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Office Use Onl

Application No.:

Date Lodged:

Application for a Planning Permit

Planning Enquiries
 Phone: (03) 9205 2200
 Web: www.hume.vic.gov.au

If you need help to complete this form, read MORE INFORMATION at the end of this form.

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any questions, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet

i Click for further information.

Clear Form

The Land **i**

Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 37	St. Name: NICHOLSON CRESCENT
Suburb/Locality: MEADOW HEIGHTS		Postcode: 3048

Formal Land Description *

Complete either A or B.

⚠ This information can be found on the certificate of title.

If this application relates to more than one address, attach a separate sheet setting out any additional property details.

A Lodged Plan Title Plan Plan of Subdivision

OR

B

The Proposal

⚠ You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application

i For what use, development or other matter do you require a permit? *

PROPOSED THREE DOUBLE DWELLINGS AT REAR OF THE EXISTING DWELLING AND A CARPORT FOR THE EXISTING DWELLING

⚠ Provide additional information about the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

i You may be required to verify this estimate. Insert '0' if no development is proposed.

i Estimated cost of any development for which the permit is required *

If the application is for land within metropolitan Melbourne (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy must be paid to the State Revenue Office and a current levy certificate must be submitted with the application. Visit www.sro.vic.gov.au for information.


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Existing Conditions i

Describe how the land is used and developed now *

For example, vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

A SINGLE STOREY HOUSE


 Provide a plan of the existing conditions. Photos are also helpful.

Title Information i

Encumbrances on title *

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', for example, restrictive covenants.

Applicant and Owner Details i

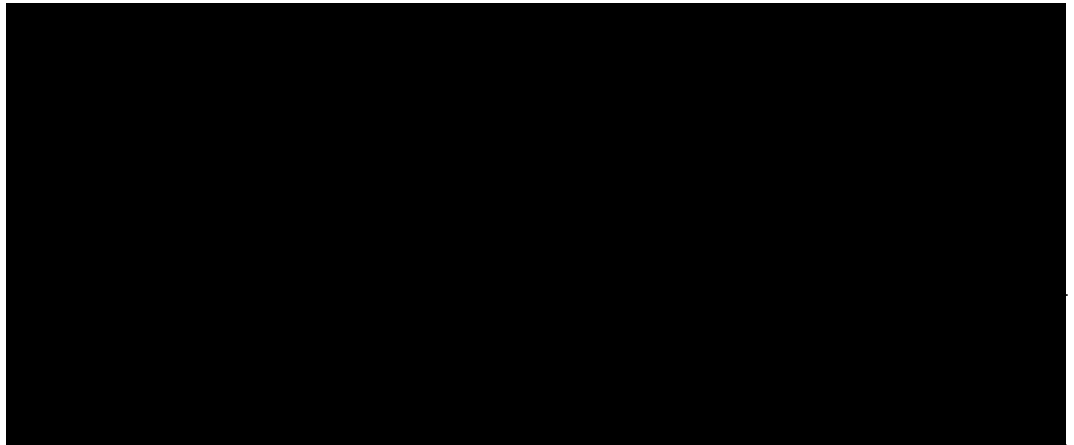
Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

*Please provide at least one contact phone number **

Where the preferred contact person for the application is different from the applicant, provide the details of that person.



Contact person's details*

Same as applicant

Name:

Title:

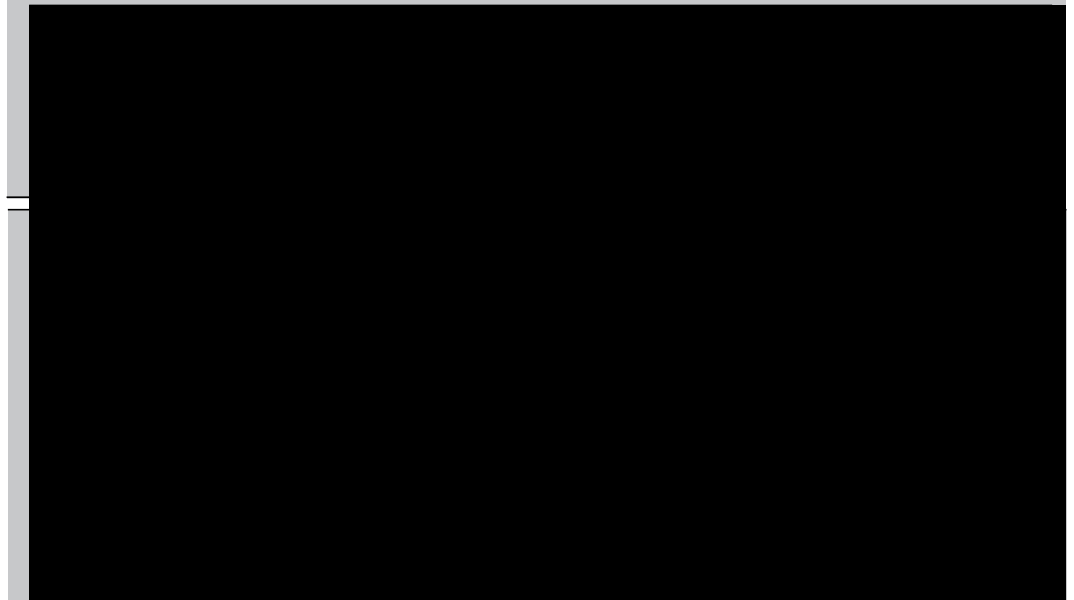
First Name:

Surname:

Owner *

The person or organisation who owns the land

Where the owner is different from the applicant, provide the details of that person or organisation.




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Declaration

This form must be signed by the applicant *

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant, and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature: 

Date: 06/08/2024

day / month / year

Need help with the Application?

General information about the planning process is available at planning.vic.gov.au

Contact Council's planning department to discuss the specific requirements for his application and obtain a planning permit checklist. Insufficient or unclear information may delay your application

Has there been a pre-application meeting with a council planning officer

No Yes

If 'Yes', with whom?:

Date:


day / month / year

Checklist

Have you:

Filled in the form completely?

Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 Provided all necessary supporting information and documents?

A full, current copy of title information for each individual parcel of land forming the subject site.

A plan of existing conditions.

Plans showing the layout and details of the proposal.

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (for example, traffic, noise, environmental impacts)

If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void

Completed the relevant council planning permit checklist?

Signed the declaration?

Lodgement

Lodge the completed and signed form, the fee and all documents with:

Hume City Council
PO Box 119
Dallas VIC 3047

Pascoe Vale Road
Broadmeadows VIC 3047

Contact information:

Phone: (03) 9205 2200

Email: email@hume.vic.gov.au

DX: 94718

Translation: (03) 9205 2200 for connection to Hume Link's multilingual telephone information service

Deliver application in person, by post or by electronic lodgement.

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Feras Building

D E S I G N

06/08/2024

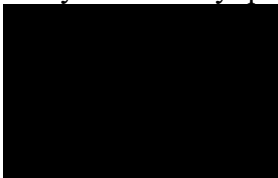
**Re: Proposed Four Dwelling Development including the existing.
Address: 37 Nicholson Crescent-Meadow Heights, Vic**

Dear Planner

Please find the following documents that make up our application for the proposal at the above-mentioned address;

- Complete and signed application form.
- Payment for planning application fee.
- Neighborhood and site description plan.
- Drawing No TP 01-Design Response Plan (GFP).
- Drawing No TP 02-Design Response Plan (FFP).
- Drawing NO TP 03-Ground Floor Plan.
- Drawing No TP 04- First Floor plan.
- Drawing No TP 05-Elevations 1 Plan
- Drawing No TP 06-Elevations 2 Plan .
- Drawing No TP 07-Garden Area Plan
- Drawings No TP-08-Roof Catchment Plan
- Drawing No TP 9-Shadow Diagrams.
- Drawing No TP-10A Demolishing Plan
- Design Response Report.
- SDA Report
- Certificate of Title, SDP, & Sewer Detail.

If you have any queries, please do not hesitate to contact me.



REGISTERED
Building Practitioner



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Feras Building
DESIGN

06/08/2024

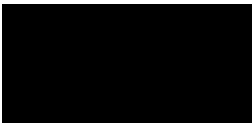
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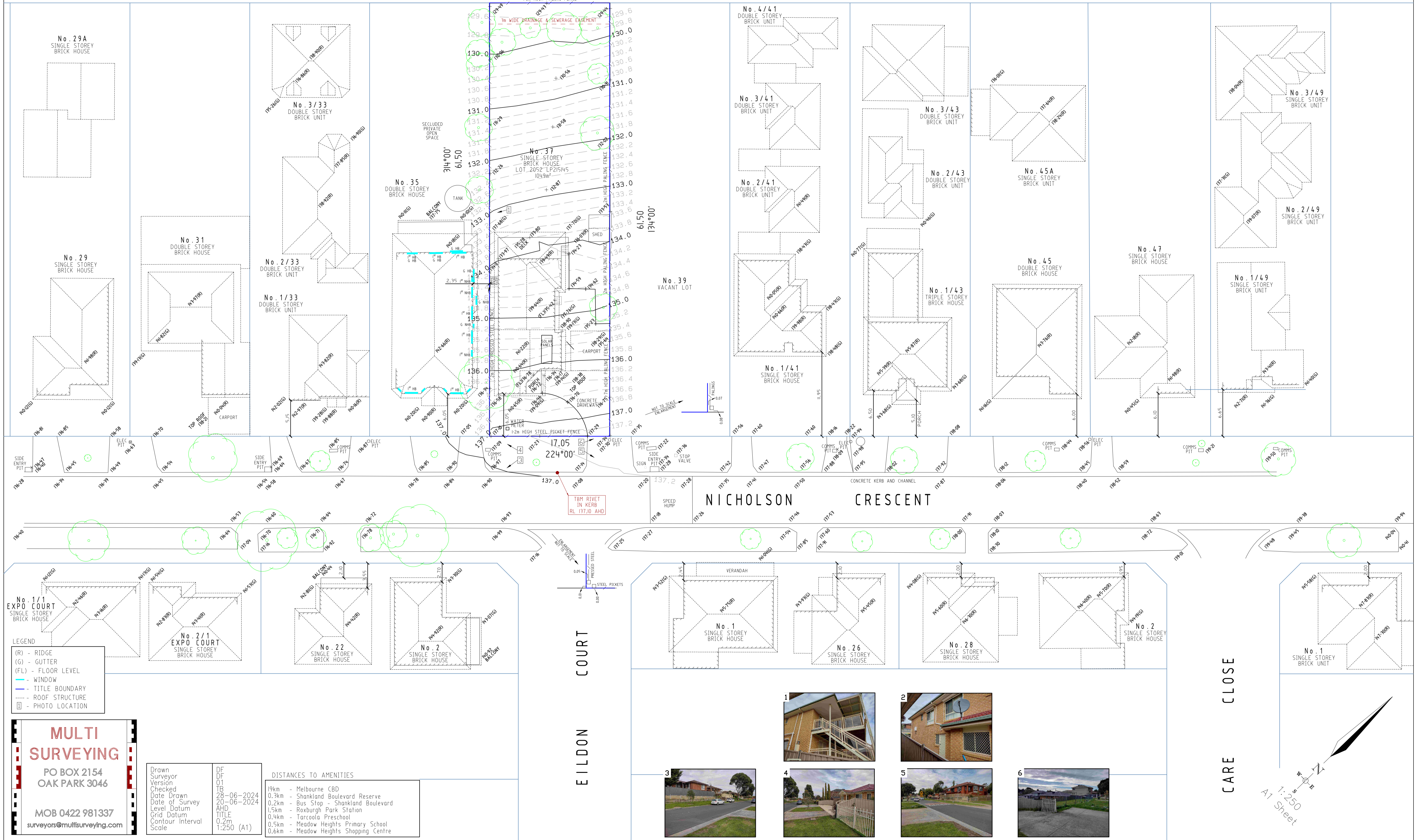
REGISTERED
Building Practitioner



**Design
Matters**

The peak body for the
building design profession
Member

THIS PLAN:
**TITLE RE-ESTABLISHMENT
 FEATURE AND LEVEL SURVEY**



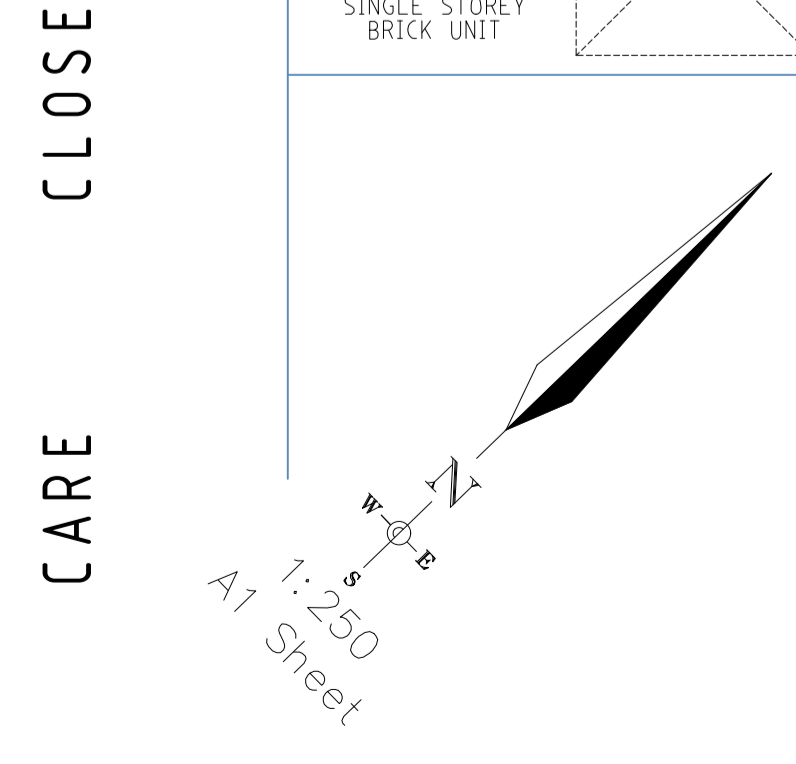
LEGEND
 (R) - RIDGE
 (G) - GUTTER
 (FL) - FLOOR LEVEL
 - WINDOW
 - TITLE BOUNDARY
 - ROOF STRUCTURE
 - PHOTO LOCATION

MULTI SURVEYING
 PO BOX 2154
 OAK PARK 3046
 MOB 0422 981337
 surveyors@multisurveying.com

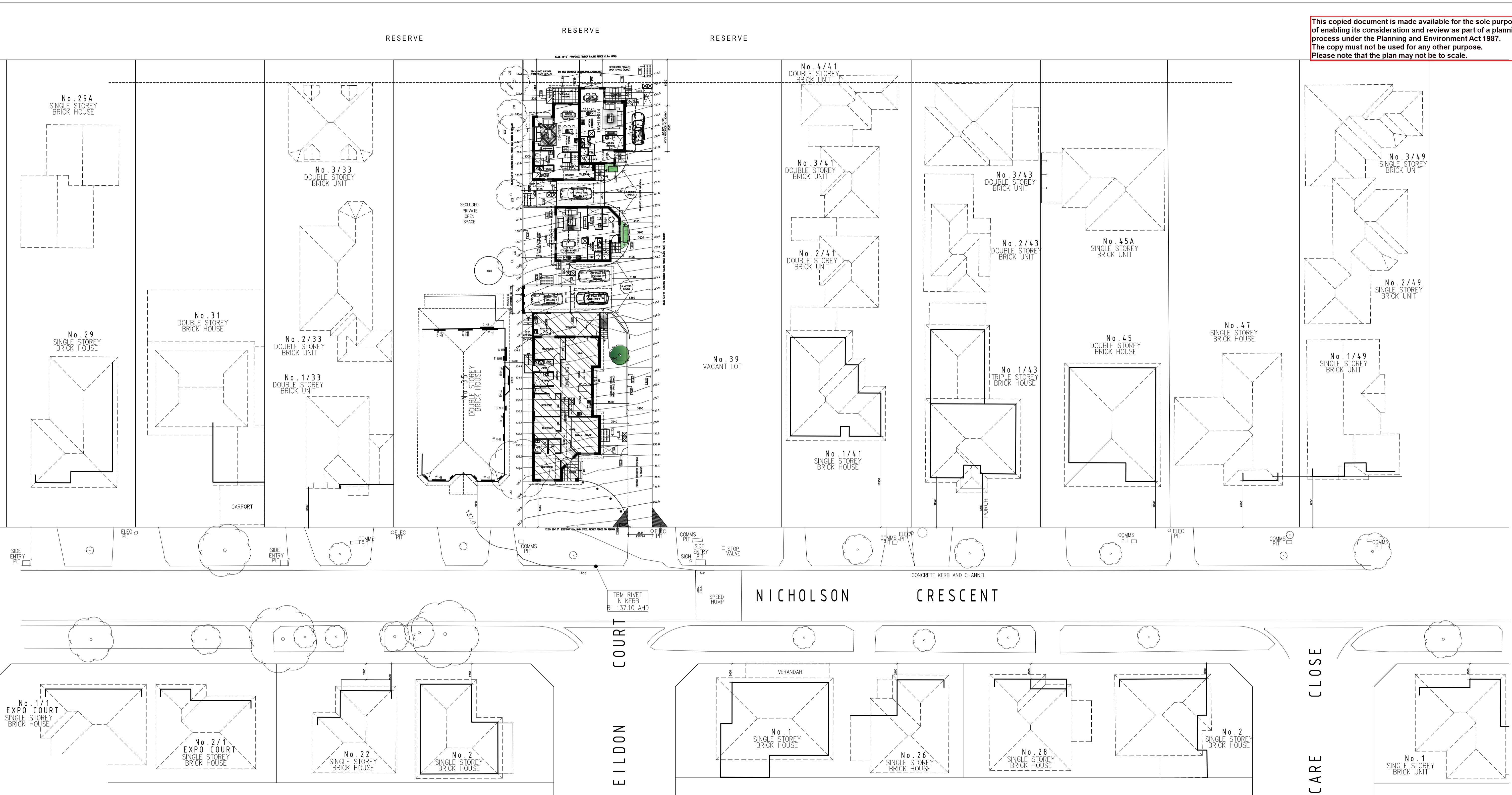
Drawn: DF
 Surveyor: O1
 Version: 1B
 Checked: TB
 Date Drawn: 28-06-2024
 Date of Survey: 20-06-2024
 Level Datum: AHD
 Grid Datum: AHD
 Contour Interval: 0.2m
 Scale: 1:250 (A1)

