	2.40	1.85	1.75	5x5	Semi-mature	Fair	Poor	Minor asymmetry	Woody weed	Exotic deciduous	None	Remove
3	<i>Prunus cerasifera</i>	Cherry-plum	20	2.40	1.85	1.75	5x5	Semi-mature	Fair	Poor	Minor asymmetry	Woody weed	Exotic deciduous	None	Remove
4	<i>Eucalyptus leucoxylon</i>	Yellow Gum	65	7.80	5.30	2.87	18x17	Maturing	Fair	Fair	Minor asymmetry		Victorian native	Moderate	Neighbour's tree

\*Descriptors in Appendix 2

DBH = Diameter at Breast Height in centimetres (bracketed dimension = modified diameter according to AS4970)

HxW= Height and Width of crown, in metres.

TPZ – optimum radial clearance distance as per AS4970.

TPZr – reduced radial clearance distance allowable on one side of tree as per AS4970,

SRZ – radial clearance distance to maintain tree stability, as per AS4970.

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## Appendix 2

### Descriptors (Version C - 2013)

Field name	Description
<b>No.</b>	Tree identification number. Unique numbers are assigned to each assessed individual tree or tree group.
<b>Species</b>	Identifies the tree using the international taxonomic classification system of binomial (or trinomial) nomenclature (genus, species, variety and cultivar).
<b>Common Name</b>	Provides the common name as occurs in current Australian horticultural literature. More than one common name can exist for a single tree species, or several species can share the same common name.
<b>DBH</b> (Diameter at breast height)	Indicates the trunk diameter (expressed in centimetres) of an individual tree usually measured at 1.4m above the existing ground level. Multiple stemmed trees are calculated using a formula to combine the stems into a single stem for tree protection zone calculations.
<b>TPZ</b> (Tree protection zone)	Tree protection zone expressed as a radial distance in metres, measured from trunk centre. Based on AS 4970
<b>TPZr</b> (Tree protection zone reduced)	Reduced tree protection zone expressed as a radial distance in metres measured from trunk centre and justified according to a standard (Usually AS4970) or other method.
<b>HxW</b> (Height x Width)	Indicates height and width of single tree and measurement generally expressed in whole metres

Age	Description
<i>Young</i>	Sapling tree and/or recently planted
<i>Semi-mature</i>	Tree rapidly increasing in size and yet to achieve expected size in situation
<i>Maturing</i>	Specimen approaching expected size in situation, with reduced incremental growth
<i>Over-mature</i>	Tree is senescent and in decline

Health	Term assigned that provides a broad description of the health and vigour of the tree.					
<u>Ratings</u>	<i>Good</i>	<i>Fair</i>	<i>Fair to Poor</i>	<i>Poor</i>	<i>Very poor</i>	<i>Dead</i>

Structure	Term assigned that provides a broad description of the structure and stability of the tree.					
<u>Ratings</u>	<i>Good</i>	<i>Fair</i>	<i>Fair to Poor</i>	<i>Poor</i>	<i>Very poor</i>	<i>Failed</i>

Form	Description
<i>Symmetric</i>	Evenly balanced crown
<i>Asymmetric</i>	Crown biased in one direction; can be minor or major
<i>Stump re-sprout</i>	Adventitious shoots originating from stump or trunk
<i>Manipulated</i>	Hedge, pollard, topiary, windrow; managed for specific landscape use or aesthetic outcome

Comment	Additional comments that provide specific detail on the condition of the tree or management requirements

Tree type	Description
<i>Indigenous</i>	Occurs naturally in the area or region of the subject site
<i>Victorian native</i>	Occurs naturally within some part of Victoria (not exclusively) but is not indigenous
<i>Australian native</i>	Occurs naturally within Australia but is not a Victorian native or indigenous
<i>Exotic deciduous</i>	Occurs outside of Australia and typically sheds its leaves during winter
<i>Exotic evergreen</i>	Occurs outside of Australia and typically holds its leaves all year round
<i>Exotic conifer</i>	Occurs outside of Australia and is classified as a gymnosperm
<i>Native conifer</i>	Occurs naturally within Australia and is classified as a gymnosperm
<i>Palm</i>	Woody monocotyledon
<i>Other</i>	Other descriptions as indicated

