

Application for Planning Permit

Planning Enquiries
 Phone: 03 9205 2200
 Web: <http://www.hume.vic.gov.au>

If you need help to complete this form, read [How to complete the Application for Planning Permit form.](#)

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) are mandatory and must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet.

Clear Form

The Land i ① Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 21	St. Name: MITFORD CRESCENT
Suburb/Locality: CRAIGIEBURN		Postcode: 3064

Formal Land Description *

Complete either A or B.

⚠ This information can be found on the certificate of title.

A Lodged Plan Title Plan Plan of Subdivision

OR

B

If this application relates to more than one address, please click this button and enter relevant details.

Add Address

The Proposal i **⚠** You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

② For what use, development or other matter do you require a permit? *

If you need help about the proposal, read:
[How to Complete the Application for Planning Permit Form](#)

Select the focus of this application and describe below: v

PROPOSED DUAL OCCUPANCY AND A NEW CROSSOVER.

Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

③ Estimated cost of development for which the permit is required *

⚠ You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within **metropolitan Melbourne** (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy **must** be paid to the State Revenue Office and a current levy certificate **must** be submitted with the application. Visit www.sro.vic.gov.au for information.


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Existing Conditions

4 Describe how the land is used and developed now *

eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

A SINGLE STOREY DWELLING

 Provide a plan of the existing conditions. Photos are also helpful.


Title Information

5 Encumbrances on title *

If you need help about the title, read:
[How to complete the Application for Planning Permit form](#)

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes. (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
 No
 Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive covenants.)

Applicant and Owner Details

6 Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Name:
Title: First Name: Surname:
Organisation (if applicable):
Postal Address: Unit No.: St. No.: If it is a P.O. Box, enter the details here: St. Name:
Suburb/Locality: State: Postcode:

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

Contact person's details * Same as applicant (if so, go to 'contact information')
Name:
Title: First Name: Surname:
Organisation (if applicable):
Postal Address: Unit No.: St. No.: If it is a P.O. Box, enter the details here: St. Name:
Suburb/Locality: State: Postcode:

Please provide at least one contact phone number *

Contact information
Business Phone: Email:
Mobile Phone: Fax:

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.



Declaration i

⑦ **This form must be signed by the applicant ***

⚠ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature:



Date: 01/10/2021

day / month / year

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Need help with the Application?

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#)
General information about the planning process is available at www.delwp.vic.gov.au/planning

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

8 Has there been a pre-application meeting with a Council planning officer?

No Yes

If 'yes', with whom?:

Date:


day / month / year

Checklist

9 Have you:

Filled in the form completely?

Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

Provided all necessary supporting information and documents?

A full, current copy of title information for each individual parcel of land forming the subject site

A plan of existing conditions.

Plans showing the layout and details of the proposal

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).

If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.

Completed the relevant Council planning permit checklist?

Signed the declaration (section 7)?

Lodgement

Lodge the completed and signed form, the fee payment and all documents with:

Hume City Council
PO Box 119 Dallas VIC 3047
Pascoe Vale Road Broadmeadows VIC 3047

Contact information:

Telephone: 61 03 9205 2200

Email: email@hume.vic.gov.au

DX: 94718

Translation: 03 9205 2200 for connection to Hume Link's multilingual telephone information service

Deliver application in person, by fax, or by post:

Print Form

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address. This is usually your local council but can sometimes be the Minister for Planning or another body.

Save Form:

Save Form To You

You can save this application form to your computer to complete or review later or email it to others to complete relevant sections.

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REGISTER SEARCH STATEMENT (Title Search) Transfer of Land Act 1958

Page 1 of 1

VOLUME 09233 FOLIO 057

Security no : 124092824292J
Produced 01/10/2021 08:10 PM

LAND DESCRIPTION

Lot 150 on Plan of Subdivision 115133.
PARENT TITLE Volume 09175 Folio 337
Created by instrument LP115133 27/09/1977

REGISTERED PROPRIETOR



ENCUMBRANCES, CAVEATS AND NOTICES



Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP115133 FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 21 MITFORD CRESCENT CRAIGIEBURN VIC 3064

ADMINISTRATIVE NOTICES

NIL

eCT Control 18440T MSA NATIONAL
Effective from 30/04/2021

DOCUMENT END



Imaged Document Cover Sheet

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LP115133
EDITION 1

PLAN OF SUBDIVISION
OF PART OF CROWN SECTION 16
PARISH OF YUROKE
COUNTY OF BOURKE

LENGTHS ARE IN METRES

APPROPRIATIONS

BLUE & BLUE HATCHED DRAINAGE & SEWERAGE
BROWN WAY, DRAINAGE & SEWERAGE
PURPLE & BLUE HATCHED ELECTRICITY SUPPLY THE LAND COLOURED PURPLE IS 1 METRE WIDE AND 2 METRES IN LENGTH UNLESS OTHERWISE SHOWN

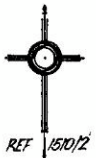
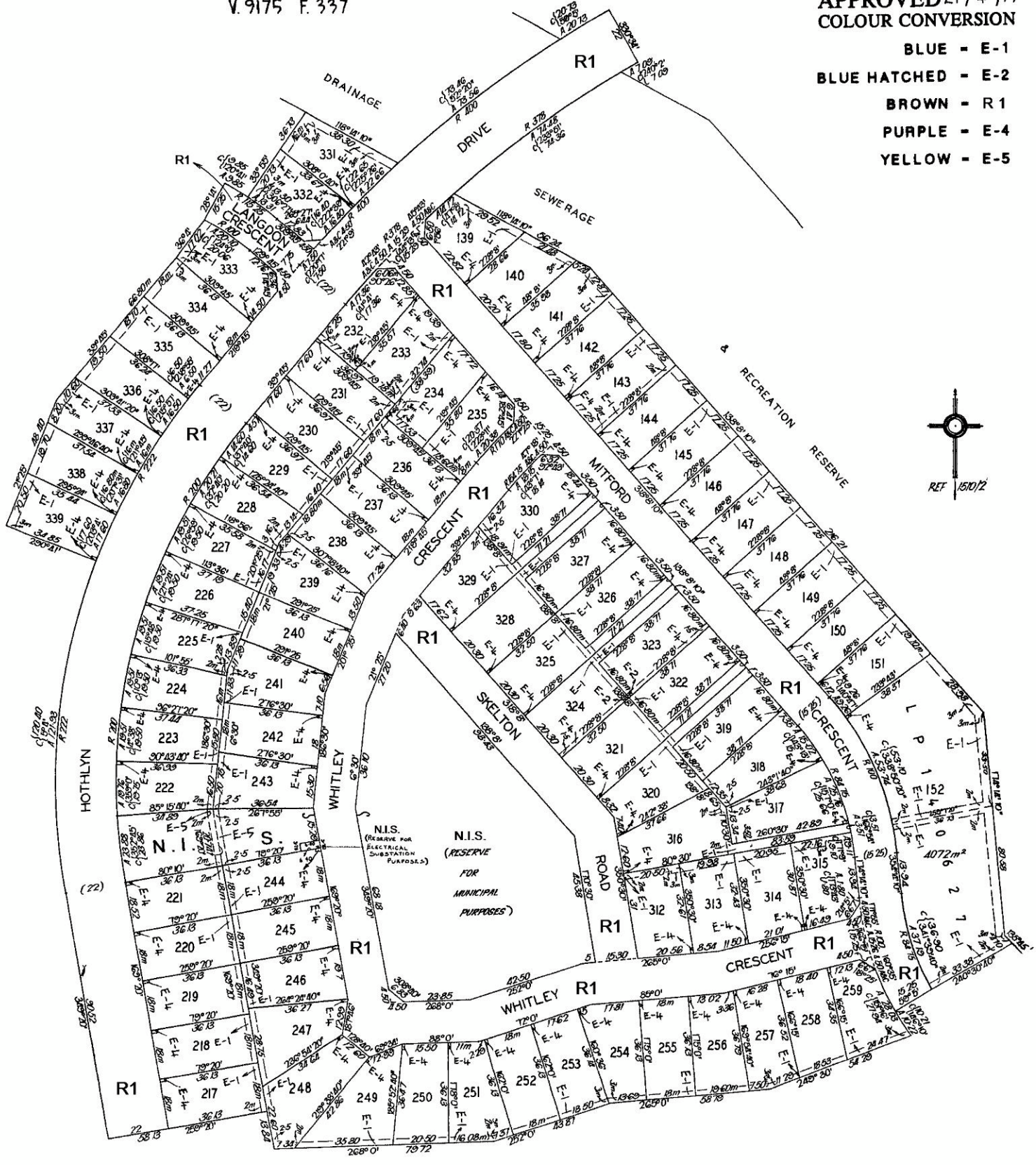
NOTATIONS

LOT 1-138, BOTH INCLUSIVE, 153-216, BOTH INCLUSIVE, AND 260-311 BOTH INCLUSIVE, HAVE BEEN OMITTED FROM THIS PLAN
YELLOW IMPAIRED DRAINAGE & SEWERAGE WIDE L.P. 115132
PART OF R1 IS FURTHER ENCLUMBERED FOR WAY, DRAINAGE & SEWERAGE WIDE LP 115132

V. 9175 F. 337

APPROVED 21/4/77
COLOUR CONVERSION

- BLUE - E-1
- BLUE HATCHED - E-2
- BROWN - R 1
- PURPLE - E-4
- YELLOW - E-5



TOWN PLANNING SUBMISION

Application for Planning Permit

Project: Proposed Dual Occupancy
Municipality: Hume City Council
Address: 21 Mitford Crescent-Craigieburn, Vic 3064
Client: [REDACTED]

Content:

Design Response Report -Clause 55	Page 1-8
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General Residential Zone (GRZ1)	Page 9-10



Feras Building
DESIGN

| PO Box 247-Craigieburn, Vic 3064 |

| Tel/Fax: (03) 9305 1234 | Mob: 0423 489 804 | Email: feras@ferasdesign.com.au | Web: www.ferasdesign.com.au |

55.01 Neighbourhood and Site Description and Design Response

01-1 In relation to the neighbourhood

Pattern of Development

The area is characterized by housing types that are approximately 30-year-old of varying sizes – typically 250m² and up to 400m² privately built homes. A mix of allotment sizes exists averaging 650m². The front setbacks of houses vary from 7.4m-9.6m. Homes are privately built brick veneer and Rendered residences, single and double storey Dwellings.



Samples of houses in Mitford Crescent



The bulk of residences in the immediate vicinity have the following characteristics;

- Single and double storey Dwellings.
- Hipped tiled roofs some with gables
- Front setbacks are consistently between 7.4 and 9.6metres.
- Timber, Rendered and face brick finishes.
- Front fences vary in height, many with no fences

In relation to the site

The site is located on North East side of Mitford Crescent with a rectangular shape and an area of 651m². It has a 3.5m wide concrete driveway extending along the North West boundary. The site slopes steadily downwards away from Mitford Crescent and is consistent in its levels with the sites to the North East, North West and South East. The site falls approximately 1m from its highest to lowest points, A 3m wide drainage and sewerage easement running along the rear boundary.

An existing single storey Dwelling on the site is to be demolished.

The location of secluded private open spaces and habitable room windows within 9m of the boundaries have been indicated on the context plan.

There are few small to medium size unprotected trees exist on site and are proposed to be removed.

Solar access to the site and surrounding sites is uninhibited

Neighborhood Character and Infrastructure

55.02.1

The proposed design seeks to be respectful the existing neighbourhood character by;

1. Maintaining the specified front setback
2. Proposing hipped tiled Roof.
3. Proposing front Brick fence (0.9m high) with metal upright infills.
4. Respect for the scale and massing of building forms common to the area, has been incorporated by ensuring that the proposed residences incorporate the following,
 - Variation in the use of materials and colours to articulate the elevations including Brick and render finish with different colours.
 - Implementing the use of protruding and recessed forms to articulate the façade.