DISTANCES TO AMENITIES

19km	- Melbourne CBD
0.3km	- Shankland Boulevard Reserve
0.2km	- Bus Stop - Shankland Boulevard
1.5km	- Roxburgh Park Station
0.4km	- Tarcoola Preschool
0.5km	- Meadow Heights Primary School
0.6km	- Meadow Heights Shopping Centre



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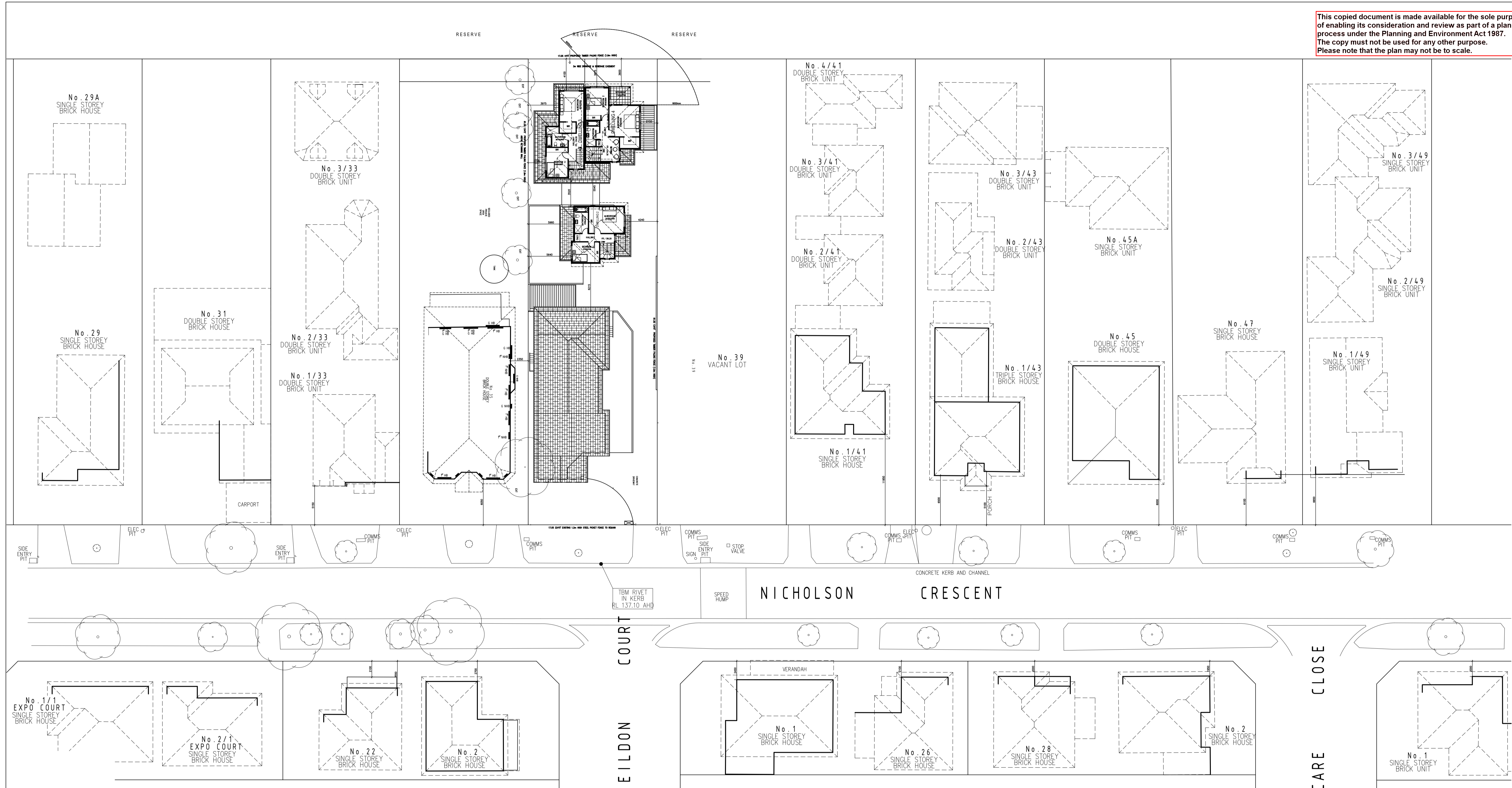
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DESIGN RESPONSE PLAN / GFP

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DEVELOPMENT SUMMARY

AREA DESCRIPTION	AREA m2	AREA DESCRIPTION	DWELLING 1	DWELLING 2	DWELLING 3	DWELLING 4
SITE AREA	1049m2	GROUND FLOOR AREA	157m2	60+3=63m2	66m2	56m2
BUILDING AREA ON GROUND	429m2	FIRST FLOOR AREA	N.A	47m2	50m2	60m2
DRIVEWAY	252m2	CARPORIT AREA	22m2	0m2	0m2	21m2
DRIVEWAY (GARDEN AREA)	252m2	VERANDAH-GROUND FLOOR	30m2	0m2	8m2	6m2
SITE COVERAGE BUILDINGS	40.8%	VERANDAH-FIRST FLOOR	0m2	0m2	0m2	7m2
PERMEABLE AREA	250m2 (24%)	POS (secluded)	69m2	53m2	67m2	42m2
GARDEN AREA	368m2 (35.08%)	POS	106m2	0m2	0m2	0m2

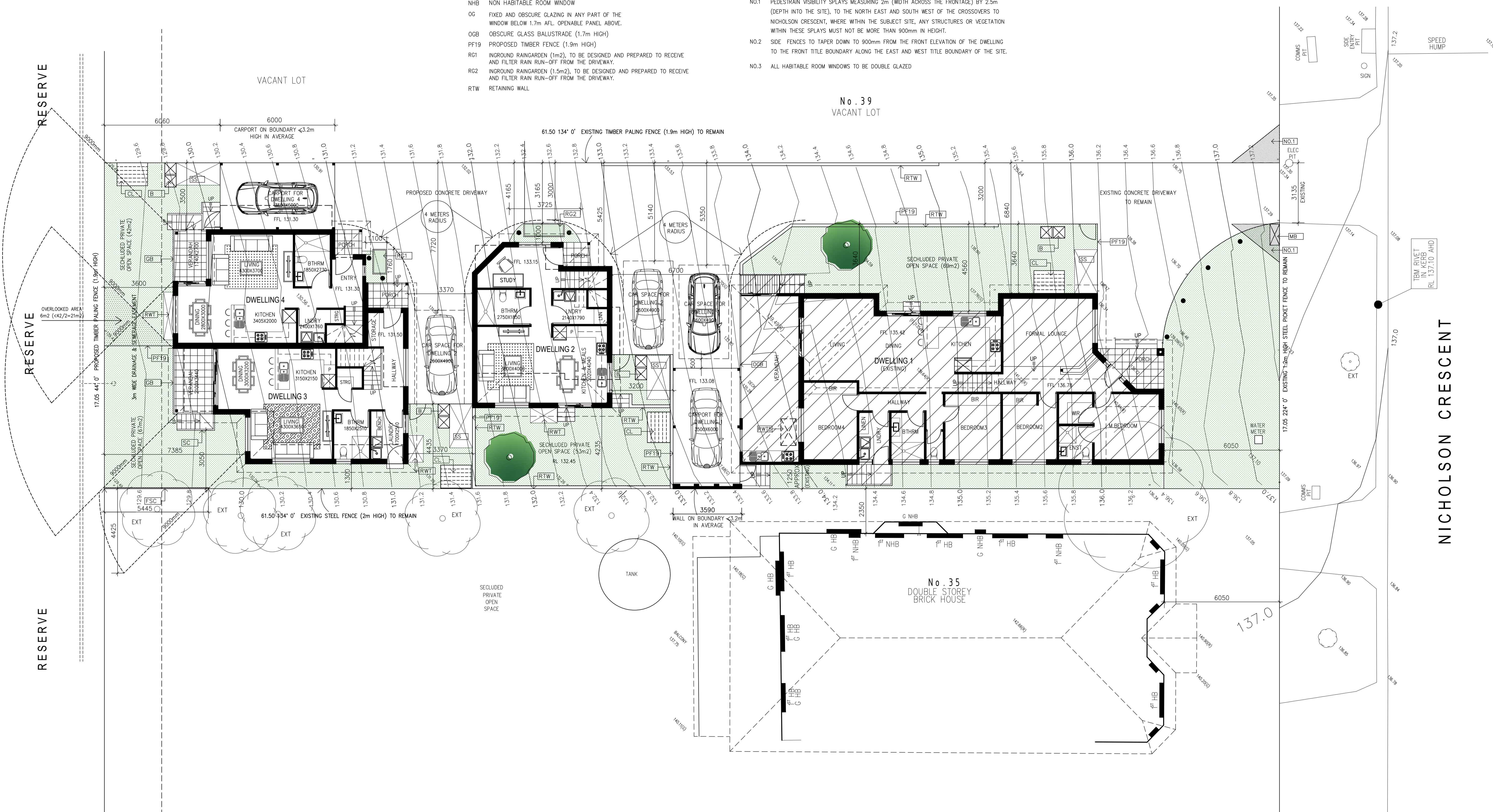
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NOTES:

- NO.1 PEDESTRAIN VISIBILITY SPLAYS MEASURING 2m (WIDTH ACROSS THE FRONTAGE) BY 2.5m (DEPTH INTO THE SITE), TO THE NORTH EAST AND SOUTH WEST OF THE CROSSOVERS TO NICHOLSON CRESCENT, WHERE WITHIN THE SUBJECT SITE, ANY STRUCTURES OR VEGETATION WITHIN THESE SPLAYS MUST NOT BE MORE THAN 900mm IN HEIGHT.
- NO.2 SIDE FENCES TO TAPER DOWN TO 900mm FROM THE FRONT ELEVATION OF THE DWELLING TO THE FRONT TITLE BOUNDARY ALONG THE EAST AND WEST TITLE BOUNDARY OF THE SITE.
- NO.3 ALL HABITABLE ROOM WINDOWS TO BE DOUBLE GLAZED



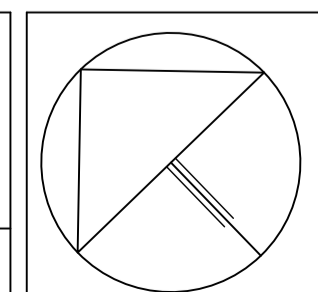
GROUND FLOOR PLAN



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PROPOSED FOUR DWELLING DEVELOPMENT (INCLUDING EXISTING)				TP-3C	
AT 37 NICHOLSON ST IN MEADOW HEIGHTS FOR MR MOUTAZ ZENO					
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO	
1/100	05/08/2024	FERAS AL ASAAD	MZ-0624	MZ-100C	



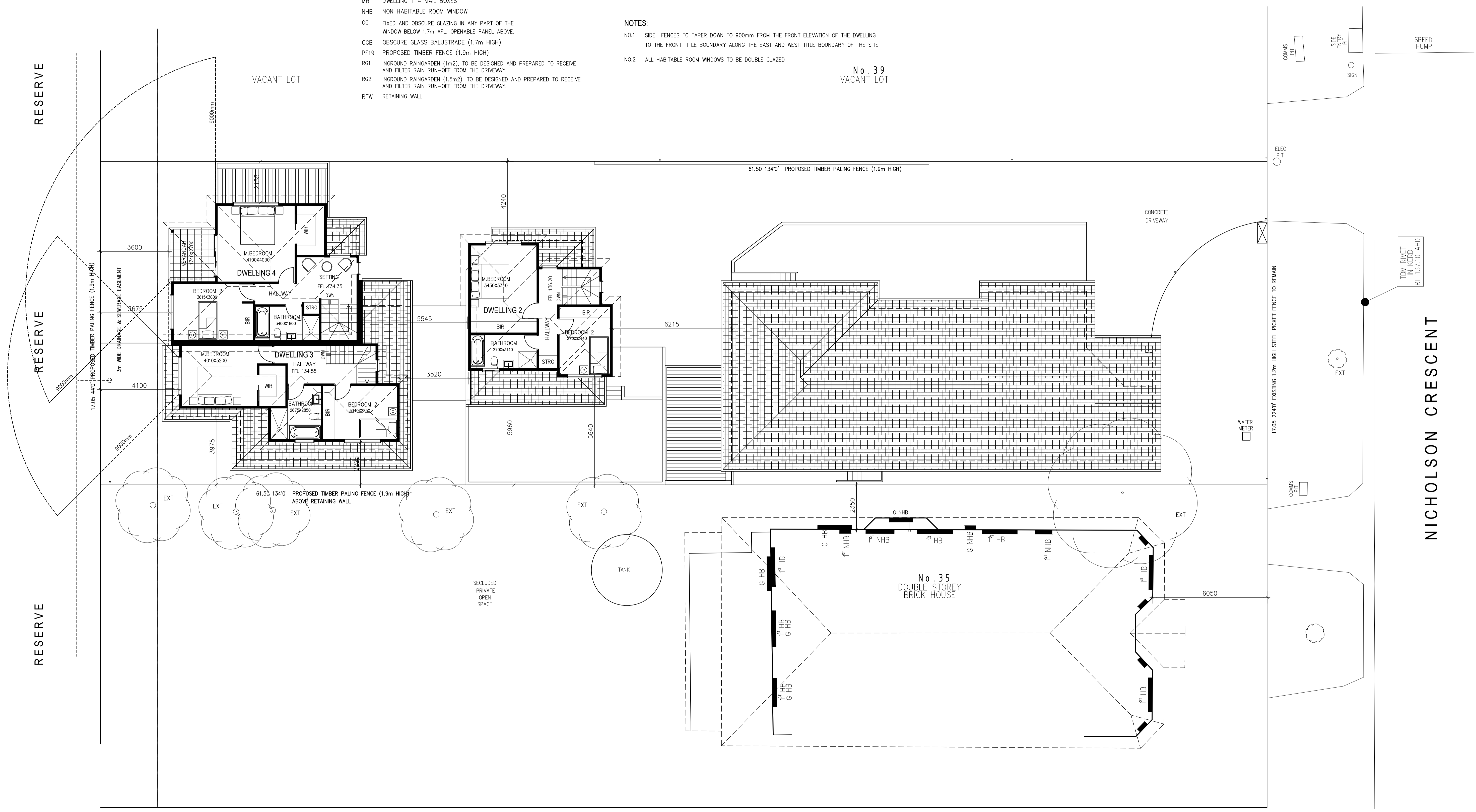
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- LEGEND**
- BOLLARD LIGHTING
 - B BINS
 - CL CLOTHES LINE
 - EXT EXISTING TREE
 - FSC 115mm FIXED EXTERNAL SCREEN ON TOP OF FENCE WITH NO MORE THAN 25% TRANSPARENT.
 - GB GLASS BALUSTRADE (1m HIGH)
 - HB HABITABLE ROOM WINDOW
 - MB DWELLING 1-4 MAIL BOXES
 - NHB NON HABITABLE ROOM WINDOW
 - OC FIXED AND OBSCURE GLAZING IN ANY PART OF THE WINDOW BELOW 1.7m AFL. OPENABLE PANEL ABOVE.
 - OGB OBSCURE GLASS BALUSTRADE (1.7m HIGH)
 - PF19 PROPOSED TIMBER FENCE (1.9m HIGH)
 - RG1 INGROUND RAINGARDEN (1m²), TO BE DESIGNED AND PREPARED TO RECEIVE AND FILTER RAIN RUN-OFF FROM THE DRIVEWAY.
 - RG2 INGROUND RAINGARDEN (1.5m²), TO BE DESIGNED AND PREPARED TO RECEIVE AND FILTER RAIN RUN-OFF FROM THE DRIVEWAY.
 - RTW RETAINING WALL

- RWT RAINWATER TANK WITH 2000L CAPACITY CONNECTED TO ALL TOILETS OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
- RWT5 RAINWATER TANK WITH 500L CAPACITY UNDER VERANDA FOR GARDENING OR OTHER RE-USE OPPORTUNITIES
- SC FIXED EXTERNAL SCREEN TO 1.7m AFL WITH NO MORE THAN 25% TRANSPARENT.
- SR STEEL ROOF
- SS STORAGE SHED (MINIMUM VOLUME OF 6m³)

- NOTES:**
- NO.1 SIDE FENCES TO TAPER DOWN TO 900mm FROM THE FRONT ELEVATION OF THE DWELLING TO THE FRONT TITLE BOUNDARY ALONG THE EAST AND WEST TITLE BOUNDARY OF THE SITE.
 - NO.2 ALL HABITABLE ROOM WINDOWS TO BE DOUBLE GLAZED