Retention value	Qualitative rating provided on tree based on assessment factors. Provided as a guide for management decisions.			
<u>Ratings</u>	<i>High</i>	<i>Moderate</i>	<i>Low</i>	<i>None</i>

Recommend	Recommended action based on condition of the tree with reference to proposed site changes							
<u>Responses</u>	<i>Retain</i>	<i>Could be retained</i>	<i>Consider removal</i>	<i>Remove</i>	<i>Street tree</i>	<i>Neighbour's Tree</i>	<i>Already removed</i>	<i>Transplant</i>

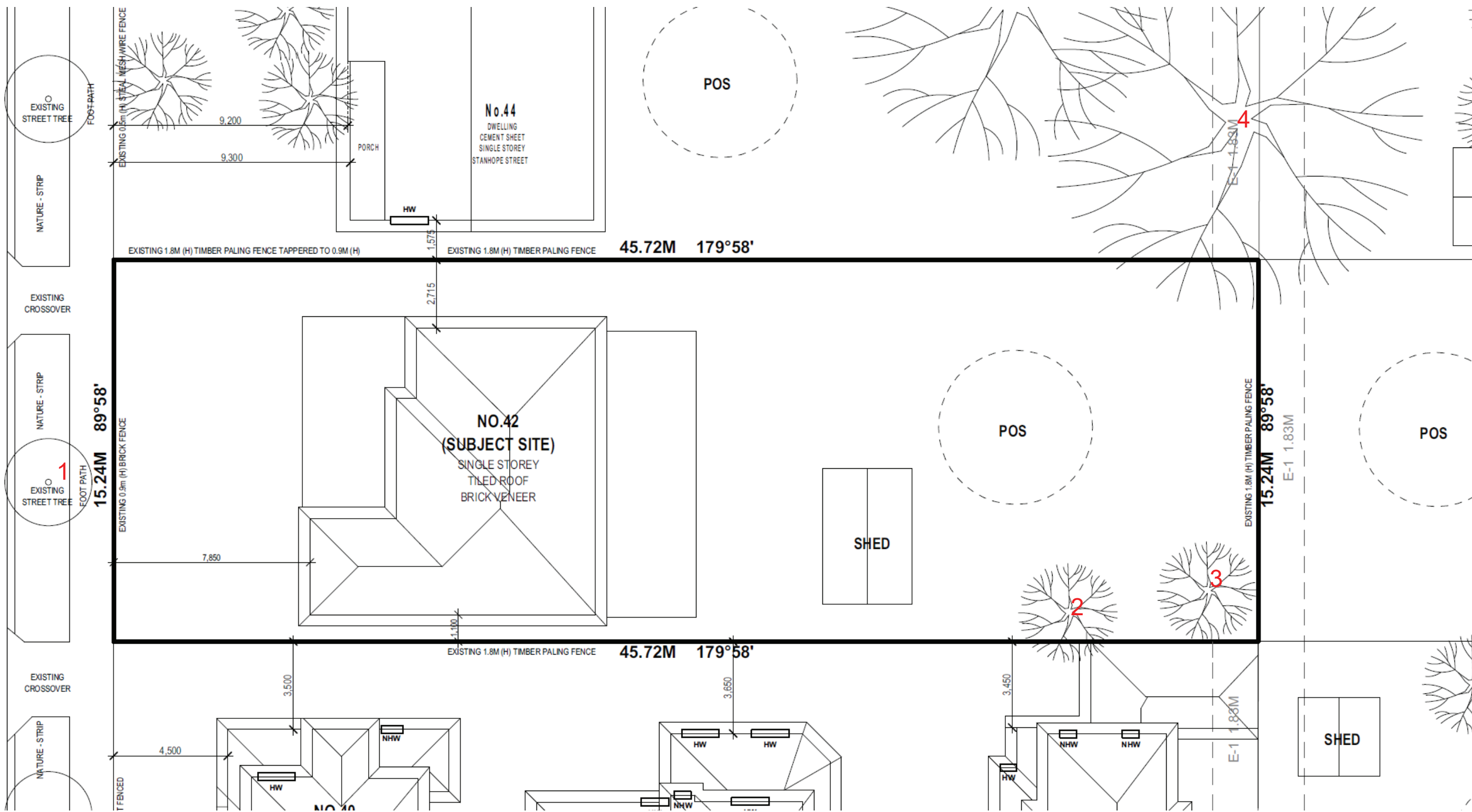
Descriptors reviewed annually and subject to change