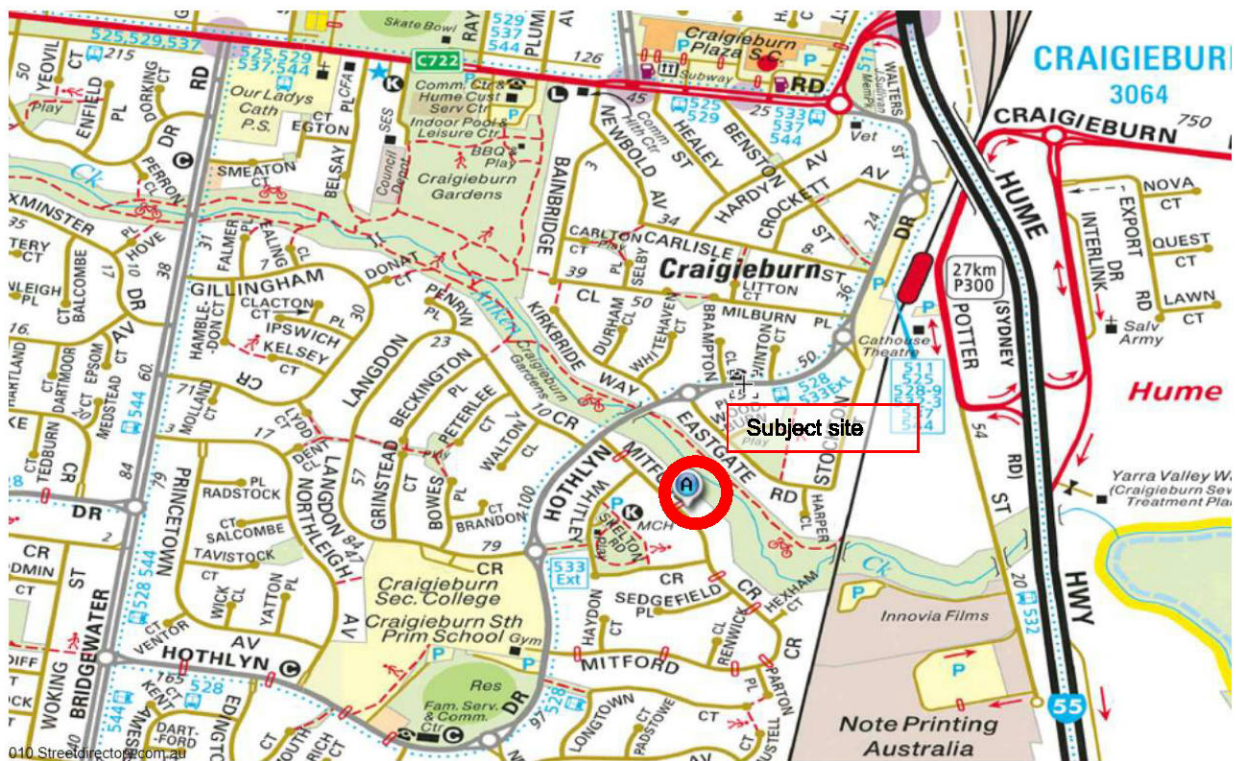
- Proposing sufficient setbacks from all boundaries except where wall proposed on boundaries for Garages.

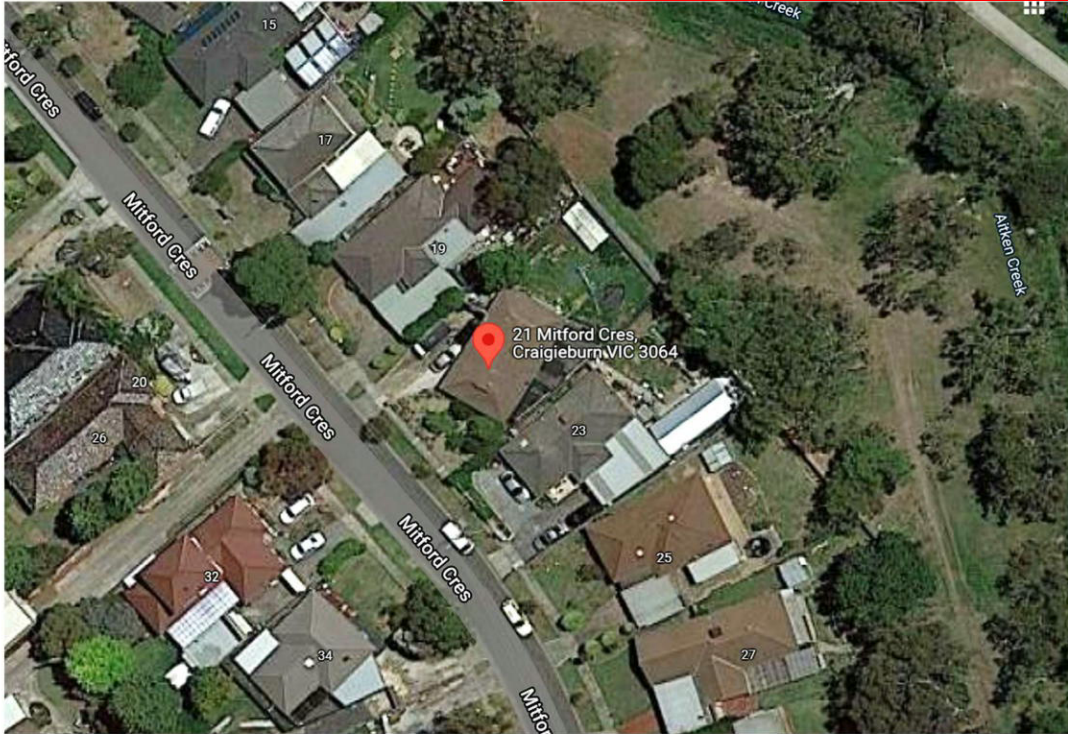
The planning of the dwellings seeks to create an intimate relationship between the interior and exterior through the use of sliding doors – windows which open onto the outdoor space.

Residential Policy Objectives
55.02.2

The proposal seeks to provide medium density housing where it can take advantage of close distances to;

- The nearby Hothlyln Drive Shops.
- Transport links.
- Nearby community infrastructure including parks, schools, sports and medical facilities as indicated on the context plan.





Satellite image of 21 Mitford Crescent

Dwelling diversity objective

55.02-3

N.A

Infrastructure objectives

55.02-4

Our proposal is not excessive. It will not exceed the capacity of utility services and infrastructure, including reticulated services and roads.

Integration with the Street Objective

55.02.5

The proposal seeks to integrate its layout with the street by;

- Maintaining the generous average front setback.
- Proposing single storey Dual occupancy.
- Using materials and forms that are in keeping with the scale and configuration of new and existing dwellings in the neighbourhood.
- Proposing front Brick fence with metal upright infills (0.9m high).

55.03 SITE LAYOUT AND MASSING	
Street Setback (B6)	The front setback is 7.88 meters, the average front setback for No 19 Mitford Crs (7.85) and the front setback for No 23 Mitford Crs (7.90m)

<p>Building heights (B7)</p>	<p>Dwelling 1: The apex of its roof is approximately 4.86m above natural ground level.</p> <p>Dwelling 2: The apex of its roof is approximately 4.73m above natural ground level.</p> <p>All walls in proximity of boundaries conform to heights set out in Rescode.</p>
<p>Site coverage objective (B8)</p>	<p>Site Area is approximately 651m²</p> <p>Site coverage of buildings is 357.8m² (55%) in total.</p>
<p>Permeability objectives (B9)</p>	<p>Permeable area proposed is 260m² which equates to 40% of the site area. This exceeds the ratio required in Rescode.</p>
<p>Energy efficiency objectives (B10)</p>	<p>We have been advised by Energy Concepts in their preliminary analysis that all dwellings can achieve a minimum of 6-star rating. The energy efficiency of dwellings on adjacent sites is not affected.</p>
<p>Open space objective (B11)</p>	<p>N.A</p>
<p>Safety Objective (B12)</p>	<p>Entries of dwellings are easily identifiable and exposed to Mitford Crescent.</p>
<p>Landscaping Objective (B13)</p>	<p>An extensive landscaping proposal has been indicatively depicted and will be confirmed with a landscape architect. One shade tree is proposed for each unit.</p>
<p>Access Objectives (B14)</p>	<p>Existing crossover will be used for Dwelling No 1. A new crossover to the South East side is proposed for Dwelling No 2</p>
<p>Parking location objectives (B15)</p>	<p>Each proposed garage is located close and convenient to its dwelling, secure and well ventilated.</p>
<p>55.04 AMENITY IMPACTS</p>	
<p>Side and rear setbacks (B17)</p>	<p>The South Eastern side boundary vary from being on boundary to predominantly 1.55m and up to 3.55m.</p> <p>The North Western side boundary vary from being on boundary to predominantly 1.65m and up to 3.65m.</p> <p>The North Eastern side (rear) setback is 5.25m</p>
<p>Walls on boundaries objective (B18)</p>	<p>Where walls exist on the boundary, they do not exceed 3.2m in height. The length of the walls on the boundaries falls well within the Rescode requirements.</p>
<p>Daylight to existing windows objective. (B19)</p>	<p>NO additional overshadowing occurs</p>

<p>North-facing windows objective. (B20)</p>	<p>There are no north facing habitable room windows of adjacent existing dwellings. The habitable room window of the existing dwelling to the South East (No 23 Mitford Crs) is not considered a north facing window as the perpendicular line to its surface makes an angle greater than 20 degree (40d) with the North.</p>
<p>Overshadowing open space objective (B21)</p>	<p>There is a small amount of overshadowing at 3.00 pm passing the existing fence shadow occurs over the secluded private open space of No 23 Mitford Crescent, however the remaining area of it that is not over shadowed at the same time is greater than 40m² as shown on the 3PM shadow diagram.</p> <p>No over shadowing occurs at any other times.</p>
<p>Overlooking objective (B22)</p>	<p>The North West Living window of Dwelling No 1 and the South East living window of Dwelling No 2 have been made obscure glazed up to 1.7m of the finished floor level, because the finished floor level under these windows is slightly higher than 800mm above natural ground level at the boundary line. The North East windows of the living areas of Dwelling 1 & 2 (to the Rear) do not overlook the neighbouring sites as shown on the plan provided on plan TP-6B</p> <p>No overlooking exists from all other habitable room windows to the sides and front as the finished floor level is much below 800mm above natural ground level under these windows as shown on the elevations plan.</p>
<p>Internal views objective (B23)</p>	<p>Internal views occurs between the 2 Dwellings at rear through the sliding door facing the secluded private open spaces however the area of each secluded private open space that is exposed is less than the half area of the secluded private open space.</p>
<p>Noise impact objectives (B24)</p>	<p>N.A</p>
<p>55.05 ON-SITE AMINITY AND FACILITIES</p>	
<p>Accessibility objective (B25)</p>	<p>The entries of dwellings are able to be easily made accessible to people with limited mobility.</p>
<p>Dwelling entry objective (B26)</p>	<p>Each dwelling has its own entry with a porch visible and easily identifiable from Mitford Crescent.</p>
<p>Daylight to new windows objective (B27)</p>	<p>All new habitable room windows receive adequate daylight.</p>
<p>Private Open Space Objective (B28)</p>	<p>For Dwelling 1; we propose 81.4m² of secluded private open space at rear and side of the Dwelling as well as 40m² of open space located at the front of the Dwelling onto which the Master Bedroom is directed.</p>

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	For Dwelling 2; we propose 79m ² of secluded private open space at rear and side of the Dwelling as well as 39m ² of open space located at the front of the Dwelling onto which the Master Bedroom is directed.
Solar access to open space objective (B29)	The proposed secluded private open spaces are located to the North East of the site and receive good solar access.
Storage objective (B30)	Each dwelling has its own 6m ³ storage area located in its private open space.
55.06 DETAILED DESIGN	
Design detail objective (B31)	Proposing hipped tiled roof at 22.5 degree pitch with 450mm eaves to all sides. Use of protruding and recessed form to articulate the elevations. Variation in the use of materials and colours
Front fences objective (B32)	0.9m high Brick fence is proposed.
Common property objectives (B33)	Our proposal will not cause future management difficulties in areas of common ownership.
Site services objectives (B34).	Mailboxes, bins and recycling enclosures are located for convenient access by residents.



looking to North East from within subject site

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looking to South East from within subject site



looking to North West from within subject site



looking to South West from within subject site

52.06 CAR PARKING

Parking Provision Objectives 52.06-5: Number of car parking spaces.	A single garage and a car space are proposed for each Dwelling (4 in total).
--	--

53.18 Storm Water Management In Urban Development

The proposal complies well with the requirement of close 53.18 as shown on the Roof Catchment Plan No TP-5B

General Residential Zone (R1Z)

Construction or extension of a dwelling or residential building

Minimum garden area requirement

An application to construct or extend a dwelling or residential building on a lot must provide a minimum garden area as set out in the following table:

Lot size	Minimum percentage of a lot set aside as garden area
400 - 500 sqm	25%
Above 500 - 650 sqm	30%
Above 650 sqm	35%

Response: Subject site area is 651m²

Required Garden area is 35%. $651 \times 0.35 = 228\text{m}^2$

Garden area proposed is 228.9m² which equals 35.16%

Construction and extension of two or more dwellings on a lot, Dwellings On common property and residential buildings

Permit requirement

A permit is required to:

- Construct a dwelling if there is at least one dwelling existing on the lot.
- Construct two or more dwellings on a lot.
- Extend a dwelling if there are two or more dwellings on the lot.
- Construct or extend a dwelling if it is on common property.
- Construct or extend a residential building.
- A permit is required to construct or extend a front fence within 3 metres of a street if:
 - The fence is associated with 2 or more dwellings on a lot or a residential building, and
 - The fence exceeds the maximum height specified in Clause 55.06-2.
- A development must meet the requirements of Clause 55. This does not apply to a development of five or more storeys, excluding a basement.