No. 39
VACANT LOT



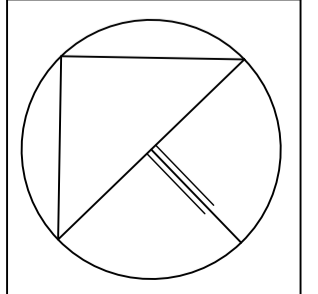
FIRST FLOOR PLAN



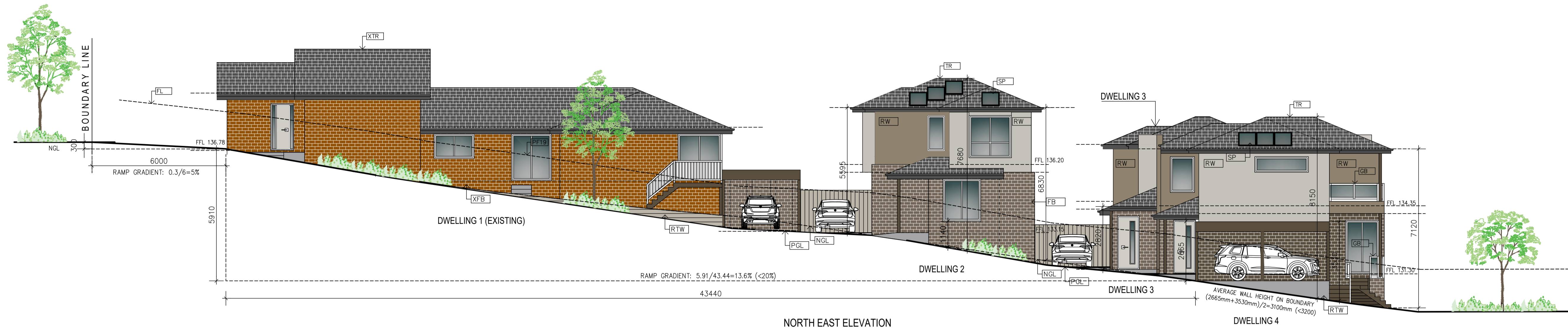
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D			
E			
F			

PROJECT				DRAWING (NO.)	
PROPOSED FOUR DWELLING DEVELOPMENT (INCLUDING EXISTING) AT 37 NICHOLSON ST IN MEADOW HEIGHTS FOR MR MOUTAZ ZENO				TP-4C	
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO	
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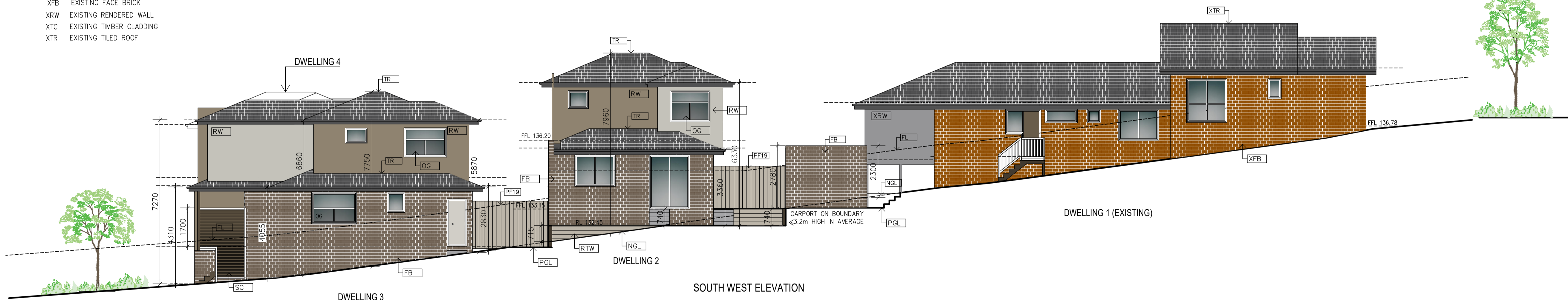
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NORTH EAST ELEVATION

LEGEND

- DC DOUBLE GLAZED WINDOW
- FB FACE BRICK WALL
- FL FENCE LINE
- GB1 GLASS BALUSTRADE UP TO 1M HIGH
- OGB OBSCURE GLASS BALUSTRADE
- NGL NATURAL GROUND LEVEL
- PF19 PROPOSED PALING FENCE (1.9m HIGH)
- PGL PROPOSED NEW GROUND LEVEL
- SP PHOTOVOLTAIC SOLAR PANELS AS PER BESS REPORT
- OG OBSCURE GLASS FIXED PANEL AT 1.7m AFL, CLEAR GLASS OPERABLE PANEL ABOVE.
- RTW RETAINING WALL
- RW RENDERED WALL
- SC FIXED EXTERNAL SCREEN TO 1.7m AFL WITH NO MORE THAN 25% TRANSPARENT.
- TR TILED ROOF
- XFB EXISTING FACE BRICK
- XRW EXISTING RENDERED WALL
- XTC EXISTING TIMBER CLADDING
- XTR EXISTING TILED ROOF



SOUTH WEST ELEVATION

COLOUR SCHEDULE

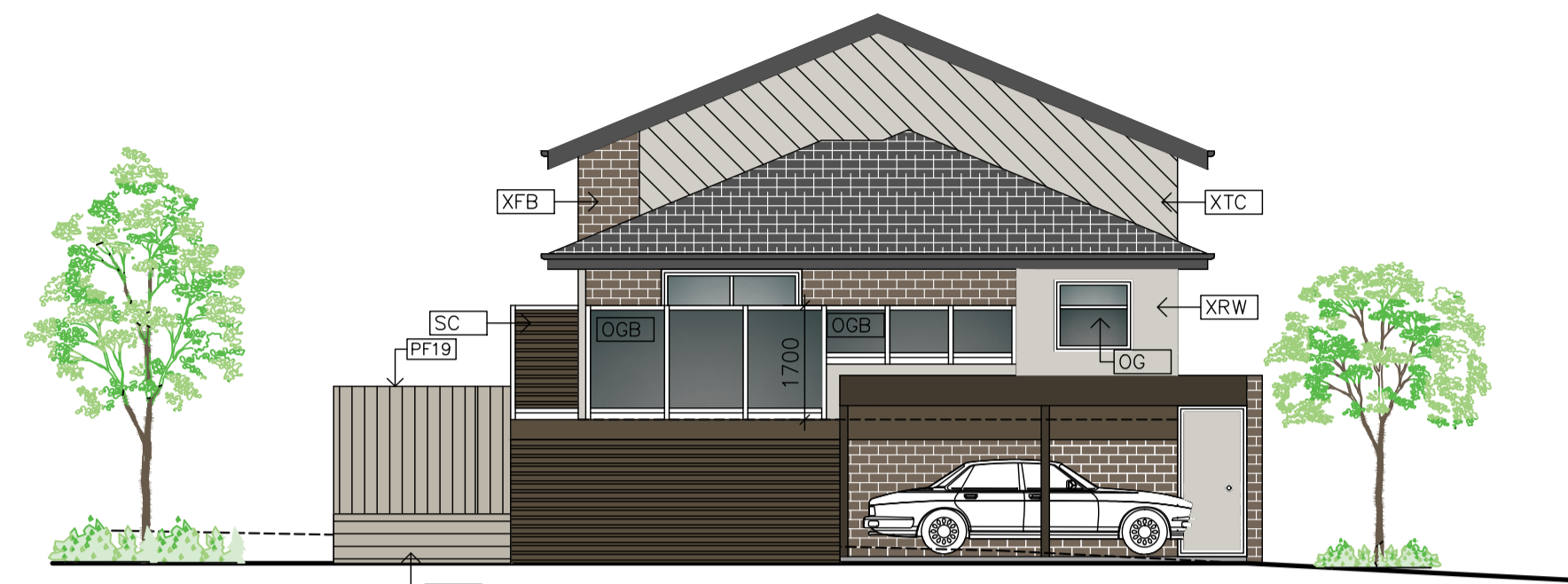
- | | | | | | |
|--|----------------------------------------------------|--|---------------------------------------------|--|--------------------------------|
| | TILED ROOF: CHARCOAL | | RENDERED WALL: POLYSTYRENE CLADDING : DUNE | | MAIN DOORS: TIMBER-TIMBER LOOK |
| | GUTTER, FASCIA AND DOWN PIPES: COLORBOND DARK GREY | | RENDERED WALL: POLYSTYRENE CLADDING : BROWN | | DRIVEWAY: CONCRETE-DARK GREY |
| | FACE BRICK: REDDISH BROWN OR SIMILAR | | CARPOT & POSTS- JASPER | | |

ELEVATIONS 1

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E			
F			

PROJECT					DRAWING (NO.)
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SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO	
1/100	05/08/2024	FERAS AL ASAAD	MZ-0624	MZ-100C	

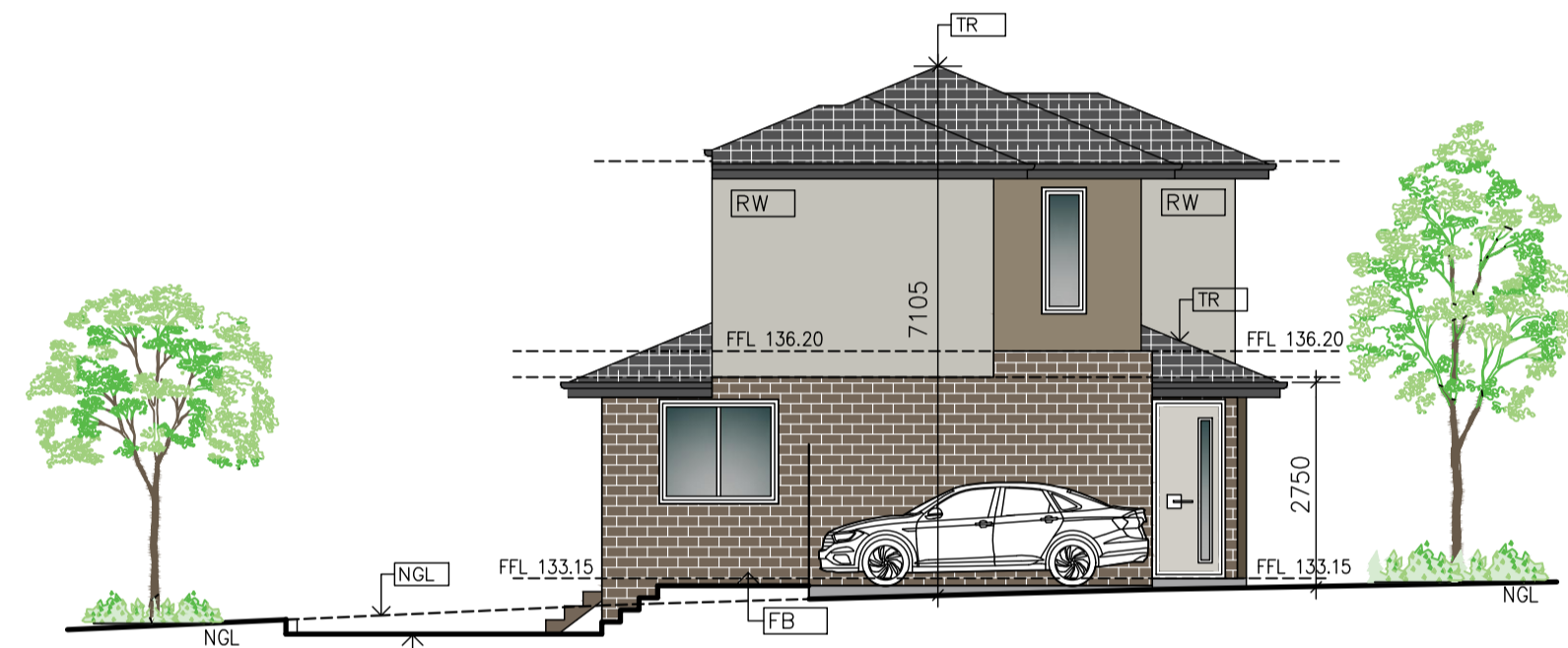
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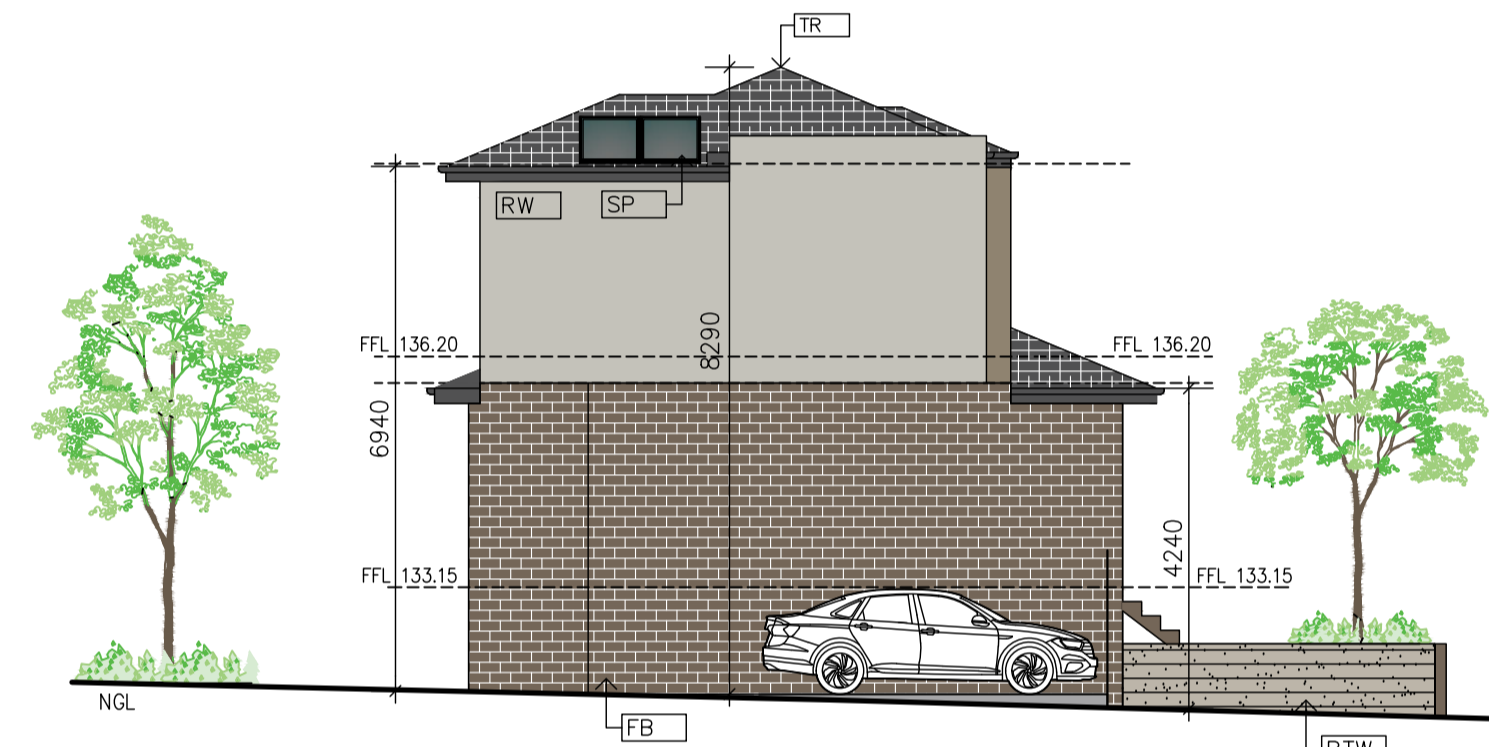
DWELLING 1 (EXISTING)
NORTH WEST ELEVATION

LEGEND

- DG DOUBLE GLAZED WINDOW
- FB FACE BRICK WALL
- FL FENCE LINE
- GB1 GLASS BALUSTRADE UP TO 1M HIGH
- OGB OBSCURE GLASS BALUSTRADE
- NGL NATURAL GROUND LEVEL
- PF19 PROPOSED PALING FENCE (1.9m HIGH)
- PGL PROPOSED NEW GROUND LEVEL
- SP PHOTOVOLTAIC SOLAR PANELS AS PER BESS REPORT
- OG OBSCURE GLASS FIXED PANEL AT 1.7m AFL, CLEAR GLASS OPERABLE PANEL ABOVE.
- RTW RETAINING WALL
- RW RENDERED WALL
- SC FIXED EXTERNAL SCREEN TO 1.7m AFL WITH NO MORE THAN 25% TRANSPARENT.
- TR TILED ROOF
- XFB EXISTING FACE BRICK
- XRW EXISTING RENDERED WALL
- XTC EXISTING TIMBER CLADDING
- XTR EXISTING TILED ROOF