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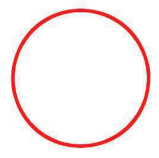


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# Appendix 3a



TPZ - AS4970

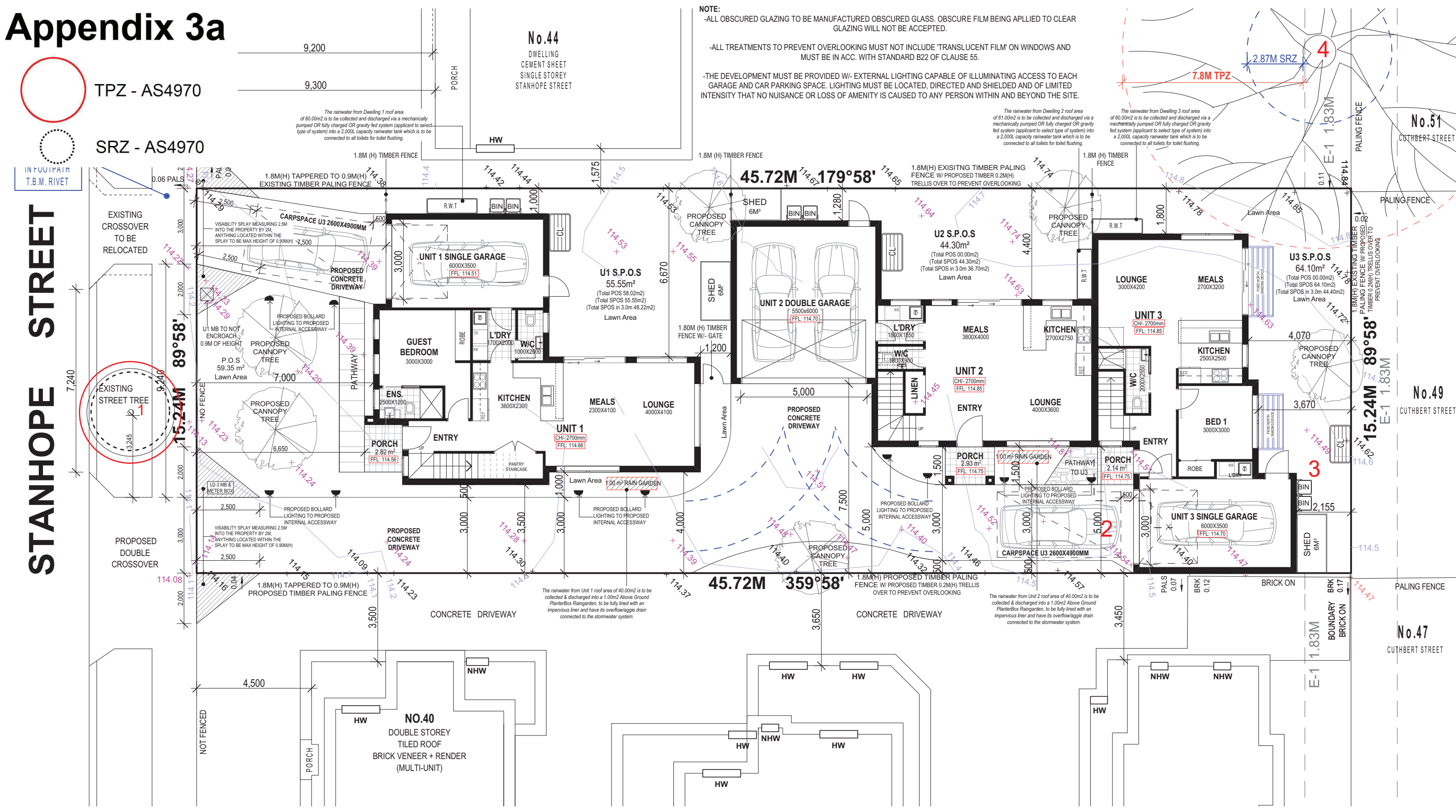


SRZ - AS4970

IN FOOTPATH T.B.M. RIVET

STANHOPE STREET

**NOTE:**  
 -ALL OBSCURED GLAZING TO BE MANUFACTURED OBSCURED GLASS. OBSCURE FILM BEING APPLIED TO CLEAR GLAZING WILL NOT BE ACCEPTED.  
 -ALL TREATMENTS TO PREVENT OVERLOOKING MUST NOT INCLUDE 'TRANSLUCENT FILM' ON WINDOWS AND MUST BE IN ACC. WITH STANDARD B22 OF CLAUSE 55.  
 -THE DEVELOPMENT MUST BE PROVIDED W/ EXTERNAL LIGHTING CAPABLE OF ILLUMINATING ACCESS TO EACH GARAGE AND CAR PARKING SPACE. LIGHTING MUST BE LOCATED, DIRECTED AND SHIELDED AND OF LIMITED INTENSITY THAT NO NUISANCE OR LOSS OF AMENITY IS CAUSED TO ANY PERSON WITHIN AND BEYOND THE SITE.



## GROUND FLOOR PLAN

SCALE: 1:100

### AREA ANALYSIS

SITE AREA	696.80m <sup>2</sup>	100%
SITE COVERAGE AREA	286.86m <sup>2</sup>	41.16%
SEALED SURFACES	156.69m <sup>2</sup>	22.48%
PERMEABLE SURFACES	262.06m <sup>2</sup>	37.61%
GARDEN AREA	244.89m <sup>2</sup>	35.14%

UNIT 1	
GROUND FLOOR	73.57m <sup>2</sup>
FIRST FLOOR	66.83m <sup>2</sup>
GARAGE	24.06m <sup>2</sup>
PORCH	2.82m <sup>2</sup>
BALCONY	4.41m <sup>2</sup>
<b>TOTAL</b>	<b>171.69m<sup>2</sup> 18.48sq</b>

UNIT 2	
GROUND FLOOR	50.81m <sup>2</sup>
FIRST FLOOR	61.75m <sup>2</sup>
GARAGE	38.07m <sup>2</sup>
PORCH	2.93m <sup>2</sup>
<b>TOTAL</b>	<b>153.56m<sup>2</sup> 16.53sq</b>

UNIT 3	
GROUND FLOOR	58.53m <sup>2</sup>
FIRST FLOOR	52.63m <sup>2</sup>
GARAGE	24.89m <sup>2</sup>
PORCH	2.14m <sup>2</sup>
<b>TOTAL</b>	<b>138.19m<sup>2</sup> 14.88sq</b>

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## TOWN PLANNING ONLY