SCHEDULE 1 TO CLAUSE 32.08 GENERAL RESIDENTIAL ZONE

Requirements of Clause 55 Standard Requirement

Minimum street setback	B6	Refer to above Table
Site coverage	B8	Refer to above Table
Permeability	B9	Refer to above Table
Landscaping	B13	Refer to above Table
Side and rear setbacks	B17	Refer to above Table
Walls on boundaries	B18	Refer to above Table
Private open space	B28	Refer to above Table
Front fence height	B32	Refer to above Table

Maximum building height requirement for a dwelling or residential building

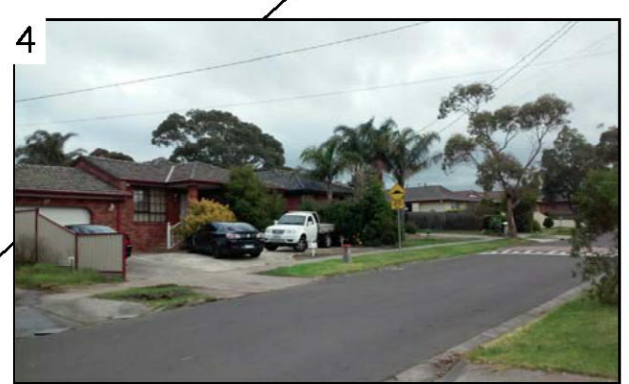
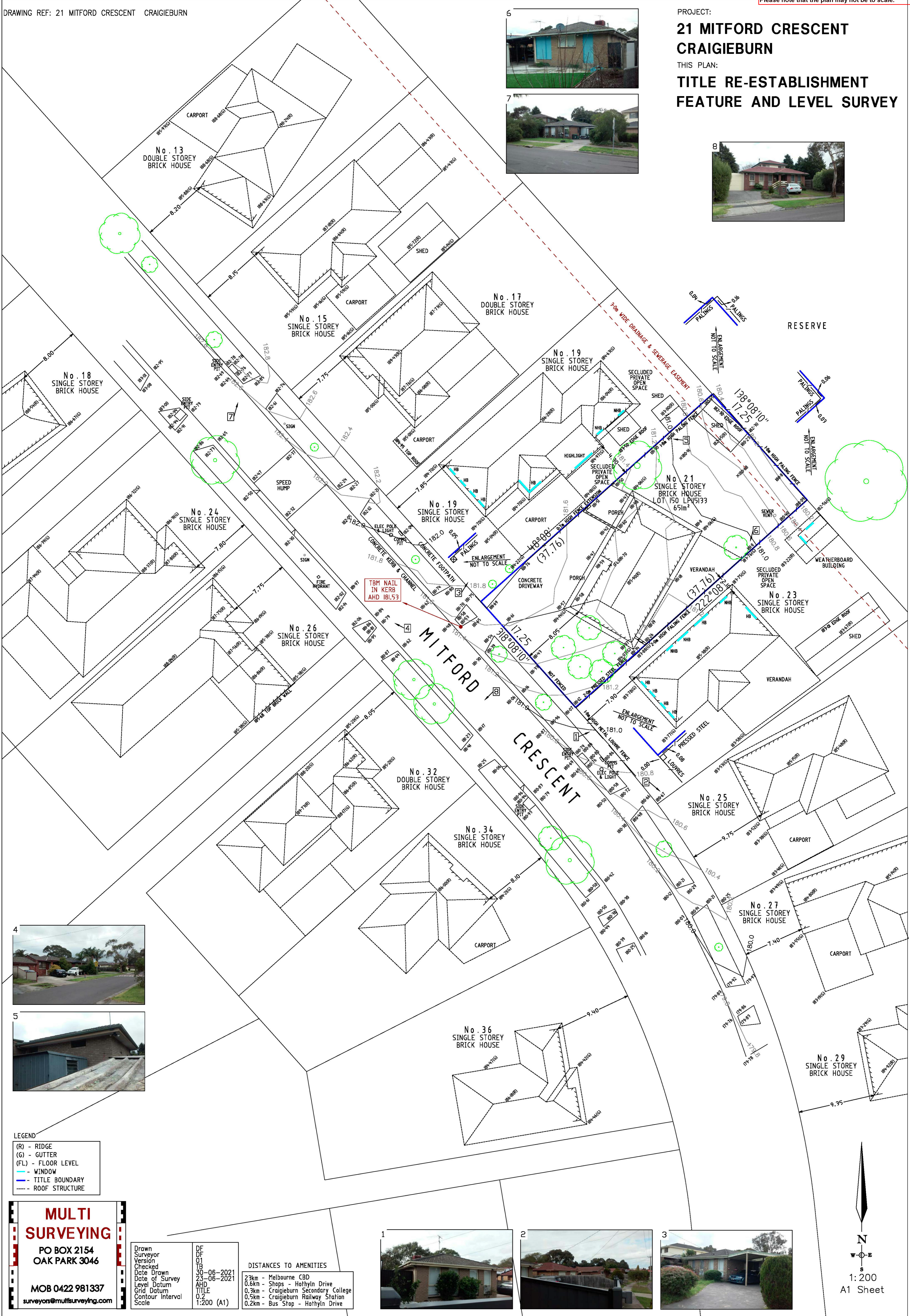
- The building height must not exceed 11 metres; and
- The building must contain no more than 3 storeys at any point.

Response: the maximum proposed height of the development (4.86m) does not exceed 11m neither three storeys.

If a requirement is not specified in a schedule to this zone, the requirement set out in the relevant standard of Clause 55 applies - (refer to above Table)

DRAWING REF: 21 MITFORD CRESCENT CRAIGIEBURN

PROJECT:
**21 MITFORD CRESCENT
 CRAIGIEBURN**
 THIS PLAN:
**TITLE RE-ESTABLISHMENT
 FEATURE AND LEVEL SURVEY**



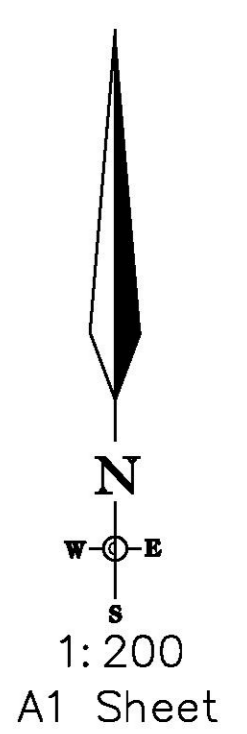
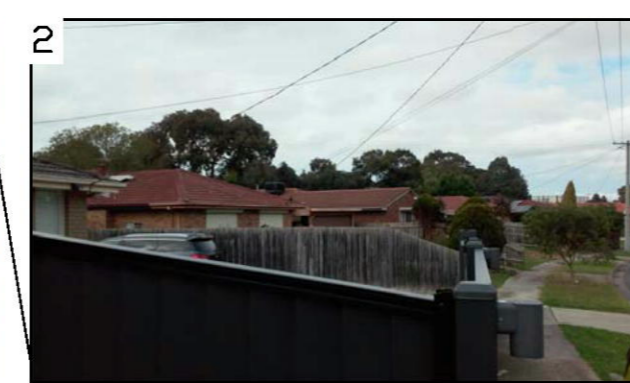
LEGEND
 (R) - RIDGE
 (G) - GUTTER
 (FL) - FLOOR LEVEL
 - WINDOW
 - TITLE BOUNDARY
 - ROOF STRUCTURE

MULTI SURVEYING
 PO BOX 2154
 OAK PARK 3046
 MOB 0422 981337
 surveyors@multisurveying.com



Drawn: Surveyor
 Version: 01
 Checked: TB
 Date Drawn: 30-06-2021
 Date of Survey: 23-06-2021
 Level Datum: AHD
 Grid Datum: AHD
 Contour Interval: 0.2
 Scale: 1:200 (A1)

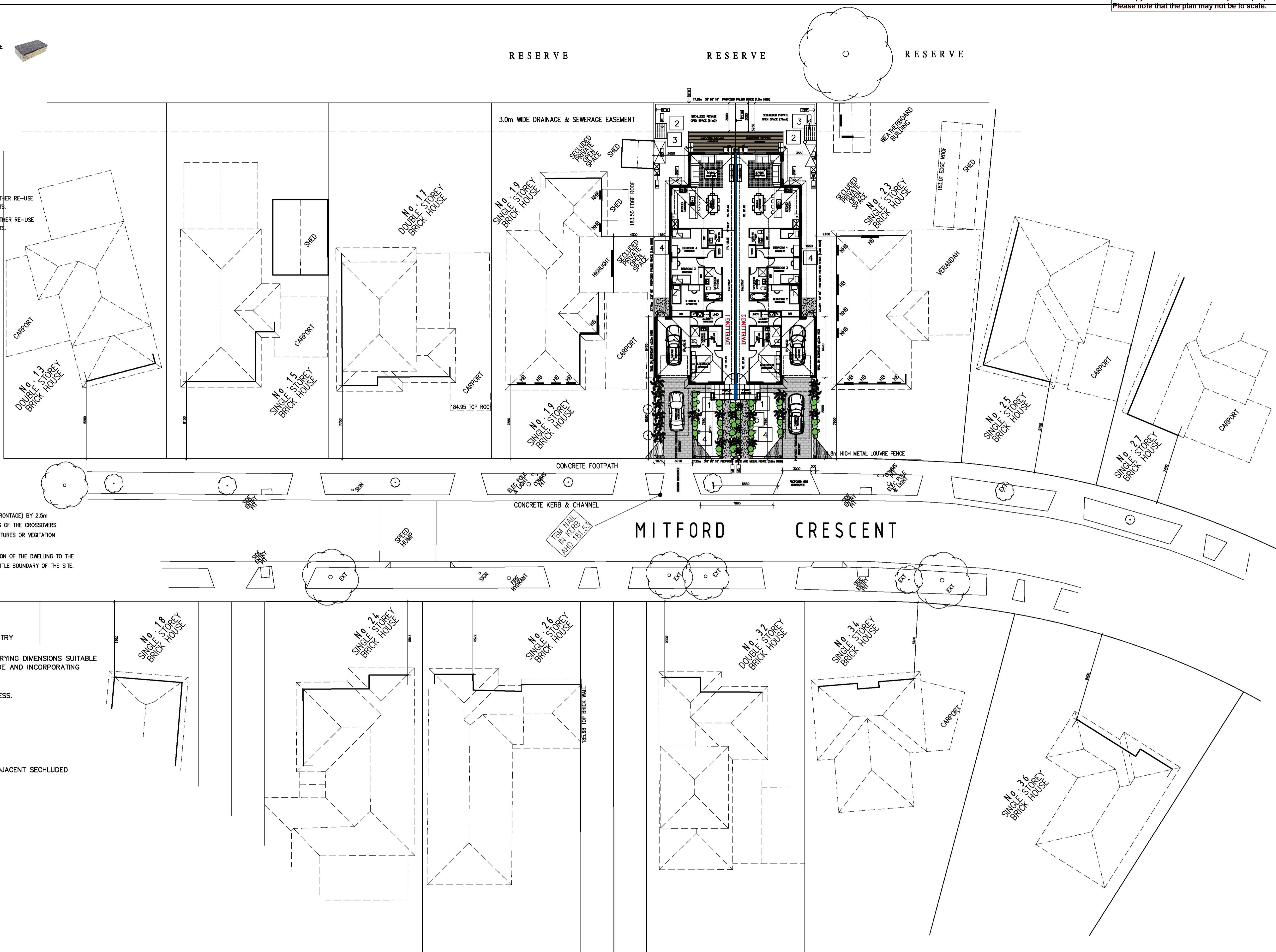
DISTANCES TO AMENITIES

2.3km	- Melbourne CBD
0.6km	- Shops - Hathlyn Drive
0.3km	- Craigieburn Secondary College
0.5km	- Craigieburn Railway Station
0.2km	- Bus Stop - Hathlyn Drive