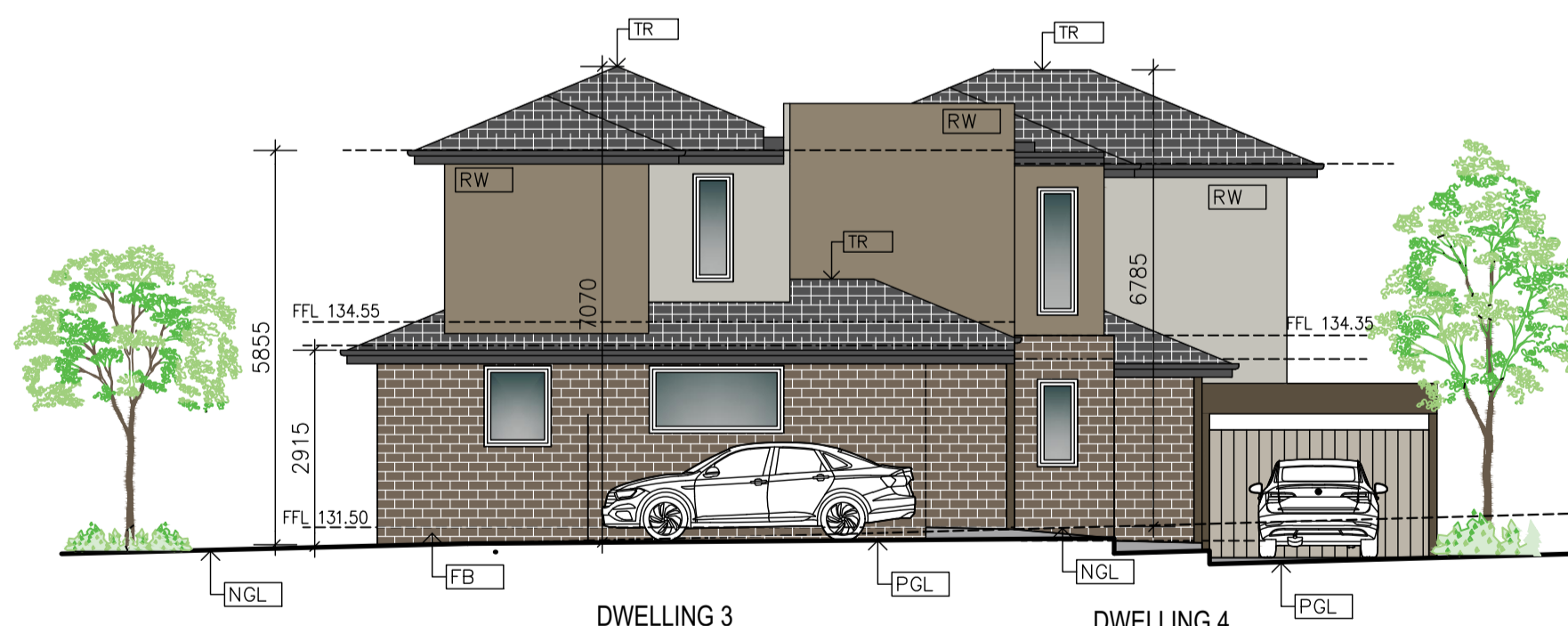
DWELLING 2
SOUTH EAST ELEVATION



DWELLING 2
NORTH WEST ELEVATION

COLOUR SCHEDULE

- TILED ROOF: CHARCOAL
- GUTTER, FASCIA AND DOWN PIPES: COLORBOND-DARK GREY
- FACE BRICK: REDDISH BROWN OR SIMILAR
- RENDERED WALL: POLYSTYRENE CLADDING : DUNE
- RENDERED WALL: POLYSTYRENE CLADDING : BROWN
- CARPORT & POSTS- JASPER
- MAIN DOORS: TIMBER-TIMBER LOOK
- DRIVEWAY: CONCRETE-DARK GREY



DWELLING 3
SOUTH EAST ELEVATION



DWELLING 4
DWELLING 3
NORTH WEST ELEVATION

ELEVATIONS 2






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PROPOSED FOUR DWELLING DEVELOPMENT (INCLUDING EXISTING)				TP-6C	
AT 37 NICHOLSON ST IN MEADOW HEIGHTS FOR MR MOUTAZ ZENO					
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO	
1/100	05/08/2024	FERAS AL ASAAD	MZ-0624	MZ-100C	

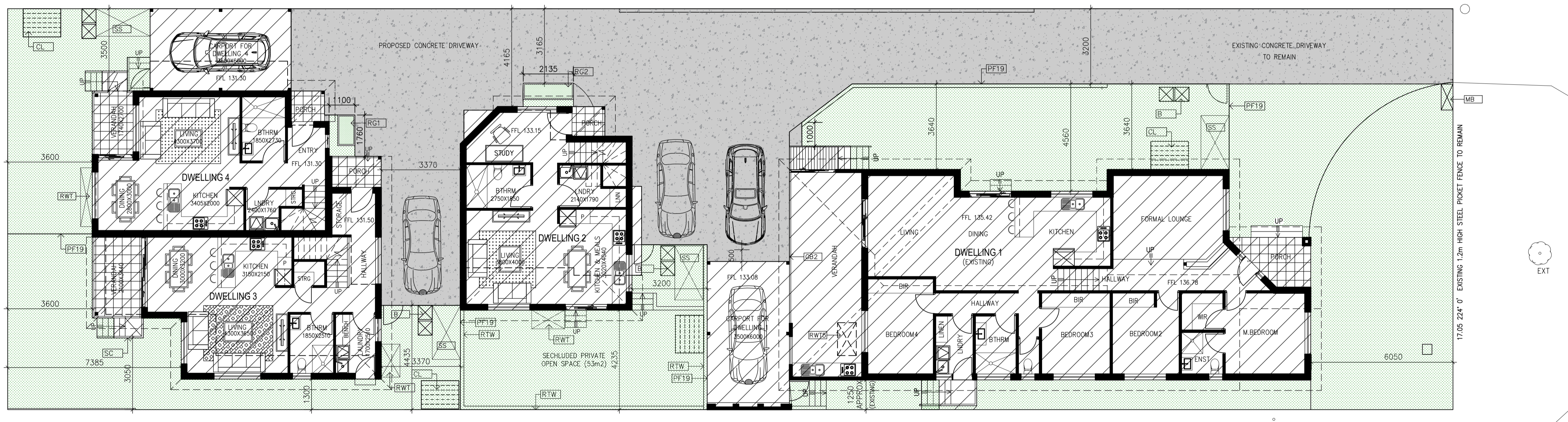
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LEGEND

-  GARDEN AREA
-  SITE COVERAGE BUILDING
-  DRIVEWAY
- B BINS
- CL CLOTHES LINE
- MB DWELLING 1-4 MAIL BOXES, NOT TO EXCEED 0.9m IN HEIGHT
- PF19 PROPOSED TIMBER FENCE (1.9m HIGH)
- RG1 INGROUND RAINGARDEN (1m²), TO BE DESIGNED AND PREPARED TO RECEIVE AND FILTER RAIN RUN-OFF FROM THE DRIVEWAY.
- RG2 INGROUND RAINGARDEN (1.5m²), TO BE DESIGNED AND PREPARED TO RECEIVE AND FILTER RAIN RUN-OFF FROM THE DRIVEWAY.
- RWT RAINWATER TANK WITH 2000L CAPACITY CONNECTED TO ALL TOILETS OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
- RWT5 RAINWATER TANK WITH 500L CAPACITY UNDER VERANDA FOR GARDENING OR OTHER RE-USE OPPORTUNITIES
- SS STORAGE SHED (MINIMUM VOLUME OF 6m³)

CALCULATION

SITE AREA: 1049m²
 BUILDING AREA ON GROUND: 429m²
 DRIVEWAY: 252m²
 REQUIRED GARDEN AREA: 1049-429-252=368m²
 PROPOSED GARDEN AREA: 1049-429-252=368m² (35.08%)



NICHOLSON CRESCENT

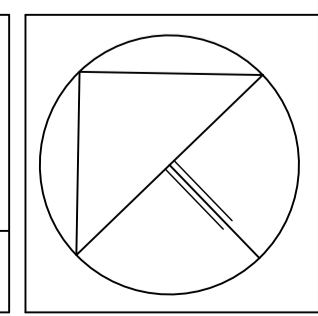
GARDEN AREA PLAN

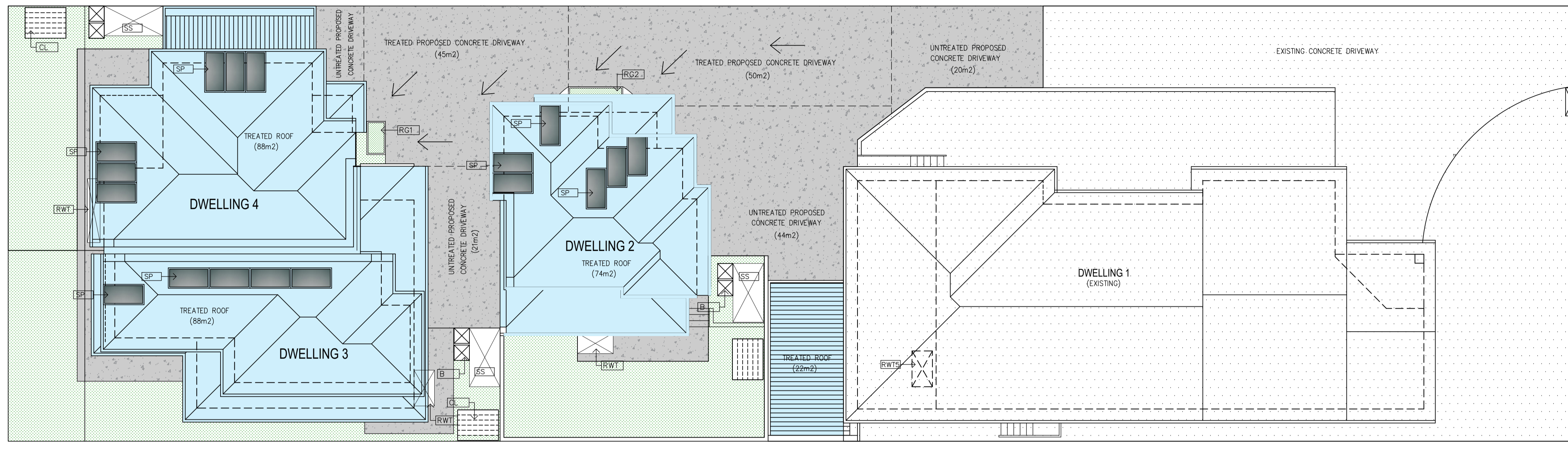


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PROJECT				DRAWING (NO.)	
PROPOSED FOUR DWELLING DEVELOPMENT (INCLUDING EXISTING)				TP-7C	
AT 37 NICHOLSON ST IN MEADOW HEIGHTS FOR MR MOUTAZ ZENO					
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1/100	05/08/2024	FERAS AL ASAAD	MZ-0624	MZ-100C	





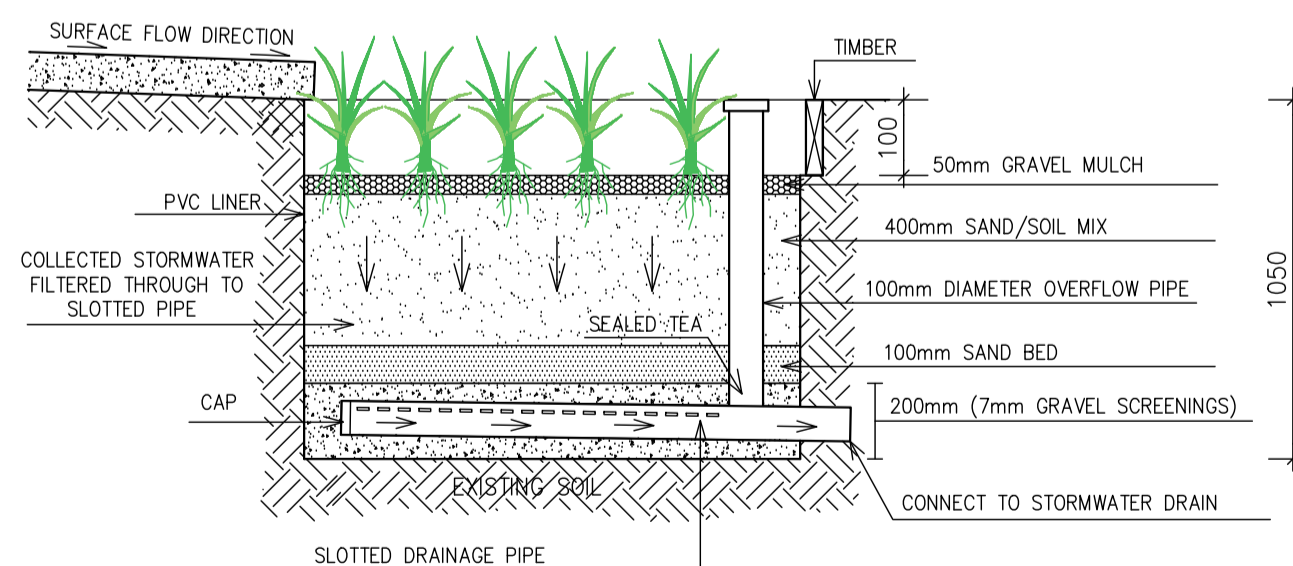
NICHOLSON CRESCENT

LEGEND

- CONCRETE DRIVEWAY & PAVING. PAVING DRAINS INTO ADJACENT GARDEN AREA.
- PERMEABLE SURFACE
- ROOF CATCHMENT CONNECTED TO RAINWATER TANK WITH THE USE OF CHARGED RAINWATER HARVESTING SYSTEM.
- B BINS
- CL CLOTHES LINE
- PF19 PROPOSED PALING FENCE (1.9m HIGH)
- RG1 INGROUND RAINGARDEN (1m²), TO BE DESIGNED AND PREPARED TO RECEIVE AND FILTER RAIN RUN-OFF FROM THE DRIVEWAY.
- RG2 INGROUND RAINGARDEN (1.5m²), TO BE DESIGNED AND PREPARED TO RECEIVE AND FILTER RAIN RUN-OFF FROM THE DRIVEWAY.
- RWT RAINWATER TANK WITH 2000L CAPACITY, CONNECTED TO TOILETS, IRRIGATION OR OTHER RE-USE OPPORTUNITIES. MECHANICALLY PUMPED WHEN CONNECTED TO TOILETS.
- RWT5 RAINWATER TANK WITH 500L CAPACITY UNDER VERANDA FOR GARDENING OR OTHER RE-USE OPPORTUNITIES
- SS STORAGE SHED(6m³)

SDA NOTES:

- KEY SUSTAINABLE DESIGN STRATEGIES CONSIDERED IN THE DEVELOPMENT INCLUDE:
- HIGH-PERFORMANCE BUILDING FABRIC WITH GOOD LEVELS OF INSULATION
 - ENERGY EFFICIENT LED LIGHTS
- WATER
- SHOWERHEADS 4 STAR WELS (>= 6 BUT <= 7.5)
 - TAPS: KITCHEN, BATHROOM 5 STAR WELS RATING
 - DISHWASHERS WATER EFFICIENCY: 3 STAR
 - WC: 4 STAR WELS RATING
 - WASHING MACHINE WATER EFFICIENCY: OCCUPANT TO INSTALL
 - WATER EFFICIENT LANDSCAPING TO BE INSTALLED
 - RAINWATER TANKS CONNECTED TO TOILETS.
- NOTE: RAINWATER HARVESTING TANKS NOTED TO BE USED ONLY FOR RE-USE WITHIN THE DWELLING AND THAT THEY ARE COMPLETELY INDEPENDENT OF ANY DETENTION REQUIREMENTS
- ENERGY
- DOUBLE GLAZING TO BE PROVIDED TO ALL HABITABLE ROOM WINDOWS.
 - HEATING SYSTEM-REVERSE CYCLE SPACE 2 STARS (2019 MEPS)
 - COOLING SYSTEM-REFRIGERATIVE SPACE 3 STARS (2019 MEPS)
 - HOT WATER SERVICE-ELECTRIC INSTANTANEOUS
 - PRIVATE OUTDOOR CLOTHESLINE TO BE PROVIDED
- INDOOR ENVIRONMENT QUALITY
- DOUBLE GLAZING REQUIRED TO ALL HABITABLE ROOM WINDOWS.
- URBAN ECOLOGY
- PROVIDE A TAP AND FLOOR WASTE IN EVERY BALCONY/VERANDAH AND COURTYARD
- WASTE MANAGEMENT
- THE ADOPTION OF A RECYCLING TARGET OF AT LEAST 70% (BY MASS) FOR ALL DEMOLITION AND CONSTRUCTION WASTE IS RECOMMENDED.
- THE CONSTRUCTION STAGE IS WHERE ALL WASTE MANAGEMENT STRATEGIES ARE IMPLEMENTED TO ENSURE THAT CONTRACTORS ARE ABLE TO MEET DESCRIBED PROCESS AND TARGETS. WE RECOMMEND THE FOLLOWING:
- ALLOW FOR SUFFICIENT SPACE ON SITE TO ACCOMMODATE NOT ONLY NEW MATERIALS, BUT ALSO DIFFERENT
 - SKIPS FOR DIFFERENT WASTE AND RECYCLING STREAMS.
 - CLEARLY LABEL INDIVIDUAL SKIPS AND BINS AND PROTECT THEM FROM CONTAMINATION, RAIN AND WIND.
 - ORGANISE REGULAR PICK UP OF SKIPS AND BINS TO AVOID OVERLOADING OR FALSE USE OF CONTAINERS
 - ENSURE SUB-CONTRACTORS ARE FULLY AWARE OF THE SITE'S WASTE MANAGEMENT PRACTICES.
 - MAKE SURE WRITTEN CONTRACTS WITH TRADES INCLUDE WASTE MINIMIZATION PRACTICES.
 - PROVIDE SEPARATE BINS FOR HOUSEHOLD WASTE.
 - ASK SUPPLIERS TO COLLECT/RECYCLE PACKAGING.
- URBAN ECOLOGY:
- PROVIDE A TAP AND FLOOR WASTE ON EVERY BALCONY AND COURTYARD
 - PROVIDE 2m² AREA IN EACH SECLUDED PRIVATE OPEN SPACE AS A FOOD PRODUCTION AREA
- MATERIALS
- MATERIALS THAT WILL BE USED ARE: TIMBER FLOOR, BRICK WORK, TIMBER FRAMES, LIGHT WEIGHT CLADDING AND TILED ROOF. WALL AND CEILING INSULATIONS TO BE IMPLEMENTED AS PER ENERGY RATING REPORT AND RECOMMENDATIONS TO IMPROVE ENERGY EFFICIENCY RATING.
- VOC
- IT IS REQUIRED AND COMMITMENT TO USE LOW VOLATILE ORGANIC COMPOUNDS (VOC) FOR:
- INTERNAL FINISHES AND INTERNAL PAINTED SURFACES. NOT TO EXCEED 50G/L
 - CERAMIC TILE ADHESIVE. NOT TO EXCEED 65G/L
 - STRUCTURAL GLAZING ADHESIVE. NOT TO EXCEED 100G/L
 - ADHESIVES AND SEALANTS. NOT TO EXCEED 50G/L