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**CLOVIS ARCHITECTURAL PLANS & PERMITS**  
 17 HUNTINGTON GROVE, COBURG EAST 3058  
 E: DORIAN.FRANCIS.ARCHITECTURAL@GMAIL.COM

REVISIONS:	DATE:

**NOTE:** CONTRACTOR MUST CHECK ALL DIMENSIONS ON SITE BEFORE COMMENCING ANY WORKS. DRAFTSMAN TO BE NOTIFIED OF ANY DISCREPANCIES FOR CLARIFICATION.

**MULTI-UNIT DEVELOPMENT**  
**42 STANHOPE STREET**  
 BROADMEADOWS VIC 3047



<b>PROPOSED - GROUND FLOOR PLAN</b>			
CAD REF:	DRAWN BY: S.F. AR	PROJECT NO.:	REVISION NO.:
DATE: 20.07.21	SCALE: 1:100 @ A2	REVISION DATE: 1/10/2021	DRAWING No: TP 3 of 9

## Assumptions and limiting conditions of arboricultural consultancy report

1. Any legal description provided to Treemap Arboriculture is assumed to be correct. Any titles and ownerships to any property are assumed to be correct. No responsibility is assumed for matters outside the consultant's control.
2. Treemap Arboriculture assumes that any property or project is not in violation of any applicable codes, ordinances, statutes or other local, state or federal government regulations.
3. Treemap Arboriculture has taken care to obtain all information from reliable sources. All data has been verified insofar as possible; however Treemap Arboriculture can neither guarantee nor be responsible for the accuracy of the information provided by others not directly under Treemap Arboriculture control.
4. No Treemap Arboriculture employee shall be required to give testimony or to attend court by reason of this report unless subsequent contractual arrangements are made, including payment of an additional fee for such services.
5. Loss of this report or alteration of any part of this report not undertaken by Treemap Arboriculture invalidates the entire report.
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