LEGEND

-  PREMIER HYDROPAVERS. PERMEABLE DRIVEWAY-300mmX300mm MADE OF RECYCLED CERAMIC MATERIAL, STRONG AND FULLY PERMEABLE
-  CONCRETE PAVING DRAINS INTO ADJACENT GARDEN AREA
- B BINS
- CL CLOTHES LINE
- EXT EXISTING TREE
- FF18 FEATURE FENCE (0.9m HIGH)
- FPA FOOD PRODUCTION AREA (2m2)
- HB HABITABLE ROOM WINDOW
- M1 DWELLING 1 MAILBOX
- M2 DWELLING 2 MAILBOX
- NHW NON HABITABLE ROOM WINDOW
- PF19 PROPOSED PALING FENCE (1.9m HIGH)
- RTW SLEEPER RETAINING WALL 400mm-600mm HIGH
- RWT1 RAINWATER TANK (1500L) CONNECTED TO TOILETS, IRRIGATION OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
- RWT2 RAINWATER TANK (2000L) CONNECTED TO TOILETS, IRRIGATION OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
- SS STORAGE SHED(6m3)



NOTES:

- NO.1 PEDESTRIAN VISIBILITY SPLAYS MEASURING 2m (WIDTH ACROSS THE FRONTAGE) BY 2.5m (DEPTH INTO THE SITE), TO THE SOUTH EAST AND NORTH WEST SIDES OF THE CROSSOVERS TO MITFORD CRESCENT. WHERE WITHIN THE SUBJECT SITE, ANY STRUCTURES OR VEGETATION WITHIN THESE SPLAYS MUST NOT BE MORE THAN 900mm IN HEIGHT.
- NO.2 SIDE FENCES TO TAPER DOWN TO 900mm FROM THE FRONT ELEVATION OF THE DWELLING TO THE FRONT TITLE BOUNDARY ALONG THE NORTH EAST AND SOUTH WEST TITLE BOUNDARY OF THE SITE.
- NO.3 ALL HABITABLE ROOM WINDOWS TO BE DOUBLE GLAZED

- 1 INDIVIDUAL ADDRESS AND READILY IDENTIFIABLE ENTRY
- 2 SPOS; SUFFICIENT DIMENSIONS, SOLAR ACCESS, VARYING DIMENSIONS SUITABLE VARIETY OF USES, CLOSELY INTEGRATED WITH INSIDE AND INCORPORATING ONE LARGE SHADE TREE
- 3 CLOTHES LINE LOCATED FOR MAXIMUM SOLAR ACCESS.
- 4 SETBACKS ARE MAINTAINED AS PER RESCODE.
- 5 FRONT YARD IS MAINTAINED AS AN OPEN SPACE.
- 6 WINDOWS POSITIONED TO AVOID OVERLOOKING TO ADJACENT SECLUDED PRIVATE OPEN SPACES.
- 7 HIPPED TILED ROOF AND SKELION ROOF
- 8 SINGLE STOREY DWELLING.

DESIGN RESPONSE PLAN



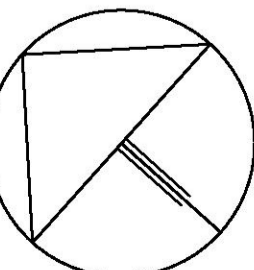
Feras Al Asaad
Building Designer DP-AD 36309
 | PO BOX 247 CRAIGIEBURN, VIC 3064 |
 | Tel / Fax: (03) 9305 1234 | Mob: 0423 489 804 |
 | Email: feras@ferasdesign.com.au | Web: www.ferasdesign.com.au |



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REV	DESCRIPTION	DATE	BY
A	ISSUED FOR PLANNING PERMIT	1/10/21	F.A
B	AMENDED AS PER COUL'S FURTHER INFORMATION LETTER DATED 10/11/2021	16/11/2021	F.A
C			
D			
E			
F			

PROJECT			
PROPOSED DUAL OCCUPANCY AT 21 MITFORD CRESCENT IN CRAIGIEBURN FOR MR ALAA HAMZE			
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO
1/200	01/10/21	FERAS AL ASAAD	AH-0621
DRAWING (NO.)			CAD NO
TP-1B			AH-P1008



DEVELOPMENT SUMMARY

AREA DESCRIPTION	AREA m2
SITE AREA	651m2
BUILDING AREA ON GROUND	357.8m2
DRIVEWAYS	54m2
SITE COVERAGE BUILDINGS	55%
PERMEABLE AREA	259m2 (40%)
GARDEN AREA	228.9m2 (35.16%)

AREA DESCRIPTION	DWLLNG 1	DWLLNG 2
GROUND FLOOR AREA	150.6m2	150.6m2
PORCH	4.3m2	4.3m2
GARAGE AREA	24m2	24m2
POS (secluded)	81.4m2	79m2
POS	40m2	39m2

LEGEND

- PREMIER HYDROPAVERS, PERMEABLE DRIVEWAY-300mmX300mm MADE OF RECYCLED CERAMIC MATERIAL, STRONG AND FULLY PERMEABLE
- CONCRETE PAVING DRAINS INTO ADJACENT GARDEN AREA
- B BINS
- CL CLOTHES LINE
- EXT EXISTING TREE
- FF18 FEATURE FENCE (0.9m HIGH)
- FPA FOOD PRODUCTION AREA (2m2)
- HB HABITABLE ROOM WINDOW
- M1 DWELLING 1 MAILBOX
- M2 DWELLING 2 MAILBOX
- NHW NON HABITABLE ROOM WINDOW
- PF19 PROPOSED PALING FENCE (1.9m HIGH)
- RTW SLEEPER RETAINING WALL 400mm-600mm HIGH
- RWT1 RAINWATER TANK (1500L) CONNECTED TO TOILETS, IRRIGATION OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
- RWT2 RAINWATER TANK (2000L) CONNECTED TO TOILETS, IRRIGATION OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
- SS STORAGE SHED(6m3)

NOTES:

- NO.1 PEDESTRIAN VISIBILITY SPLAYS MEASURING 2m (WIDTH ACROSS THE FRONTAGE) BY 2.5m (DEPTH INTO THE SITE), TO THE SOUTH EAST AND NORTH WEST SIDES OF THE CROSSOVERS TO MITFORD CRESCENT. WHERE WITHIN THE SUBJECT SITE, ANY STRUCTURES OR VEGETATION WITHIN THESE SPLAYS MUST NOT BE MORE THAN 900mm IN HEIGHT.
- NO.2 SIDE FENCES TO TAPER DOWN TO 900mm FROM THE FRONT ELEVATION OF THE DWELLING TO THE FRONT TITLE BOUNDARY ALONG THE NORTH EAST AND SOUTH WEST TITLE BOUNDARY OF THE SITE.
- NO.3 ALL HABITABLE ROOM WINDOWS TO BE DOUBLE GLAZED

SDA NOTES:

- KEY SUSTAINABLE DESIGN STRATEGIES CONSIDERED IN THE DEVELOPMENT INCLUDE:
- HIGH-PERFORMANCE BUILDING FABRIC WITH GOOD LEVELS OF INSULATION
- ENERGY EFFICIENT LED LIGHTS

WATER

- SHOWERHEADS 4 STAR WELS (>= 6 BUT <= 7.5)
- TAPS: KITCHEN, BATHROOM >=5 STAR WELS RATING
- WC >=4 STAR WELS RATING
- DISHWASHERS WATER EFFICIENCY: >=3 STAR WELS RATING
- WASHING MACHINE WATER EFFICIENCY: 3 STAR
- WATER EFFICIENT LANDSCAPING TO BE INSTALLED
- RAINWATER TANK CONNECTED TO TOILETS

ENERGY

- DOUBLE GLAZING: TO BE PROVIDED TO ALL HABITABLE ROOM WINDOWS
- HEATING SYSTEM: 3 STAR GAS CENTRAL DUCTS
- COOLING SYSTEM: 3 STAR REFRIGERATIVE DUCTED
- HOT WATER SERVICE: 5 STAR GAS INSTANTANEOUS
- PRIVATE OUTDOOR CLOTHESLINE TO BE PROVIDED
- EXTERNAL LIGHTS TO BE CONTROLLED BY A MOTION DETECTOR.
- MAXIMUM ILLUMINATION POWER DENSITY OF 4W/SM OR LESS

NOTE: RAINWATER HARVESTING TANKS NOTED TO BE USED ONLY FOR RE-USE WITHIN THE DWELLING AND THAT THEY ARE COMPLETELY INDEPENDENT OF ANY DETENTION REQUIREMENTS

INDOOR ENVIRONMENT QUALITY

- DOUBLE GLAZING REQUIRED TO ALL HABITABLE ROOM WINDOWS AS PER MATHERS CERTIFICATE.
- EXTERNAL SHADING TO BE PROVIDED TO HABITABLE ROOM WINDOWS