INGROUND RAINGARDEN
SCALE : 1/20

Melbourne Water STORM Rating Report

TransactionID: 0
 Municipality: HUME
 Rainfall Station: HUME
 Address: 2-4/37 NICHOLSON CRESCENT

Meadow Heights
 VIC 3048
 Assessor: FERAS AL ASAAD
 Development Type: Residential - Multunit
 Allotment Site (m²): 604.00
 STORM Rating %: 104

Description	Impervious Area (m ²)	Treatment Type	Treatment Area/Volume (m ² or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
DWELLING 2 ROOF	74.00	Rainwater Tank	2,000.00	2	131.00	94.00
DWELLING 3 ROOF	88.00	Rainwater Tank	2,000.00	2	120.00	96.40
DWELLING 4 ROOF	88.00	Rainwater Tank	2,000.00	2	120.00	96.40
DWELLING 1 CARPORT	22.00	Rainwater Tank	500.00	3	164.00	80.00
UNTREATED DRIVEWAY	85.00	None	0.00	0	0.00	0.00
TREATED DRIVEWAY 1	50.00	Raingarden 100mm	1.50	0	131.05	0.00
TREATED DRIVEWAY 2	44.00	Raingarden 100mm	1.00	0	129.35	0.00

Date Generated: 10-Sep-2024

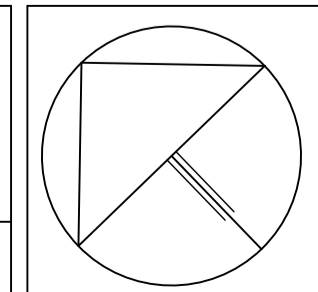
Program Version: 1.0.0

RAINWATER TANK MAINTENANCE :

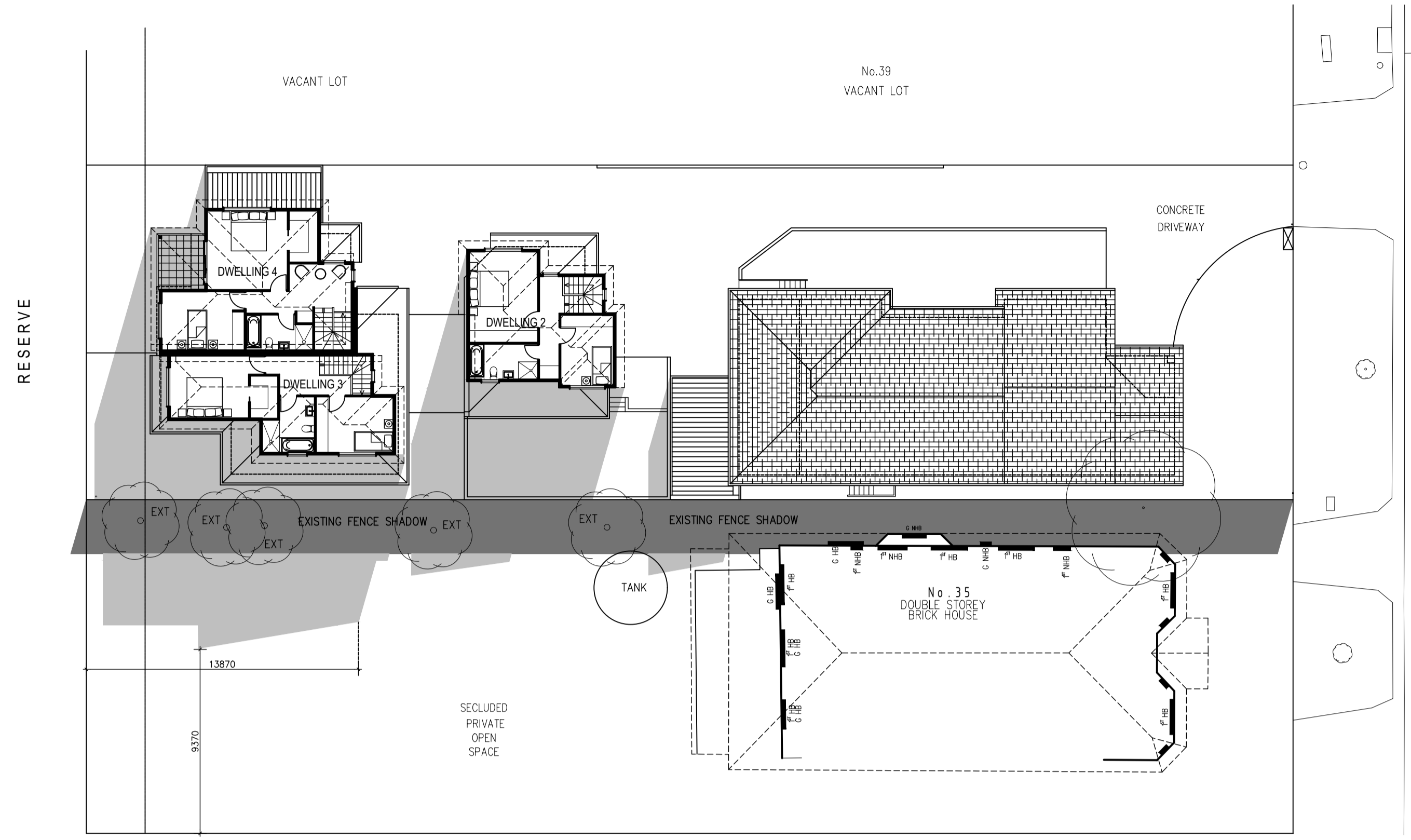
REGULAR MAINTENANCE WILL IMPROVE THE WATER QUALITY AND EXTEND THE LIFE OF YOUR SYSTEM.
 EMPLOY PROFESSIONAL SERVICES FIRMS TO CARRY OUT THE MAINTENANCE WORKS, AND OBSERVE ALL PRACTICE RECOMMENDATIONS AND SAFETY REGULATIONS.

ROOF CATCHMENT PLAN

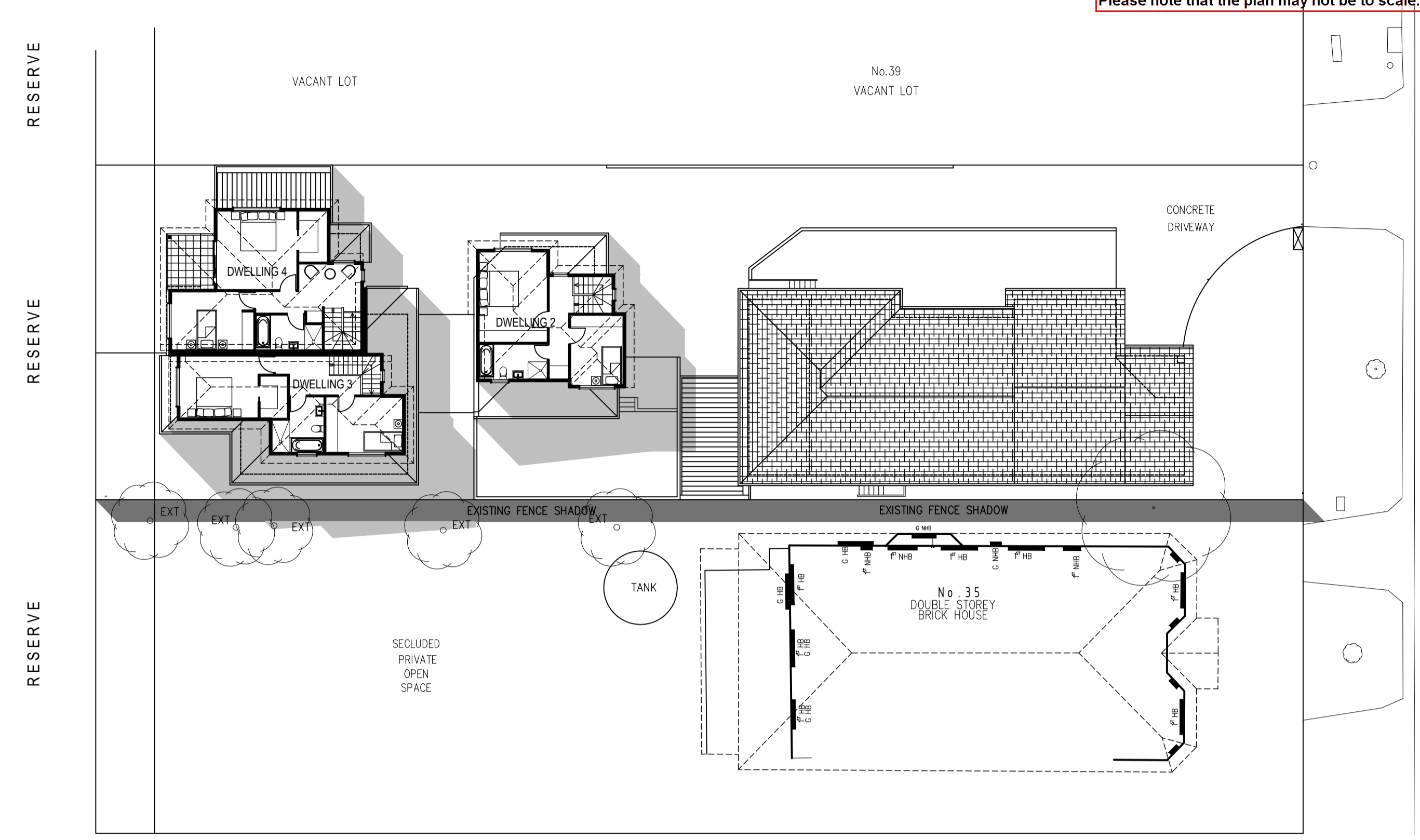
	<p>Feras Al Asaad Building Designer DP-AD 36309</p> <p>PO BOX 247 CRAIGIEBURN, VIC 3064 Tel/Fax:(03) 9302 4079 Mob:0423 489 804 Email:feras@ferasdesign.com.au Web:www.ferasdesign.com.au </p>		<p>This drawing is copyright. It is the property of Feras Building Design and must not be retained, copied or used without the permission of Feras Building Design. Do not scale from the drawings, refer to given dimensions. All dimensions must be checked on site before commencement of any work. Discrepancies shall be reported immediately to the Designer for interpretation. This document is to be read in conjunction with the other documents and specifications in this set.</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>REV</th> <th>DESCRIPTION</th> <th>DATE</th> <th>BY</th> </tr> <tr> <td>A</td> <td>ISSUED FOR PLANNING PERMIT</td> <td>5/8/2024</td> <td>F.A</td> </tr> <tr> <td>B</td> <td>AMENDED AS PER COUNCIL'S FURTHER INFORMATION LETTER DATED 04/09/2024</td> <td>10/09/2024</td> <td>F.A</td> </tr> <tr> <td>C</td> <td>AMENDED AS PER FURTHER INFORMATION LETTER DATED 4/9/24</td> <td>18/10/2024</td> <td>F.A</td> </tr> <tr> <td>D</td> <td></td> <td></td> <td></td> </tr> <tr> <td>E</td> <td></td> <td></td> <td></td> </tr> <tr> <td>F</td> <td></td> <td></td> <td></td> </tr> </table>	REV	DESCRIPTION	DATE	BY	A	ISSUED FOR PLANNING PERMIT	5/8/2024	F.A	B	AMENDED AS PER COUNCIL'S FURTHER INFORMATION LETTER DATED 04/09/2024	10/09/2024	F.A	C	AMENDED AS PER FURTHER INFORMATION LETTER DATED 4/9/24	18/10/2024	F.A	D				E				F				<p>PROJECT PROPOSED FOUR DWELLING DEVELOPMENT (INCLUDING EXISTING) AT 37 NICHOLSON ST IN MEADOW HEIGHTS FOR MR MOUTAZ ZENO</p>	<p>DRAWING (NO.) TP-8C</p>
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<p>SCALE 1/100</p>	<p>DATE 05/08/2024</p>	<p>DESIGNED AND DRAWN BY FERAS AL ASAAD</p>	<p>PROJECT NO MZ-0624</p>	<p>CAD NO MZ-100C</p>																														



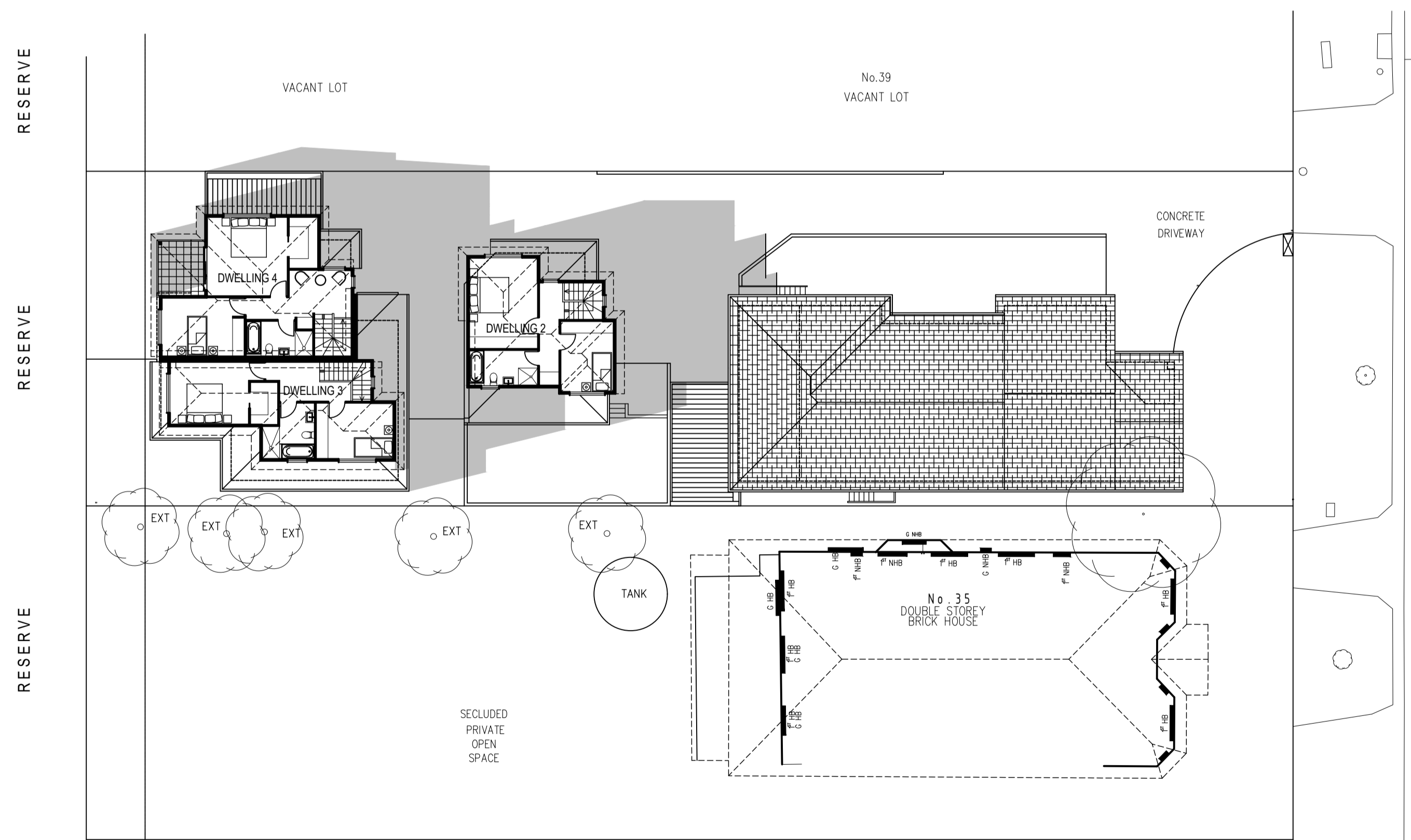
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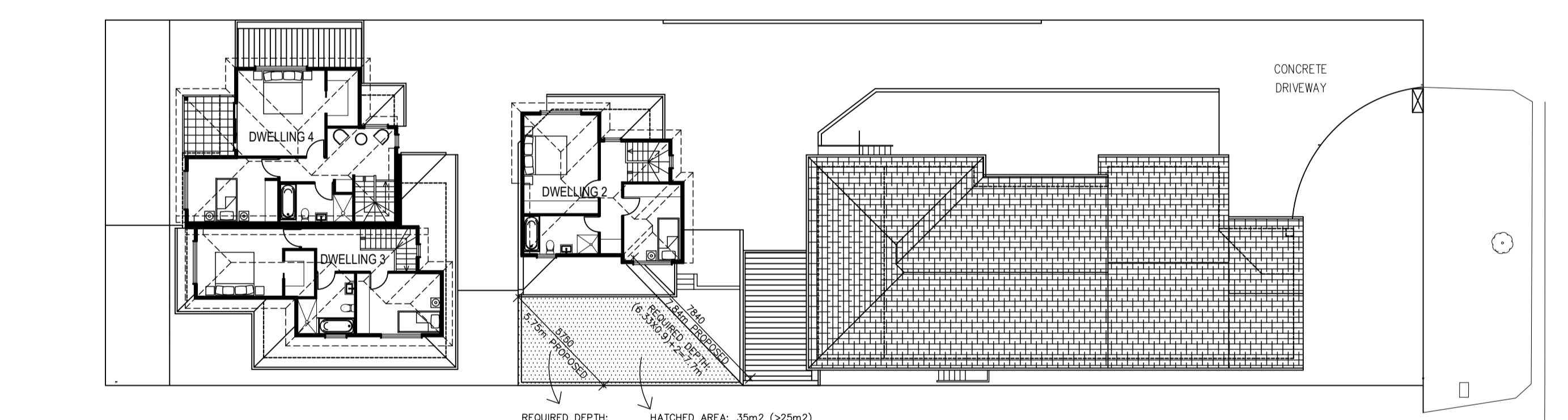
22nd SEP - 9AM SHADOW DIAGRAM



22nd SEP - 12 NOON SHADOW DIAGRAM



22nd SEP - 3PM SHADOW DIAGRAM



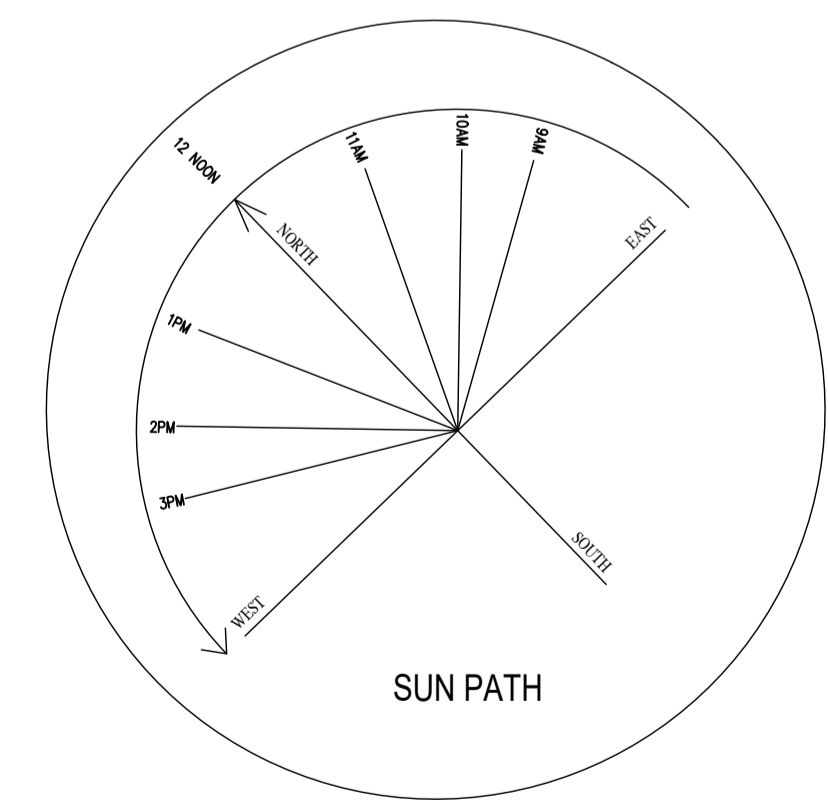
SOLAR ACCESS TO OPEN SPACE



OVERLOOKING OPEN SPACE

LEGEND

- NEW SHADOW
- EXISTING FENCE SHADOW
- HB HABITABLE ROOM WINDOW
- NHB NON HABITABLE ROOM WINDOW



SUN PATH

SHADOW DIAGRAMS / SOLAR ACCESS TO OPEN SPACE / OVER LOOKING OPEN SPACE

Feras Al Asaad
Building Designer DP-AD 36309

| PO BOX 247 CRAIGIEBURN, VIC 3064 |
| Tel/Fax:(03) 9302 4079 | Mob:0423 489 804 |
| Email:feras@ferasdesign.com.au | Web:www.ferasdesign.com.au |

VICTORIAN BUILDING AUTHORITY

REGISTERED Building Practitioner

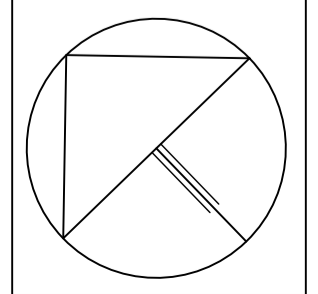
Design Matters

The peak body for the building design profession Member

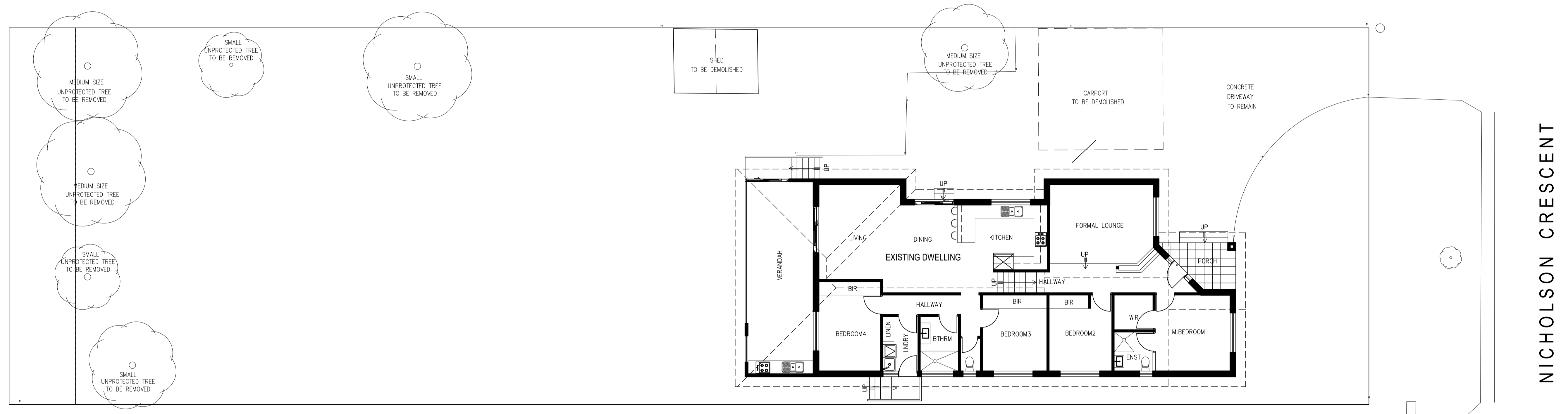
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REV	DESCRIPTION	DATE	BY
A	ISSUED FOR PLANNING PERMIT	5/8/2024	F.A
B	AMENDED AS PER COUNCIL'S FURTHER INFORMATION LETTER DATED 04/09/2024	10/09/2024	F.A
C	AMENDED AS PER FURTHER INFORMATION LETTER DATED 4/9/24	18/10/2024	F.A
D			
E			
F			

PROJECT		DRAWING NO. (No.)	
PROPOSED FOUR DWELLING DEVELOPMENT (INCLUDING EXISTING) AT 37 NICHOLSON ST IN MEADOW HEIGHTS FOR MR MOUTAZ ZENO		TP-9C	
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO
1/200	05/08/2024	FERAS AL ASAAD	MZ-0624
			CAD NO
			MZ-100C



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DEMOLISHING PLAN



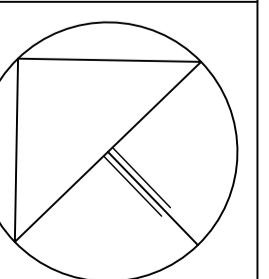
Feras Al Asaad
 Building Designer DP-AD 36309
 | PO BOX 247 CRAIGIEBURN, VIC 3064 |
 | Tel/Fax:(03) 9302 4079 | Mob:0423 489 804 |
 | Email:feras@ferasdesign.com.au | Web:www.ferasdesign.com.au |

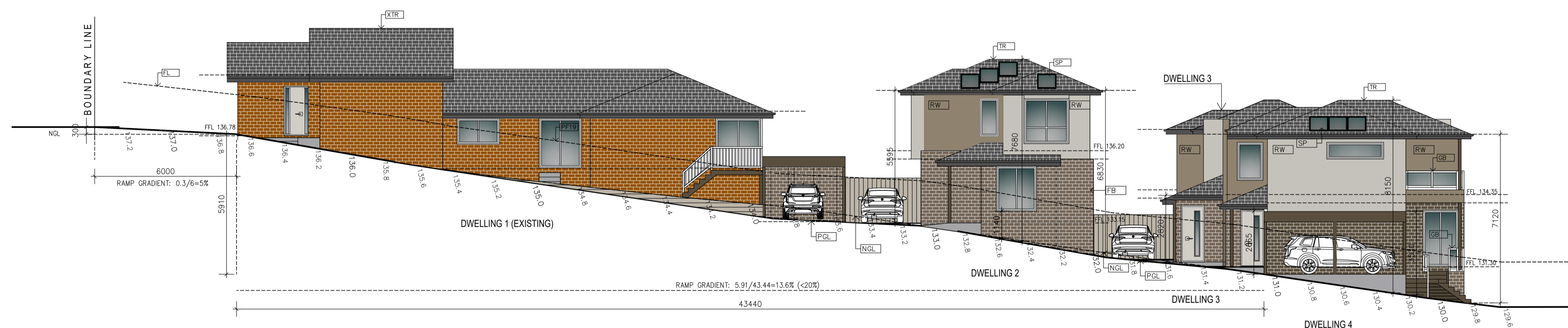


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REV	DESCRIPTION	DATE	BY
A	ISSUED FOR DEVELOPER APPROVAL	23/2/2023	F.A
B	AMENDED AS PER COUNCIL'S FURTHER INFORMATION LETTER DATED 04/09/2024	10/09/2024	F.A
C	AMENDED AS PER FURTHER INFORMATION LETTER DATED 4/9/24	18/10/2024	F.A
D			
E			
F			

PROJECT PROPOSED FOUR DWELLING DEVELOPMENT (INCLUDING EXISTING) AT 37 NICHOLSON ST IN MEADOW HEIGHTS FOR MR MUTAZ ZENO					DRAWING (No.) TP-10A
SCALE 1/100	DATE 15/07/2024	DESIGNED AND DRAWN BY FERAS AL ASAAD	PROJECT NO MZ-0624	CAD NO MZ-100A	


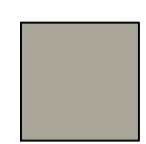
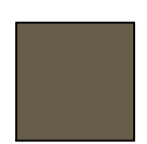



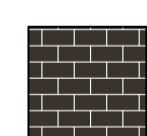





LEGEND

- DG DOUBLE GLAZED WINDOW
- FB FACE BRICK WALL
- FL FENCE LINE
- GB1 GLASS BALUSTRADE UP TO 1M HIGH
- GOB OBSCURE GLASS BALUSTRADE
- NGL NATURAL GROUND LEVEL
- PF19 PROPOSED PALING FENCE (1.9m HIGH)
- PGL PROPOSED NEW GROUND LEVEL
- SP PHOTOVOLTAIC SOLAR PANELS AS PER BESS REPORT
- OG OBSCURE GLASS FIXED PANEL AT 1.7m AFL, CLEAR GLASS OPERABLE PANEL ABOVE.
- RTW RETAINING WALL
- RW RENDERED WALL
- SC FIXED EXTERNAL SCREEN TO 1.7m AFL WITH NO MORE THAN 25% TRANSPARENT.
- TR TILED ROOF
- XFB EXISTING FACE BRICK
- XRW EXISTING RENDERED WALL
- XTC EXISTING TIMBER CLADDING
- XTR EXISTING TILED ROOF

COLOUR SCHEDULE

-  TILED ROOF: CHARCOAL
-  RENDERED WALL: POLYSTYRENE CLADDING : DUNE
-  MAIN DOORS: TIMBER-TIMBER LOOK
-  GUTTER, FASCIA AND DOWN PIPES: COLORBOND
-  RENDERED WALL: POLYSTYRENE CLADDING : BROWN
-  DRIVEWAY: CONCRETE-DARK GREY
-  FACE BRICK: REDDISH BROWN OR SIMILAR
-  CARPORT & POSTS- JASPER

NORTH EAST ELEVATION



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REV	DESCRIPTION	DATE	BY
A	ISSUED FOR PLANNING PERMIT	5/8/2024	F.A
B			
C			
D			
E			
F			

PROJECT				
PROPOSED FOUR DWELLING DEVELOPMENT (INCLUDING EXISTING)				
AT 37 NICHOLSON ST IN MEADOW HEIGHTS FOR MR MOUTAZ ZENO				
SCALE	DATE	DESIGNED AND DRAWN BY	PROJECT NO	CAD NO
1/100	05/08/2024	FERAS AL ASAAD	MZ-0624	MZ-100A

DRAWING (NO.)
TP-11A

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REGISTER SEARCH STATEMENT (Title Search only) under the Land Act 1958

VOLUME 09940 FOLIO 165

Security no : 124115677441E
Produced 09/06/2024 07:27 PM

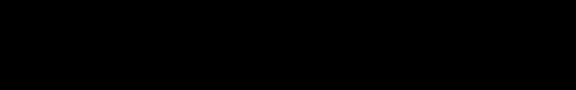
LAND DESCRIPTION

Lot 2052 on Plan of Subdivision 215145Q.
PARENT TITLE Volume 09888 Folio 104
Created by instrument LP215145Q 27/03/1990

REGISTERED PROPRIETOR

Estate Fee Simple
Sole Proprietor
MOUTAZ ZENO of 37 NICHOLSON CRESCENT MEADOW HEIGHTS VIC 3048
AX299620A 27/09/2023

ENCUMBRANCES, CAVEATS AND NOTICES



COVENANT (as to whole or part of the land) in instrument R003612K

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

DIAGRAM LOCATION

SEE LP215145Q FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 37 NICHOLSON CRESCENT MEADOW HEIGHTS VIC 3048

ADMINISTRATIVE NOTICES

NIL

eCT Control 18478R FIRST LEGAL
Effective from 27/09/2023

DOCUMENT END



Imaged Document Cover Sheet

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Document Type	Plan
Document Identification	LP215145Q
Number of Pages (excluding this cover sheet)	9
Document Assembled	09/06/2024 19:27