URBAN ECOLOGY

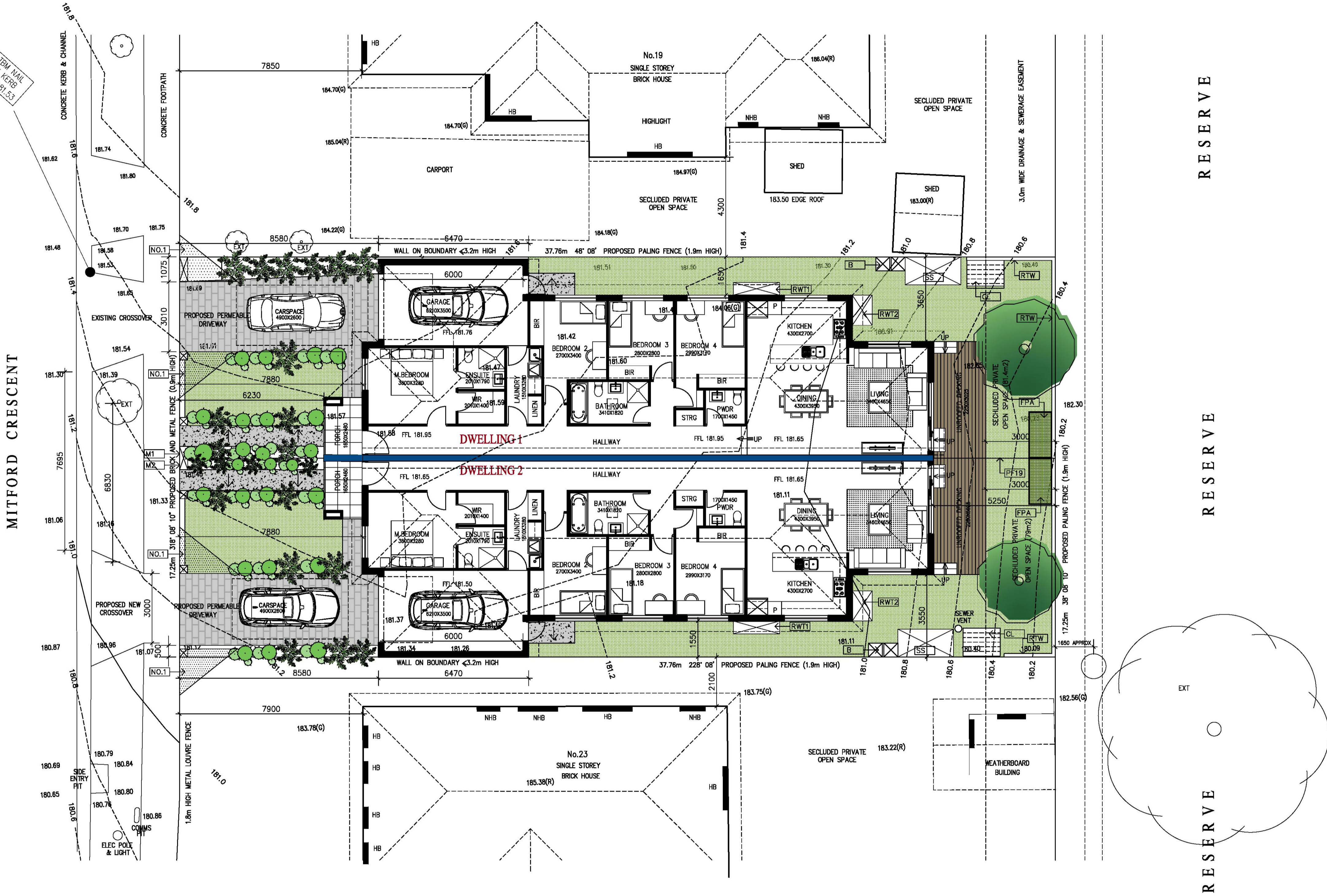
- PROVIDE A TAP IN EVERY COURTYARD.

MATERIALS

MATERIALS THAT WILL BE USED ARE CONCRETE SLAB, BRICK WORK, TIMBER FRAMES, LIGHT WEIGHT CLADDING AND STEEL ROOF. WALL AND CEILING INSULATIONS TO BE IMPLEMENTED AS PER ENERGY RATING REPORT AND TO IMPROVE ENERGY EFFICIENCY RATING.

VOC

- IT IS REQUIRED AND COMMITMENT TO USE LOW VOLATILE ORGANIC COMPOUNDS (VOC) FOR:
- INTERNAL FINISHES AND INTERNAL PAINTED SURFACES, NOT TO EXCEED 50G/L
- CERAMIC TILE ADHESIVE, NOT TO EXCEED 85G/L
- STRUCTURAL GLAZING ADHESIVE, NOT TO EXCEED 100G/L
- ADHESIVES AND SEALANTS, NOT TO EXCEED 50G/L



GROUND FLOOR PLAN



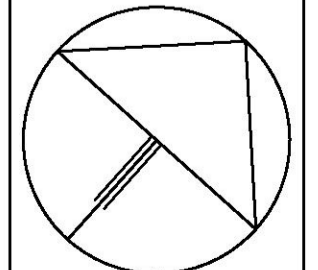
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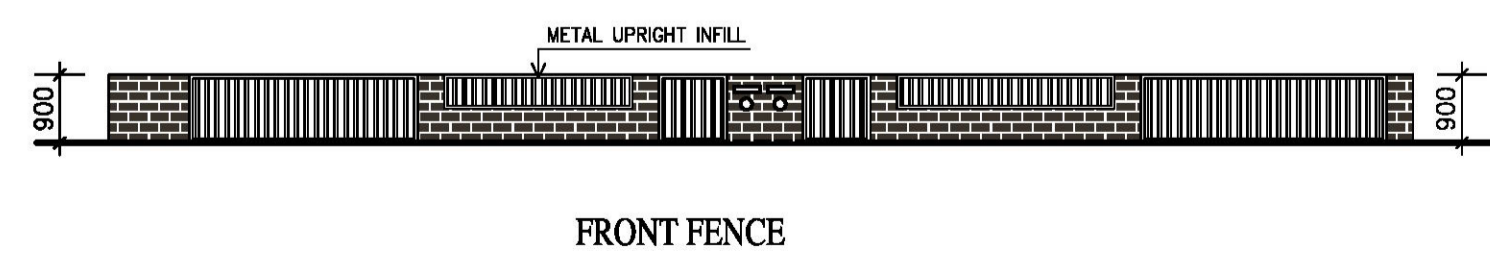
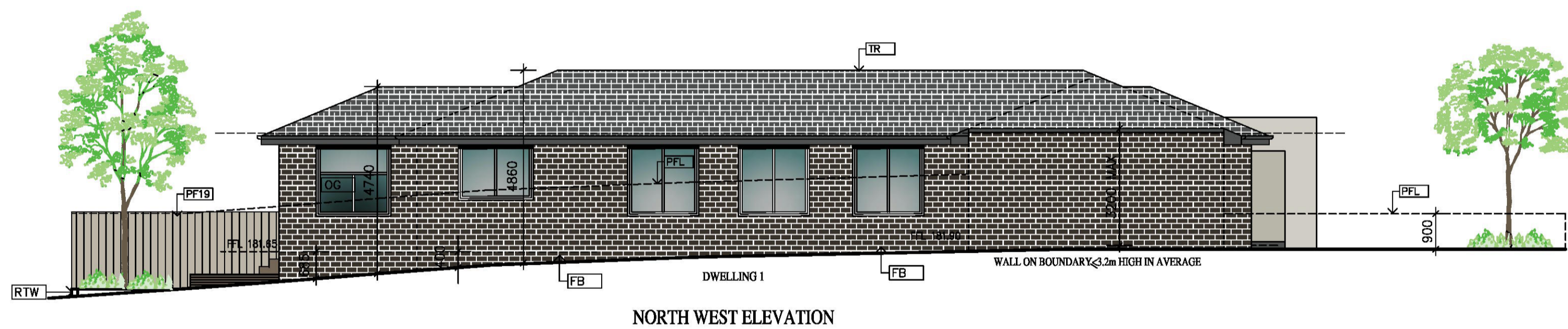
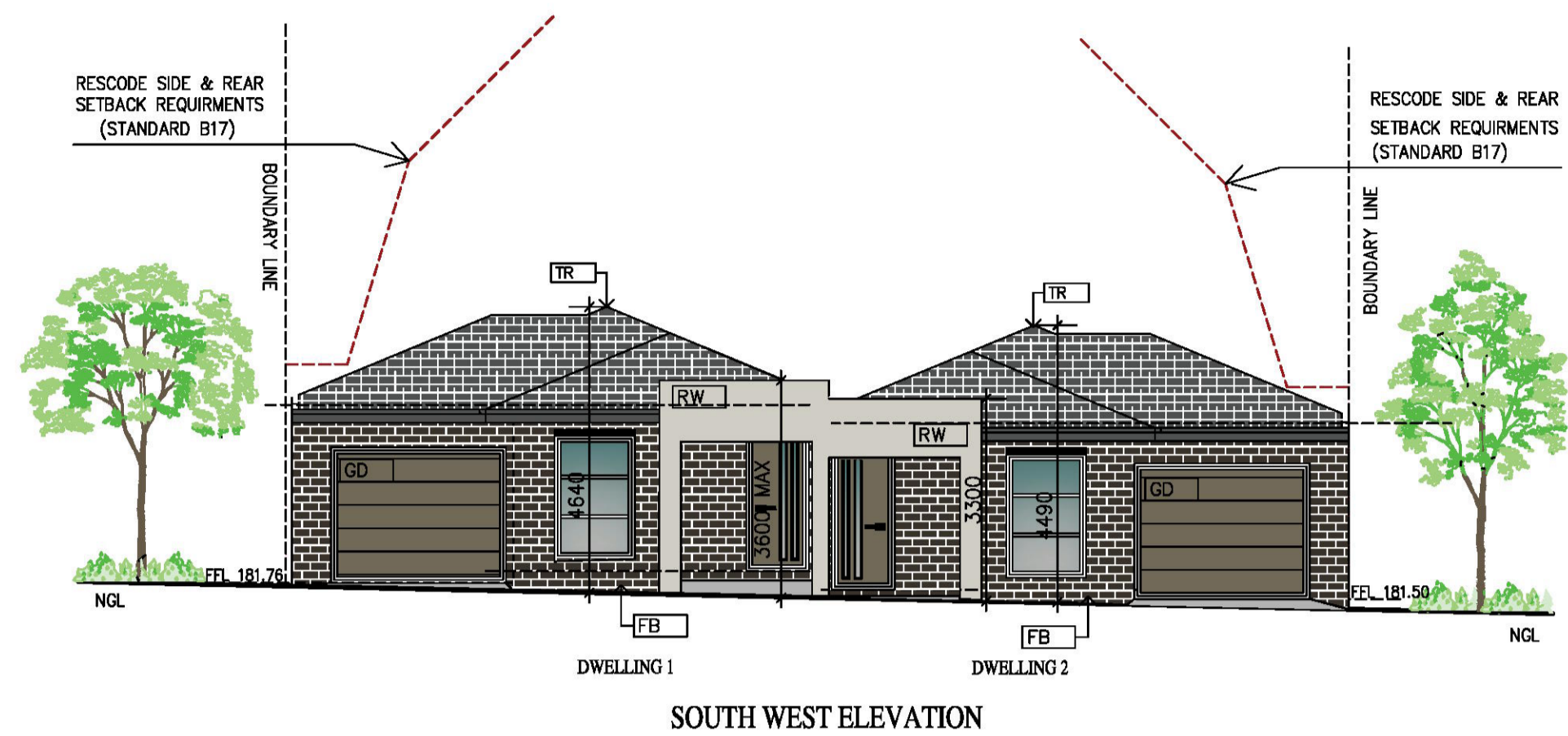


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PROJECT				DRAWING (NO.)	
PROPOSED DUAL OCCUPANCY AT 21 MITFORD CRESCENT IN CRAIGIEBURN FOR MR ALAA HAMZE				TP-2B	
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO	
1/100	01/10/21	FERAS AL ASAAD	AH-0621	AH-P100B	





LEGEND

- RETRACTABLE BLIND (EXTERNAL WINDOW SHADING DEVICE), TO BE INSTALLED ON ALL HABITABLE ROOM WINDOWS
- DC DECKING
- GD SECTIONAL TILT PANEL LIFT DOOR.
- FB FACE BRICK WALL
- OG FIXED OBSCURE GLAZED AT ANY PART OF THE WINDOW BELOW 1.7m AFL, CLEAR OPENING ABOVE
- PFL LINE OF PROPOSED FENCE
- RTW SLEEPER RETAINING WALL 400mm-600mm HIGH
- RW RENDERED WALL
- RWL LINE OF PROPOSED RETAINING WALL
- TR TILED ROOF

COLOUR SCHEDULE

- TILED ROOF: CHARCOAL
- FASCIA & GUTTER : DARK GREY
- FACE BRICK: HAWTHORN OR SIMILAR
- RENDERED WALL: DUNE
- GARAGE DOOR: METAL-TIMBER LOOK
- WINDOW FRAMES: ALUMINIUM-JASPER
- PERMEABLE DRIVEWAY: HYDROPAVERS OR SIMILAR- CHARCOAL
- PAVING: CONCRETE



RETRACTABLE BLIND (EXTERNAL WINDOW SHADING DEVICE), TO BE INSTALLED ON ALL HABITABLE ROOM WINDOWS

ELEVATIONS



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PROJECT				DRAWING (NO.)	
PROPOSED DUAL OCCUPANCY AT 21 MITFORD CRESCENT IN CRAIGIEBURN FOR MR ALAA HAMZE				TP-3B	
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO	
1/100	01/02/21	FERAS AL ASAAD	AH-0621	AH-P100B	