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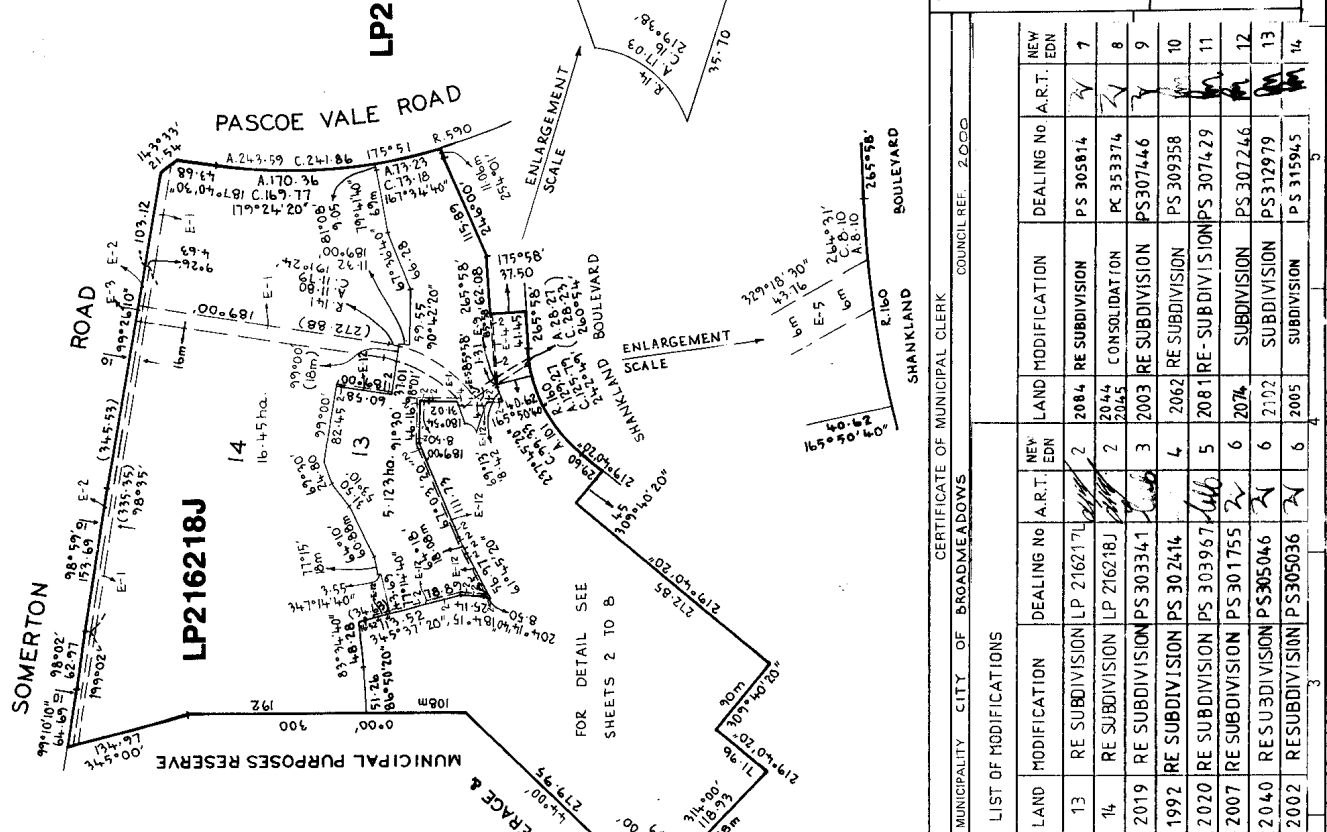
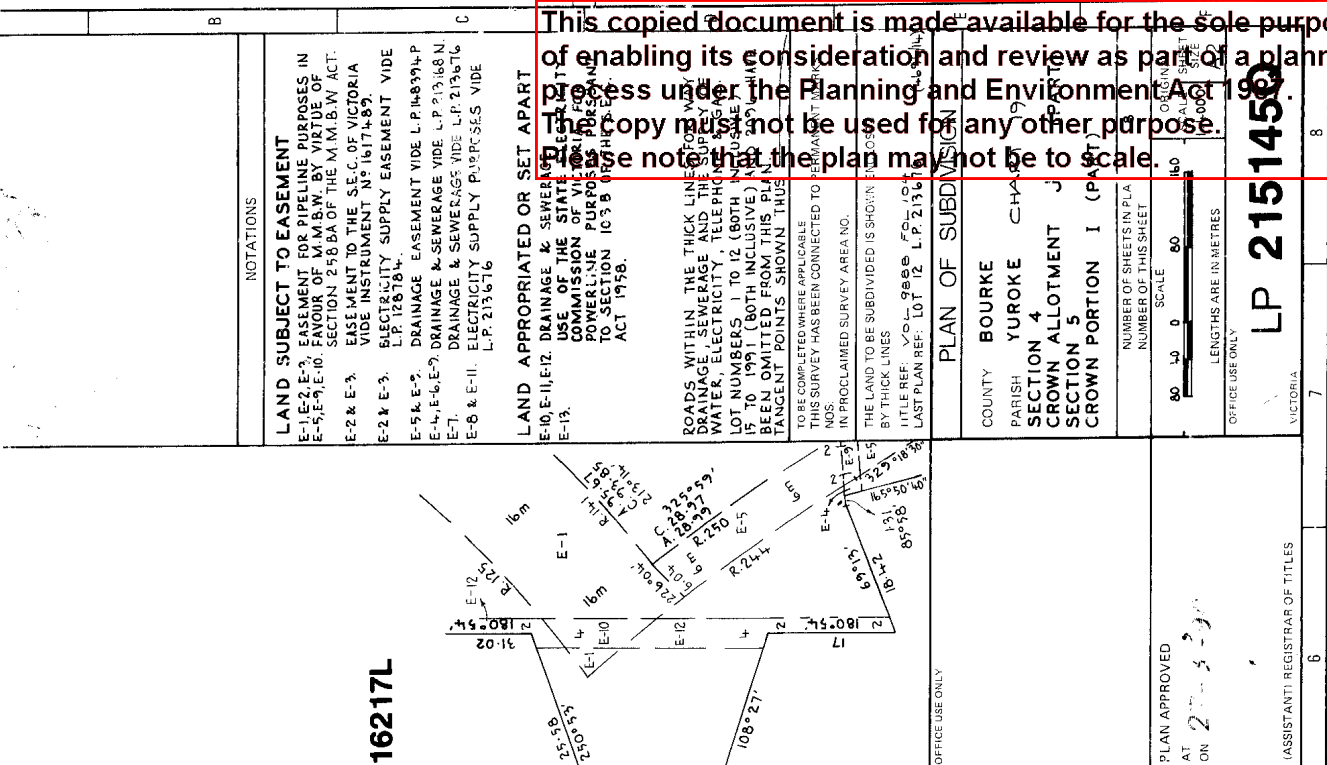
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LP 215145Q EDITION 23

NOTATIONS

LAND SUBJECT TO EASEMENT
 E-1-E-3. EASEMENT FOR PIPELINE PURPOSES IN FAVOUR OF M.M.B.W. BY VIRTUE OF SECTION 258 BA OF THE M.M.B.W. ACT.
 E-4-E-9. E-10. EASEMENT TO THE S.E.C. OF VICTORIA VIDE INSTRUMENT N° 1617489.
 E-2 & E-3. ELECTRICITY SUPPLY EASEMENT VIDE L.P. 126784.
 E-5. E-5. DRAINAGE EASEMENT VIDE L.P. 148394-P.
 E-14. E-6, E-9. DRAINAGE & SEWERAGE VIDE L.P. 13168 N.
 E-7. DRAINAGE & SEWERAGE VIDE L.P. 215616.
 E-8 & E-11. ELECTRICITY SUPPLY PURPOSES VIDE L.P. 215616.

LAND APPROPRIATED OR SET APART
 E-10. E-11. E-12. DRAINAGE & SEWERAGE VIDE L.P. 126784.
 E-13. USE OF THE STATE FOR PUBLIC PURPOSES PURSUANT TO SECTION 103 B OF THE CONSTITUTION ACT 1958.



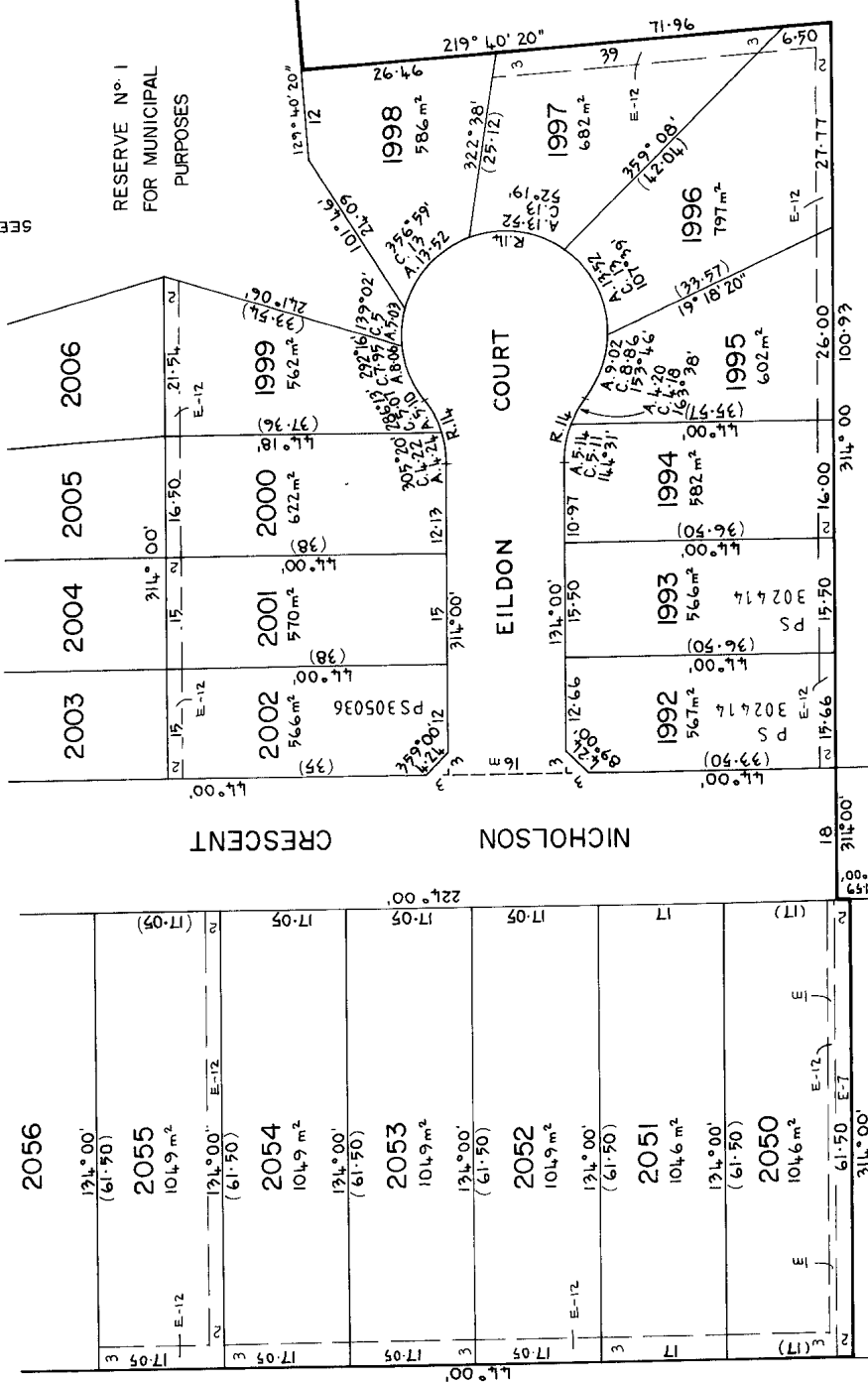
CERTIFICATION BY SURVEYOR		CERTIFICATE OF MUNICIPAL CLERK		COUNCIL REF: 2000																																																																									
MUNICIPALITY: CITY OF BROADMEADOWS		MUNICIPALITY: CITY OF BROADMEADOWS		COUNCIL REF: 2000																																																																									
<p>AMENDMENTS DELETE PART OF E-12 EASEMENT IN LOTS 2004, 2003, 2009 AND 2007 EXCEPT EASEMENT ALONG ROAD IN LOT 2016. DELETE PART E-12 EASEMENT ALONG ROAD IN LOT 2016. DELETE PART E-12 EASEMENT IN LOTS 2015, 2016, 2017 RESERVE N1 F. WIDEN E-12 EASEMENT IN LOT 2016. ADD E-14 EASEMENT TO LOT 2048.</p> <p>PEYTON WAITE PTY. LTD. CONSULTING LAND SURVEYORS 353 PLENTY ROAD PRESTON 3072 PHONE 4784933</p>		<p>LIST OF MODIFICATIONS</p> <table border="1"> <thead> <tr> <th>LAND MODIFICATION</th> <th>DEALING NO</th> <th>A.R.T.</th> <th>NEW EDN</th> <th>LAND MODIFICATION</th> <th>DEALING NO</th> <th>A.R.T.</th> <th>NEW EDN</th> </tr> </thead> <tbody> <tr> <td>13 RE SUBDIVISION</td> <td>LP 216217L</td> <td></td> <td>2</td> <td>2084 RE SUBDIVISION</td> <td>PS 305814</td> <td></td> <td>7</td> </tr> <tr> <td>14 RE SUBDIVISION</td> <td>LP 216218J</td> <td></td> <td>2</td> <td>2044 CONSOLIDATION</td> <td>PC 353374</td> <td></td> <td>8</td> </tr> <tr> <td>2019 RE SUBDIVISION</td> <td>PS 303341</td> <td></td> <td>3</td> <td>2003 RE SUBDIVISION</td> <td>PS307446</td> <td></td> <td>9</td> </tr> <tr> <td>1992 RE SUBDIVISION</td> <td>PS 302414</td> <td></td> <td>4</td> <td>2062 RE SUBDIVISION</td> <td>PS 309358</td> <td></td> <td>10</td> </tr> <tr> <td>2020 RE SUBDIVISION</td> <td>PS 303967</td> <td></td> <td>5</td> <td>2081 RE-SUB DIVISION</td> <td>PS 307429</td> <td></td> <td>11</td> </tr> <tr> <td>2007 RE SUBDIVISION</td> <td>PS 301755</td> <td></td> <td>6</td> <td>2074 SUBDIVISION</td> <td>PS 307246</td> <td></td> <td>12</td> </tr> <tr> <td>2040 RE SUBDIVISION</td> <td>PS 305046</td> <td></td> <td>6</td> <td>2102 SUBDIVISION</td> <td>PS 312979</td> <td></td> <td>13</td> </tr> <tr> <td>2002 RE SUBDIVISION</td> <td>PS 305036</td> <td></td> <td>6</td> <td>2005 SUBDIVISION</td> <td>PS 315945</td> <td></td> <td>14</td> </tr> </tbody> </table>		LAND MODIFICATION	DEALING NO	A.R.T.	NEW EDN	LAND MODIFICATION	DEALING NO	A.R.T.	NEW EDN	13 RE SUBDIVISION	LP 216217L		2	2084 RE SUBDIVISION	PS 305814		7	14 RE SUBDIVISION	LP 216218J		2	2044 CONSOLIDATION	PC 353374		8	2019 RE SUBDIVISION	PS 303341		3	2003 RE SUBDIVISION	PS307446		9	1992 RE SUBDIVISION	PS 302414		4	2062 RE SUBDIVISION	PS 309358		10	2020 RE SUBDIVISION	PS 303967		5	2081 RE-SUB DIVISION	PS 307429		11	2007 RE SUBDIVISION	PS 301755		6	2074 SUBDIVISION	PS 307246		12	2040 RE SUBDIVISION	PS 305046		6	2102 SUBDIVISION	PS 312979		13	2002 RE SUBDIVISION	PS 305036		6	2005 SUBDIVISION	PS 315945		14	<p>PLAN APPROVED AT 2023-03-09 (ASSISTANT) REGISTRAR OF TITLES</p>	
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PLAN OF SUBDIVISION	
COUNTY	BOURKE
PARISH	YUROKE CHARITABLE
SECTION	4
CROWN ALLOTMENT	J (PART)
SECTION	5
CROWN PORTION	1 (PART)
NUMBER OF SHEETS IN PLAN	8
NUMBER OF THIS SHEET	2
ORIGINATING SCALE	5 0 10 20
LENGTHS ARE IN METRES	
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SEE SHEET 7

SHEET 3

SEE

PEYTON WAITE PTY. LTD. CONSULTING LAND SURVEYORS 353 Plenty Road, Preston, 3072. Phone 478 4933	SURVEYORS REF. 4696/15 PLAN B.C.C.	SIGNATURE OF SURVEYOR	SIGNATURE OF MUNICIPAL CLERK	OFFICE USE ONLY
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Continuity