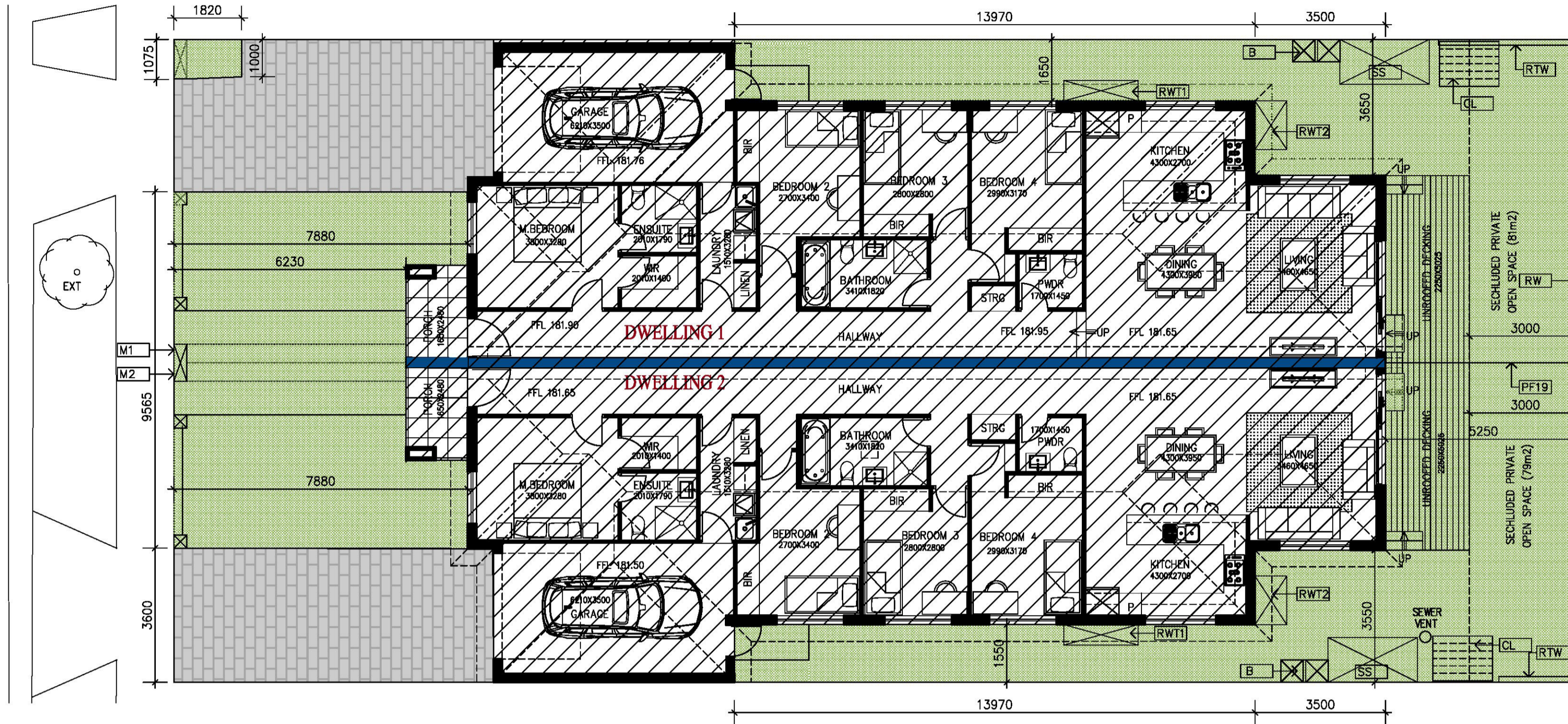
LEGEND

-  GARDEN AREA
-  SITE COVERAGE BUILDING
-  DRIVEWAY
- B** BINS
- CL** CLOTHES LINE
- EXT1** EXISTING TREE TO REMAIN
- EXT2** EXISTING TREE TO BE REMOVED
- RTW** SLEEPER RETAINING WALL 400mm-600mm HIGH
- RWT1** RAINWATER TANK WITH 1500L CAPACITY CONNECTED TO ALL TOILETS OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
- RWT2** RAINWATER TANK WITH 2000L CAPACITY CONNECTED TO ALL TOILETS OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
- SS** STORAGE SHED (6m³)

CALCULATION

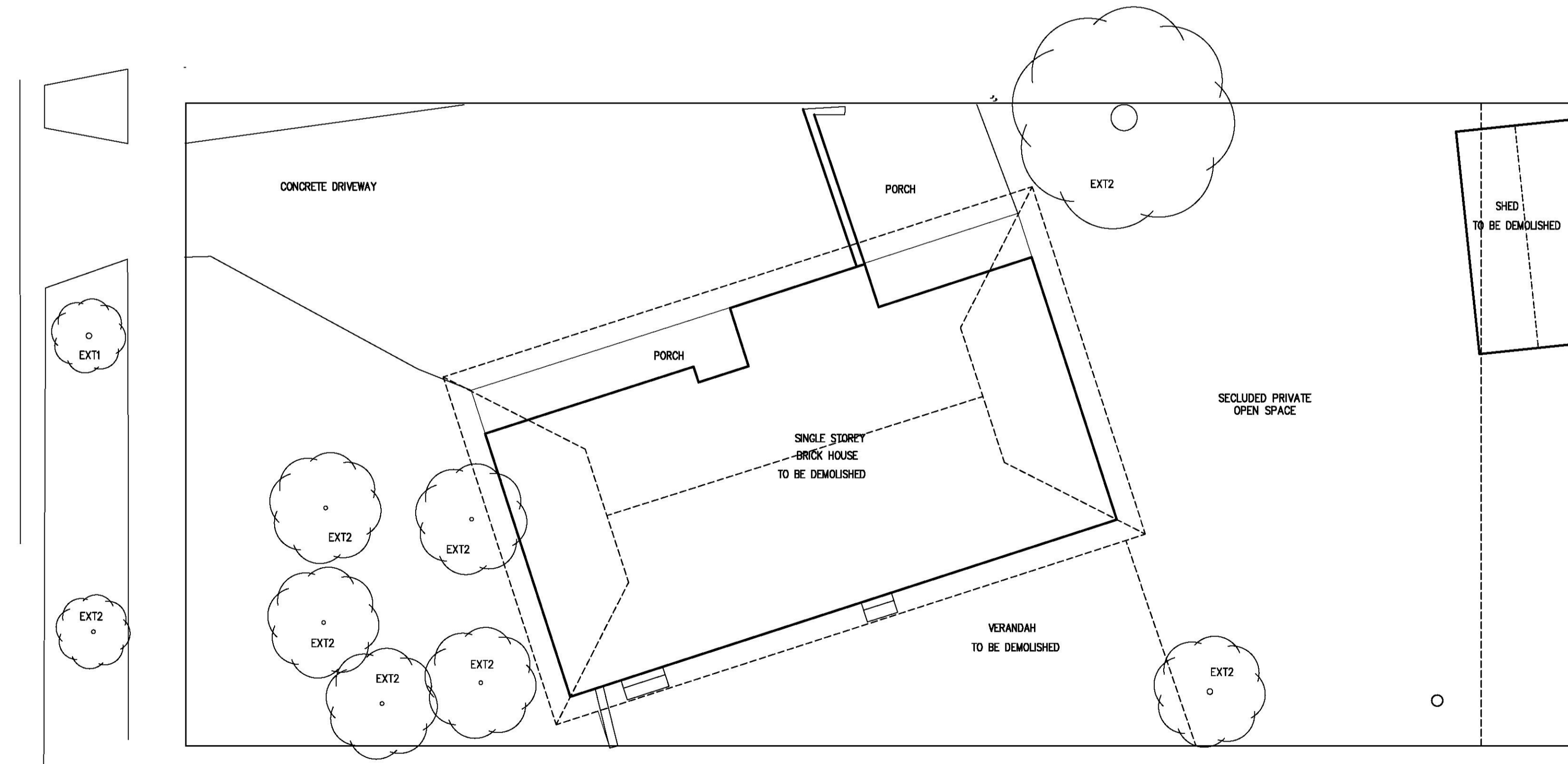
SITE AREA: 651m²
 BUILDING AREA ON GROUND: 358.5m²
 DRIVEWAY: 64m²
 REQUIRED GARDEN AREA: 651x0.35=228m²
 PROPOSED GARDEN AREA: 651-358.4-63.7-228.9m²=35.16%

MITFORD CRESCENT



GARDEN AREA PLAN

MITFORD CRESCENT



DEMOLISHING PLAN

GARDEN AREA PLAN / DEMOLISHING PLAN



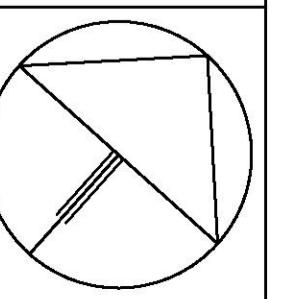
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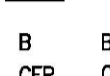
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PROJECT				DRAWING (NO.) TP-4B
PROPOSED DUAL OCCUPANCY AT 21 MITFORD CRESCENT IN CRAIGIEBURN FOR MR ALAA HAMZE				
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO
1/100	01/10/21	FERAS AL ASAAD	AH-0621	AH-P1008



LEGEND

-  PREMIER HYDROPAVERS, PERMEABLE DRIVEWAY-300mmX300mm MADE OF RECYCLED CERAMIC MATERIAL, STRONG AND FULLY PERMEABLE.
-  CONCRETE FOOTPATH
-  PERMEABLE SURFACE
-  ROOF CATCHMENT CONNECTED TO RAINWATER TANK WITH THE USE OF CHARGED RAINWATER HARVESTING SYSTEM.
-  UNTREATED ROOF AREA (97m2)
- B** BINS
- CFP** CONCRETE PAVING, DRAINS INTO ADJACENT GARDEN AREA.
- CL** CLOTHES LINE
- EP** ELECTRICITY POLE
- FPA** FOOD PRODUCTION AREA (2m2)
- RWT1** RAINWATER TANK WITH 1500L CAPACITY CONNECTED TO ALL TOILETS OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
- RWT2** RAINWATER TANK WITH 2000L CAPACITY CONNECTED TO ALL TOILETS OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
- SS** STORAGE SHED(6m3), TO INCLUDE A BICYCLE SPACE IN IT.
- TR** TILED ROOF

SDA NOTES:

KEY SUSTAINABLE DESIGN STRATEGIES CONSIDERED IN THE DEVELOPMENT INCLUDE:

- HIGH-PERFORMANCE BUILDING FABRIC WITH GOOD LEVELS OF INSULATION
- ENERGY EFFICIENT LED LIGHTS

WATER

- SHOWERHEADS 4 STAR WELS (>= 6 BUT <= 7.5)
- TAPS: KITCHEN, BATHROOM >=5 STAR WELS RATING
- WC: >=4 STAR WELS RATING
- DISHWASHERS WATER EFFICIENCY: >=3 STAR WELS RATING
- WASHING MACHINE WATER EFFICIENCY: 3 STAR
- WATER EFFICIENT LANDSCAPING TO BE INSTALLED
- RAINWATER TANK CONNECTED TO TOILETS

ENERGY

- DOUBLE GLAZING: TO BE PROVIDED TO ALL HABITABLE ROOM WINDOWS
- HEATING SYSTEM: 3 STAR GAS CENTRAL DUCTS
- COOLING SYSTEM: 3 STAR REFRIGERATING DUCTED
- HOT WATER SERVICE: 5 STAR GAS INSTANTANEOUS
- PRIVATE OUTDOOR CLOTHESLINE TO BE PROVIDED
- EXTERNAL LIGHTS TO BE CONTROLLED BY A MOTION DETECTOR
- MAXIMUM ILLUMINATION POWER DENSITY OF 4W/SQM OR LESS

NOTE: RAINWATER HARVESTING TANKS NOTED TO BE USED ONLY FOR RE-USE WITHIN THE DWELLING AND THAT THEY ARE COMPLETELY INDEPENDENT OF ANY DETENTION REQUIREMENTS

INDOOR ENVIRONMENT QUALITY

- DOUBLE GLAZING REQUIRED TO ALL HABITABLE ROOM WINDOWS AS PER NATHERS CERTIFICATE.
- EXTERNAL SHADING TO BE PROVIDED TO HABITABLE ROOM WINDOWS

URBAN ECOLOGY

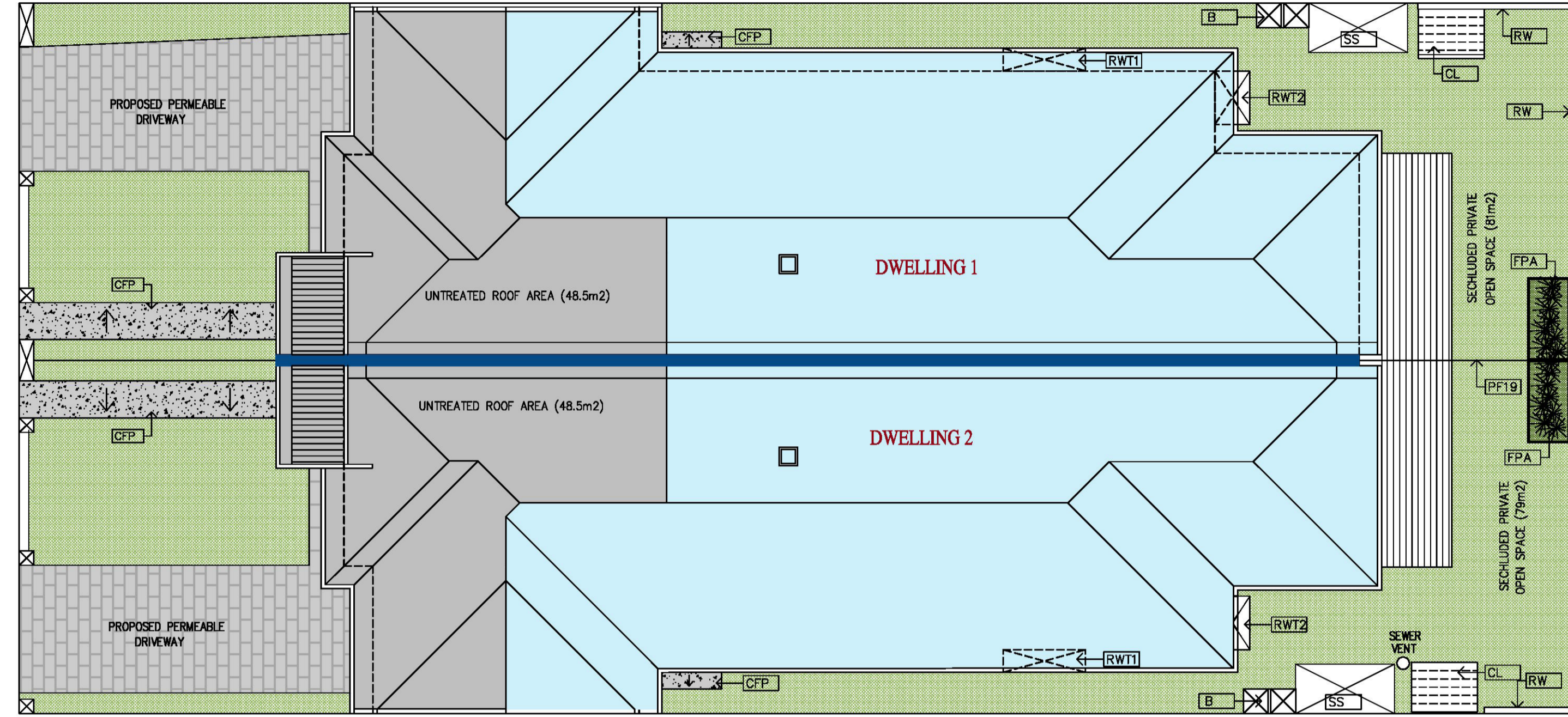
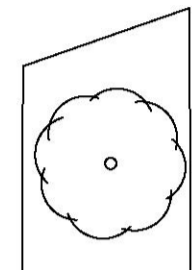
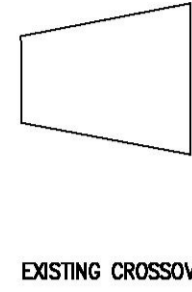
- PROVIDE A TAP IN EVERY COURTYARD.

MATERIALS

MATERIALS THAT WILL BE USED ARE CONCRETE SLAB, BRICK WORK, TIMBER FRAMES, LIGHT WEIGHT CLADDING AND STEEL ROOF. WALL AND CEILING INSULATIONS TO BE IMPLEMENTED AS PER ENERGY RATING REPORT AND TO IMPROVE ENERGY EFFICIENCY RATING.

VOC

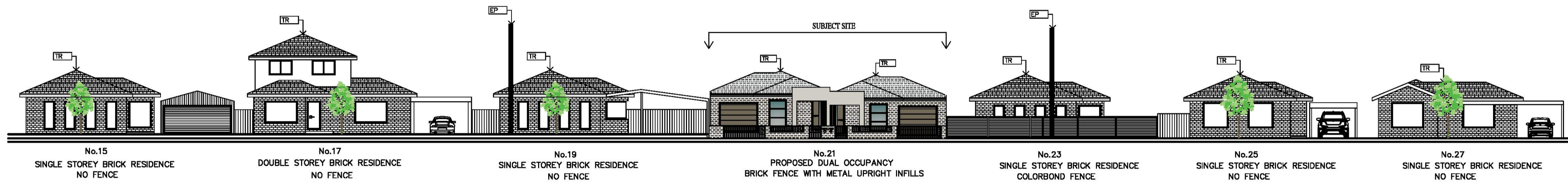
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 - * INTERNAL FINISHED AND INTERNAL PAINTED SURFACES, NOT TO EXCEED 500g/L
 - * CERAMIC TILE ADHESIVE, NOT TO EXCEED 65g/L
 - * STRUCTURAL GLAZING ADHESIVE, NOT TO EXCEED 100g/L
 - * ADHESIVES AND SEALANTS, NOT TO EXCEED 50g/L



ROOF CATCHMENT PLAN

SCALE 1/100

Melbourne Water STORM Rating Report						
TransactionID:	1272467					
Municipality:	HUME					
Rainfall Station:	HUME					
Address:	21 Mitford Cres					
	Craigieburn					
	VIC	3004				
Assessor:	Feras Al Asaad					
Development Type:	Residential - Multiunit					
Allotment Site (m2):	651.00					
STORM Rating %:	101					
Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
D1 Treated Roof	130.40	Rainwater Tank	3,500.00	4	139.00	62.10
D2 Treated Roof	130.40	Rainwater Tank	3,500.00	4	139.00	62.10
D1 Untreated Roof	48.50	None	0.00	0	0.00	0.00
D2 Untreated Roof	48.50	None	0.00	0	0.00	0.00
Date Generated:	16-Nov-2021					Program Version: 1.0.0



MITFORD CRESCENT

STREETSCAPE

SCALE 1/200

ROOF CATCHMENT PLAN / STREETSCAPE



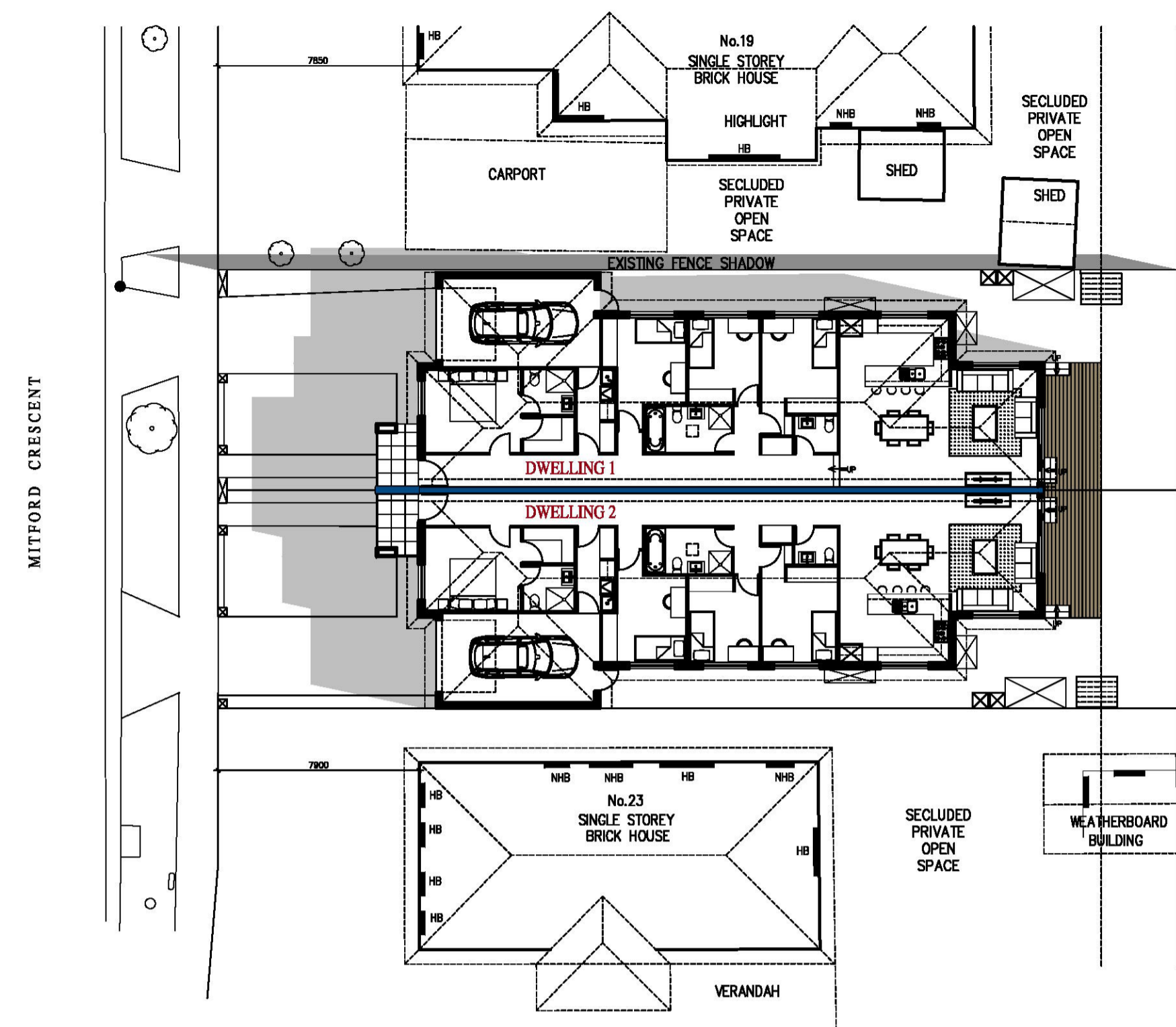
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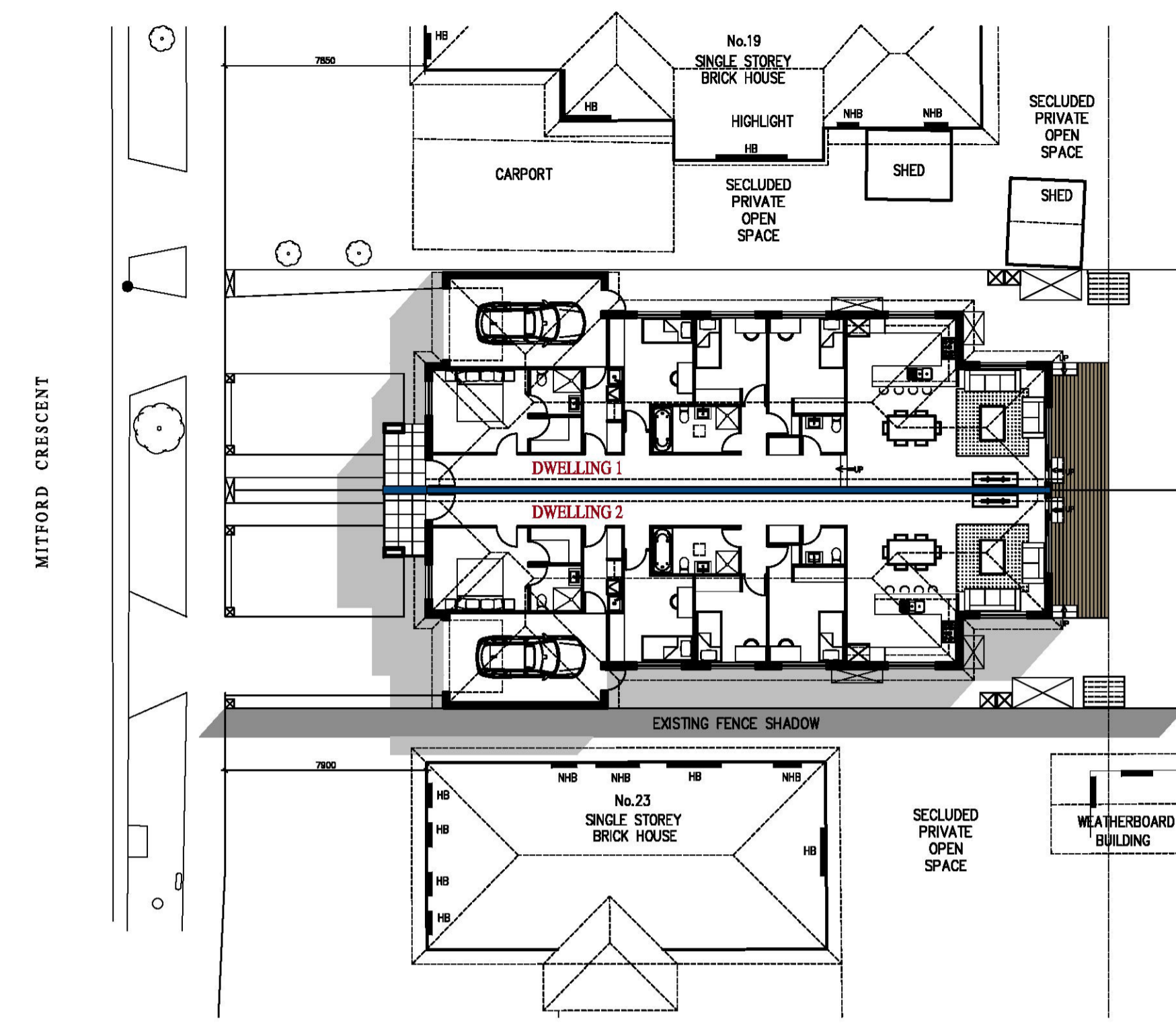
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PROJECT				DRAWING (NO.)
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SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO
1/100	01/10/21	FERAS AL ASAAD	AH-0621	AH-P100B

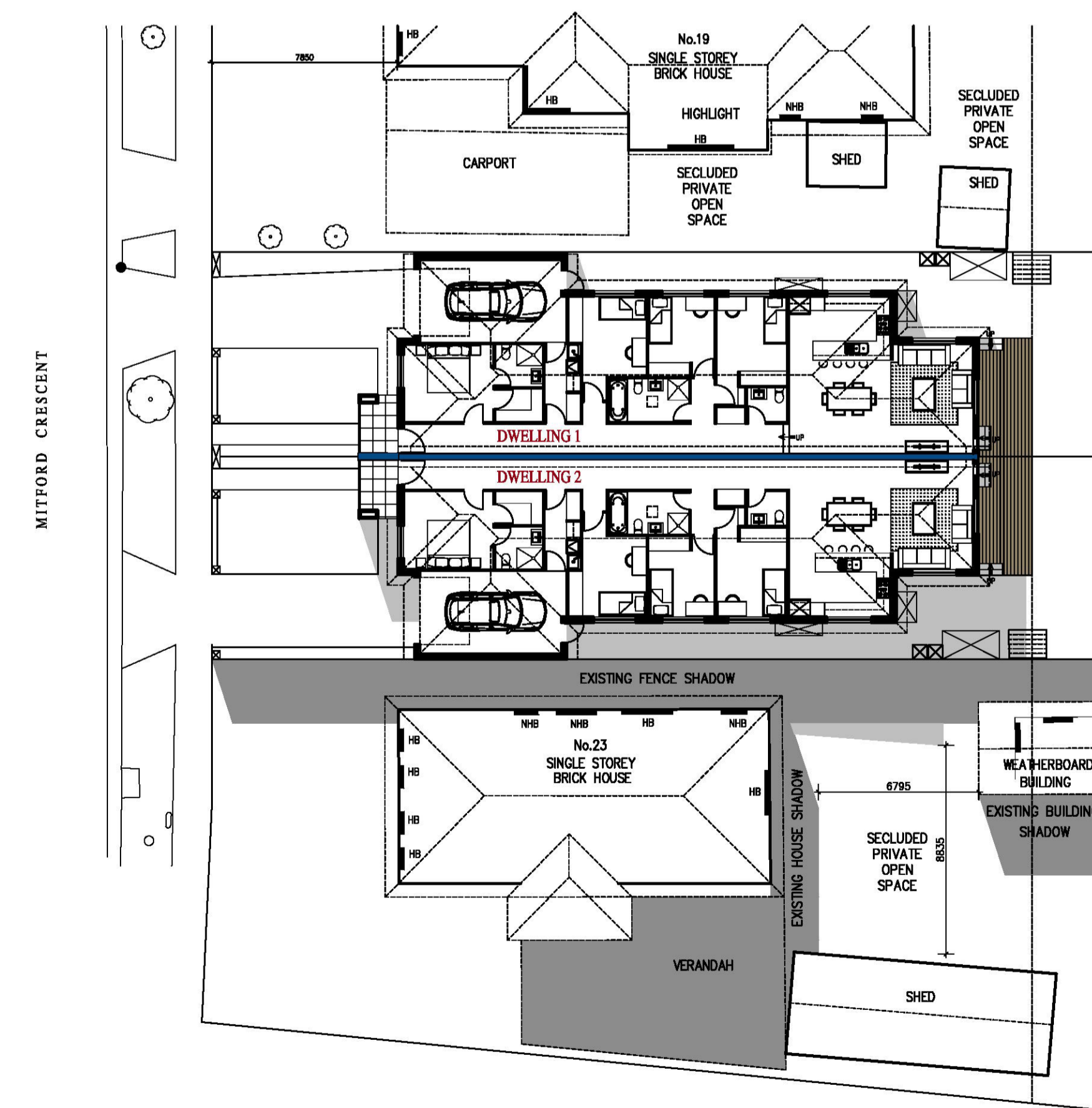


22nd SEP - 9AM SHADOW DIAGRAM

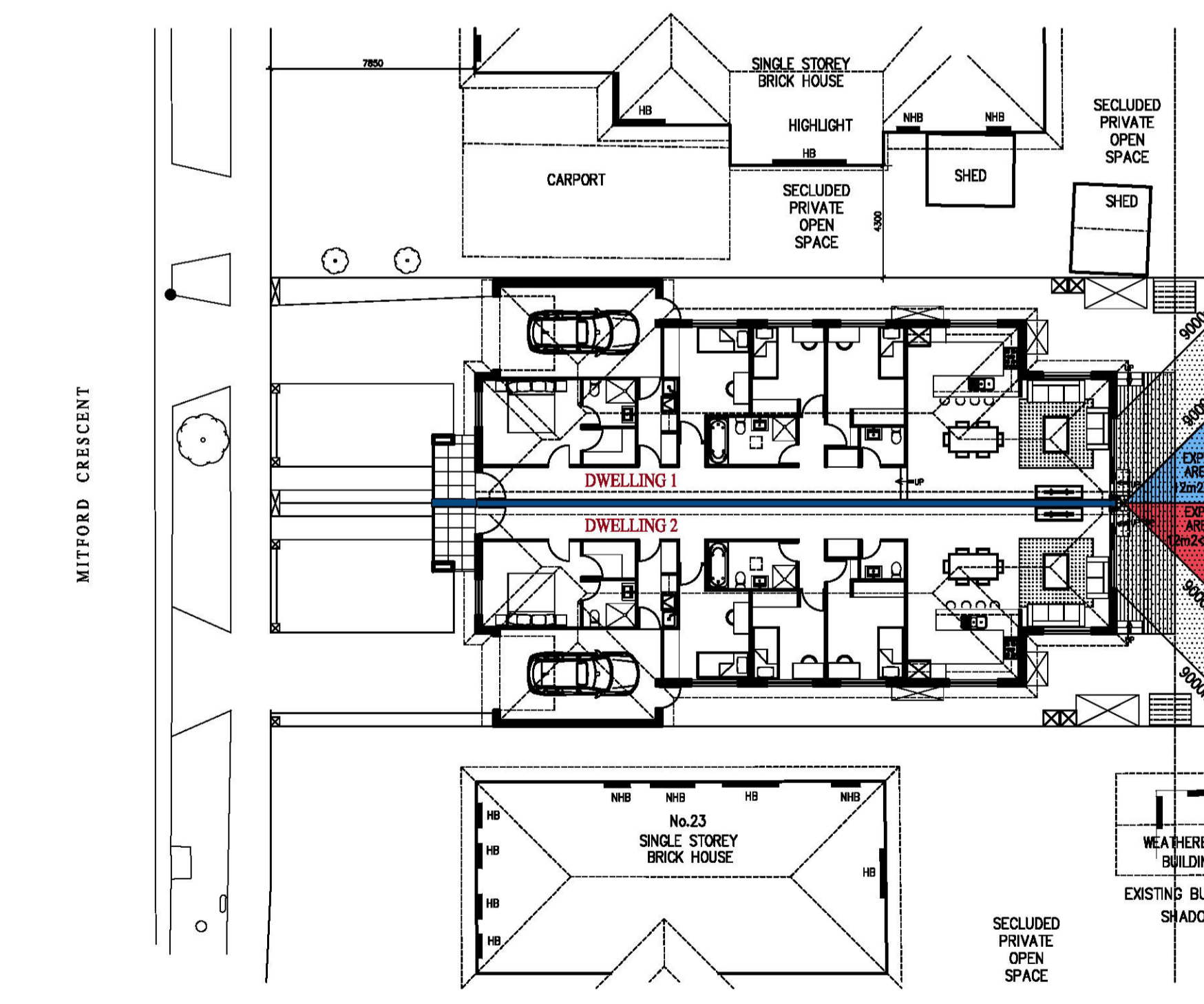


22nd SEP - 12 NOON SHADOW DIAGRAM

- LEGEND**
- NEW SHADOW
 - EXISTING FENCE & STRUCTURE SHADOW
 - HRW HABITABLE ROOM WINDOW
 - NHB NON HABITABLE ROOM WINDOW



22nd SEP - 3PM SHADOW DIAGRAM



INTERNAL VIEW PLAN



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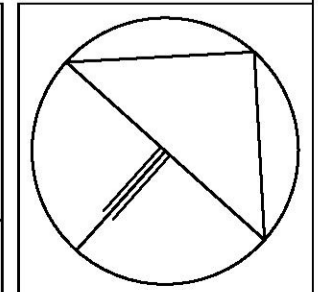


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SHADOW DIAGRAMS / INTERNAL VIEW PLAN

PROJECT	PROPOSED DUAL OCCUPANCY AT 21 MITFORD CRESCENT IN CRAIGIEBURN FOR MR ALAA HAMZE	DRAWING (NO.)	TP-6B
SCALE	1/200	DATE	01/10/21
DESIGNED AND DRAWN BY	FERAS AL ASAAD	PROJECT NO	AH-0621
CAD NO	AH-P1008		





STORM Rating Report

TransactionID: 1239788
Municipality: HUME
Rainfall Station: HUME
Address: 21 MITFORD CRESCENT

CRAIGIEBURN
VIC 3064

Assessor: Feras Al Asaad
Development Type: Residential - Multiunit
Allotment Site (m2): 651.00
STORM Rating %: 101

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
D1 Treated Roof	130.00	Rainwater Tank	3,500.00	4	139.00	92.10
D2 Treated Roof	130.00	Rainwater Tank	3,500.00	4	139.00	92.10
D1 Untreated Roof	48.50	None	0.00	0	0.00	0.00
D2 Untreated Roof	48.50	None	0.00	0	0.00	0.00