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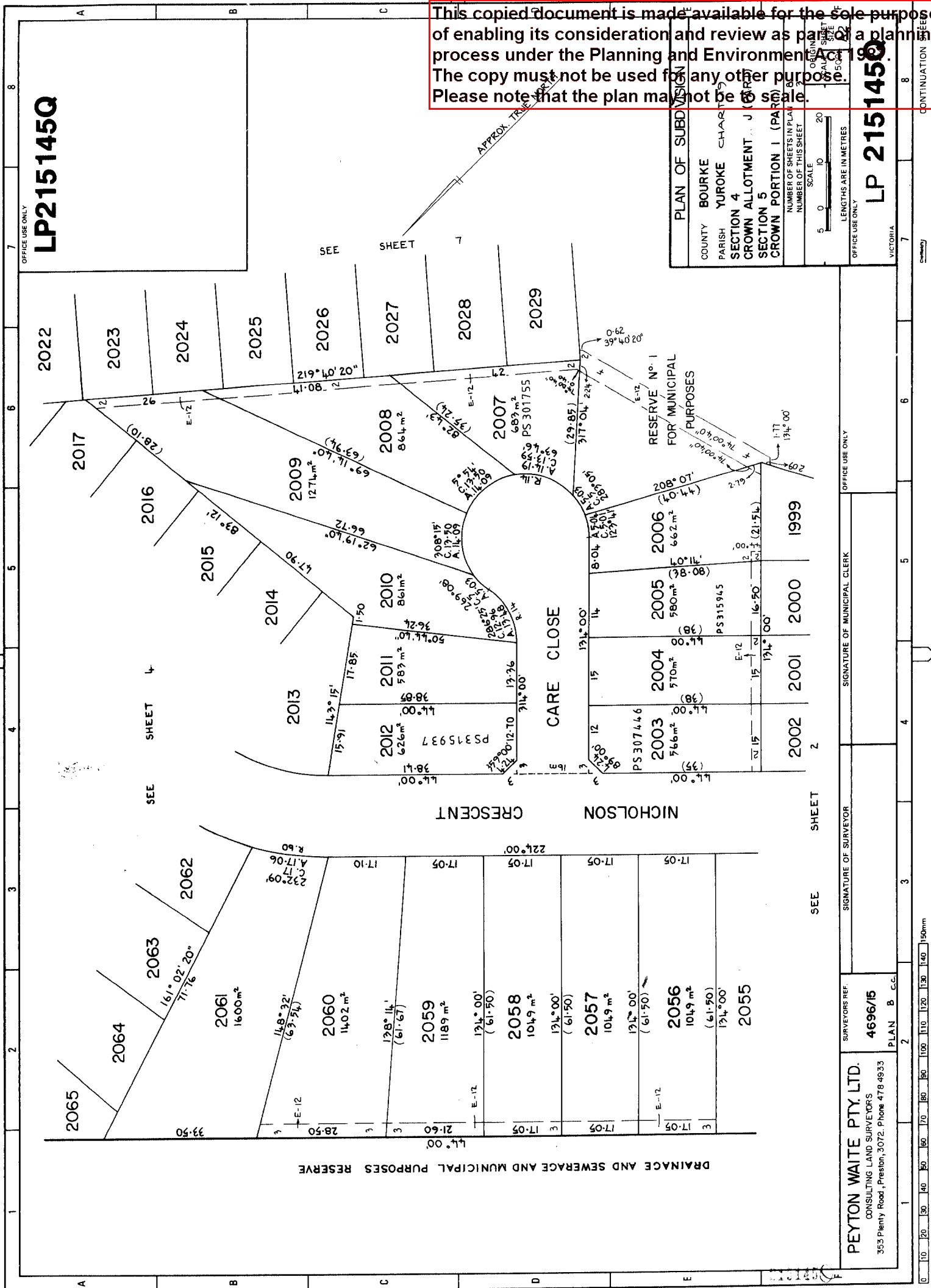
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PLAN OF SUBDIVISION	
COUNTY	BOURKE
PARISH	YUROKE CHARITIS
SECTION	SECTION 4
CROWN ALLOTMENT	J (PART)
SECTION	SECTION 5
CROWN PORTION	PORTION 1 (PART)
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LENGTHS ARE IN METRES	
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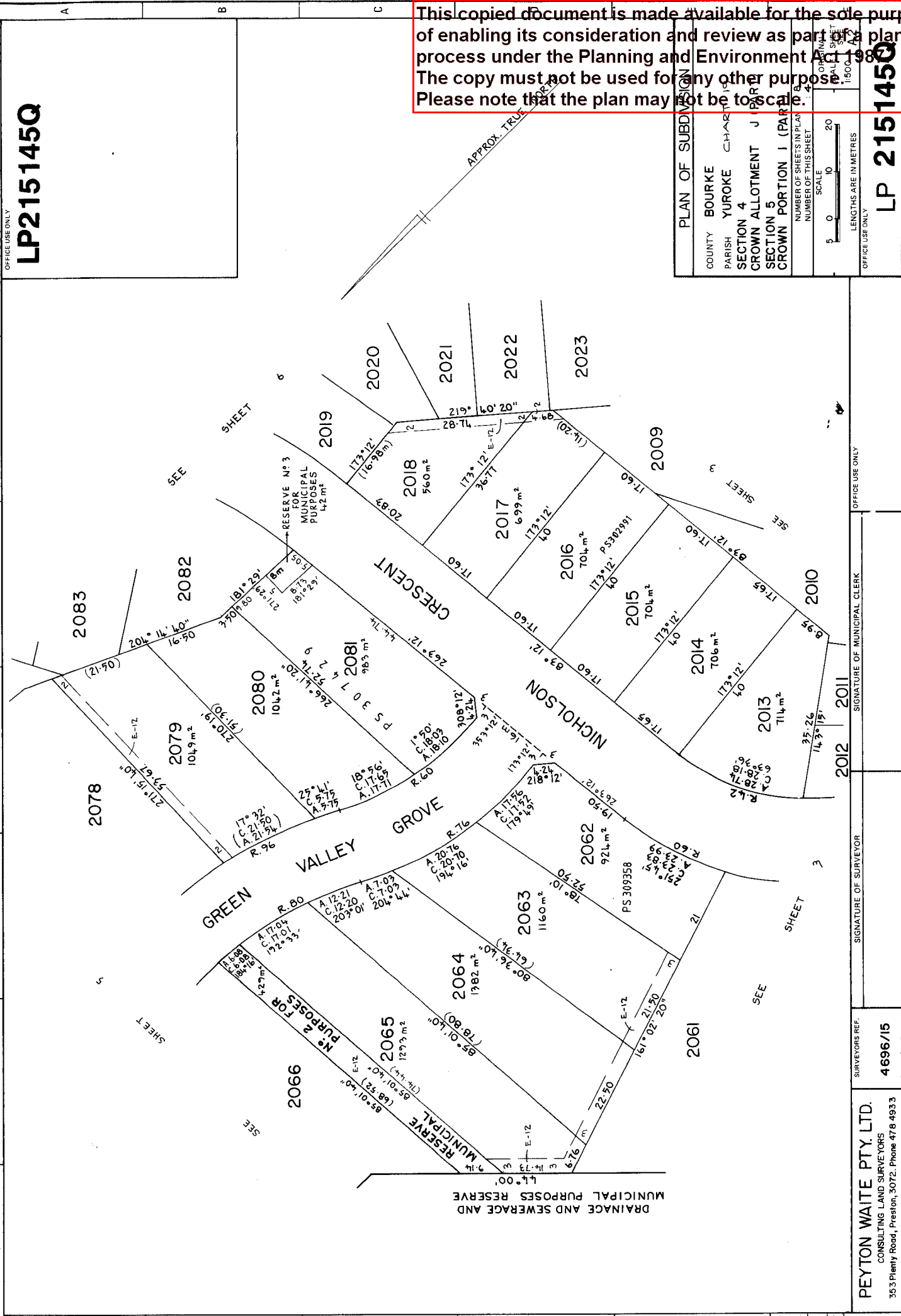
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PLAN OF SUBDIVISION	
COUNTY	BOURKE
PARISH	YUROKE CHARTERED
SECTION 4	SECTION 4
CROWN ALLOTMENT	J (PART)
SECTION 5	SECTION 5
CROWN PORTION 1	(PART)
NUMBER OF SHEETS IN PLAN	8
NUMBER OF THIS SHEET	4
SCALE	1:500
LENGTHS ARE IN METRES	
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VICTORIA
CONTINUATION SHEET

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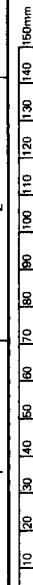
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PLAN B.C.C.

SURVEYORS REF.

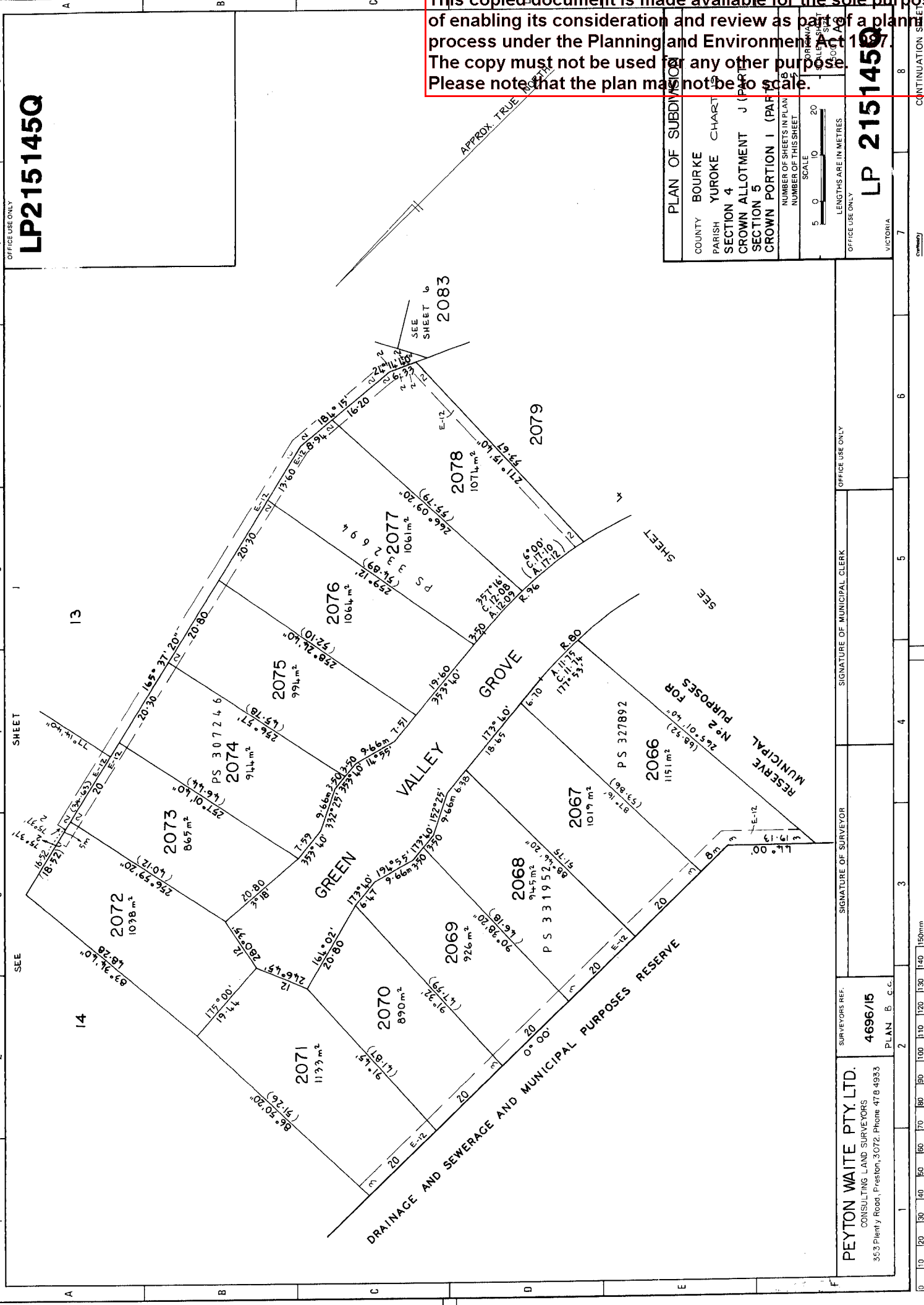
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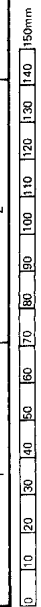
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PLAN OF SUBDIVISION	
COUNTY	BOURKE
PARISH	YUROKE CHARTER
SECTION	4
CROWN ALLOTMENT	J (PART)
CROWN PORTION	1 (PART)
NUMBER OF SHEETS IN PLAN	5
NUMBER OF THIS SHEET	5
SCALE	5 0 10 20
LENGTHS ARE IN METRES	
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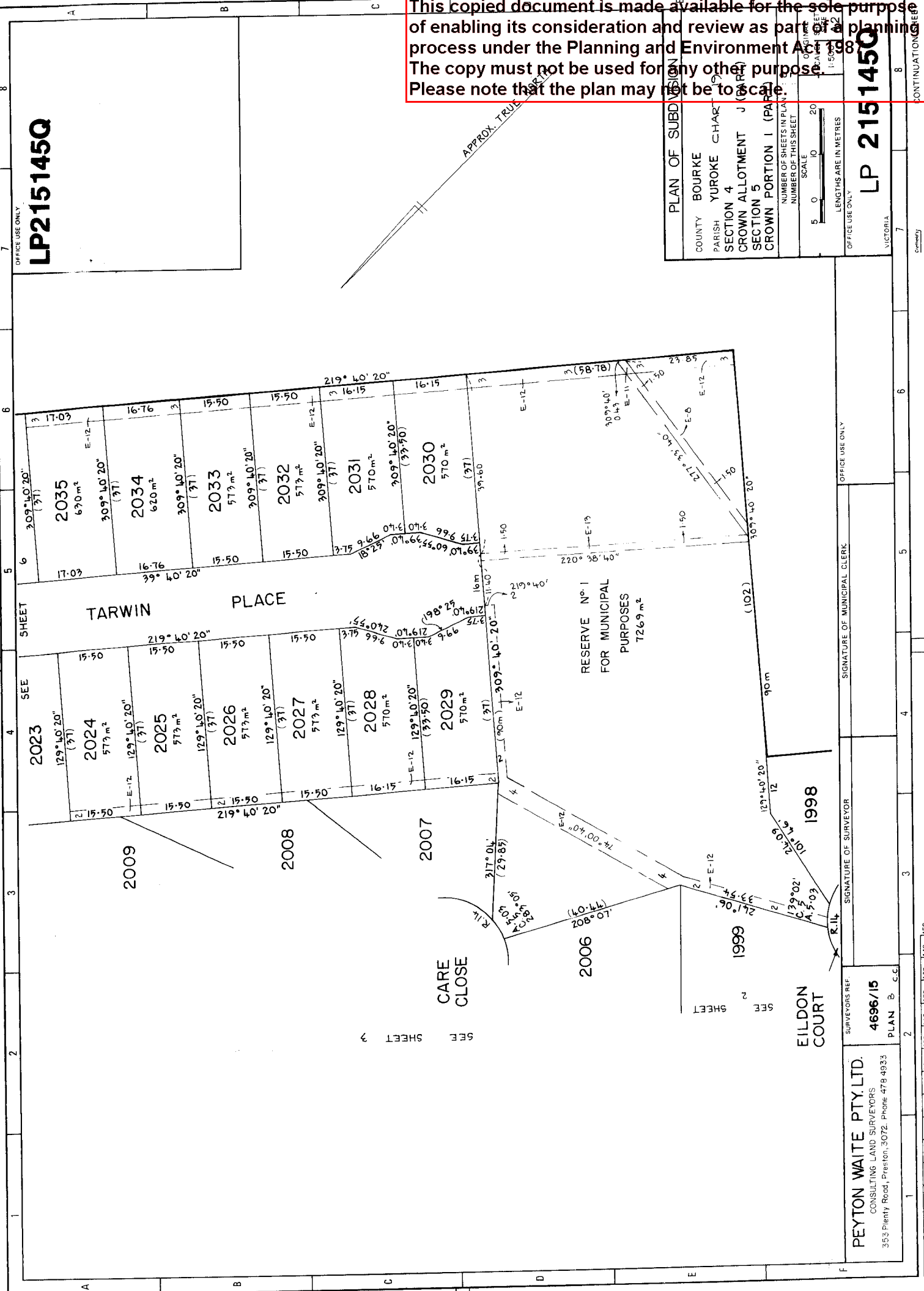
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PLAN OF SUBDIVISION	
COUNTY	BOURKE
PARISH	YUROKE CHAR
SECTION	SECTION 4
CROWN ALLOTMENT	J (PART)
SECTION	SECTION 5
CROWN PORTION	1 (PART)
NUMBER OF SHEETS IN PLAN	3
NUMBER OF THIS SHEET	7
SCALE	5 0 10 20
LENGTHS ARE IN METRES	1:500
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4696/15
PLAN B.C.C.

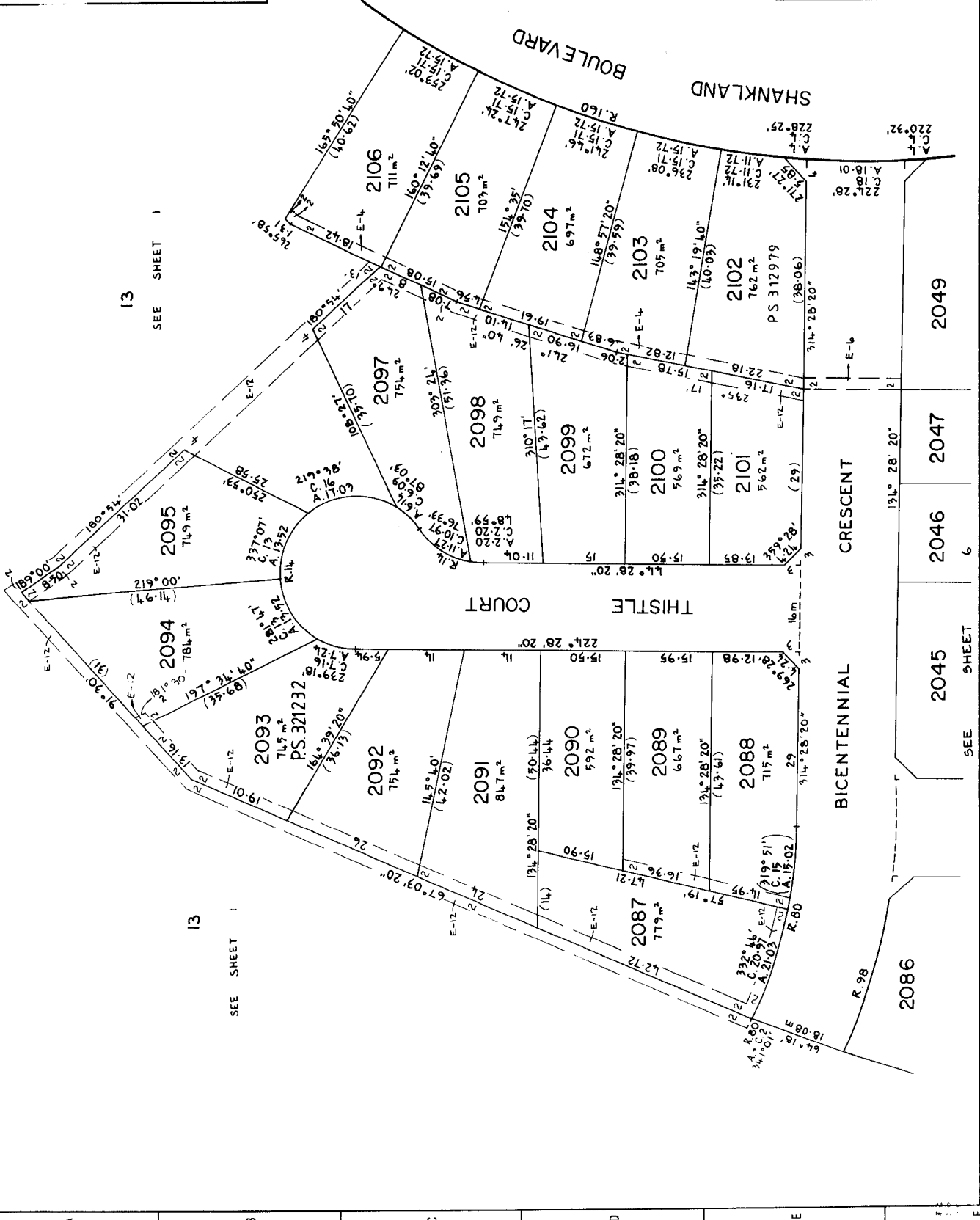
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PLAN OF SUBDIVISION	
COUNTY	BOURKE
PARISH	YUROKE
SECTION	SECTION 4
CROWN ALLOTMENT	J (PART)
SECTION	SECTION 5
CROWN PORTION I (PART)	
NUMBER OF SHEETS IN PLAN	8
NUMBER OF THIS SHEET	8
SCALE	5 0 10 20
LENGTHS ARE IN METRES	
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SEE SHEET 1
13

SEE SHEET 1
13

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PLAN	b.c.e.
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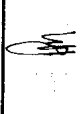








CONTINUATION SHEET

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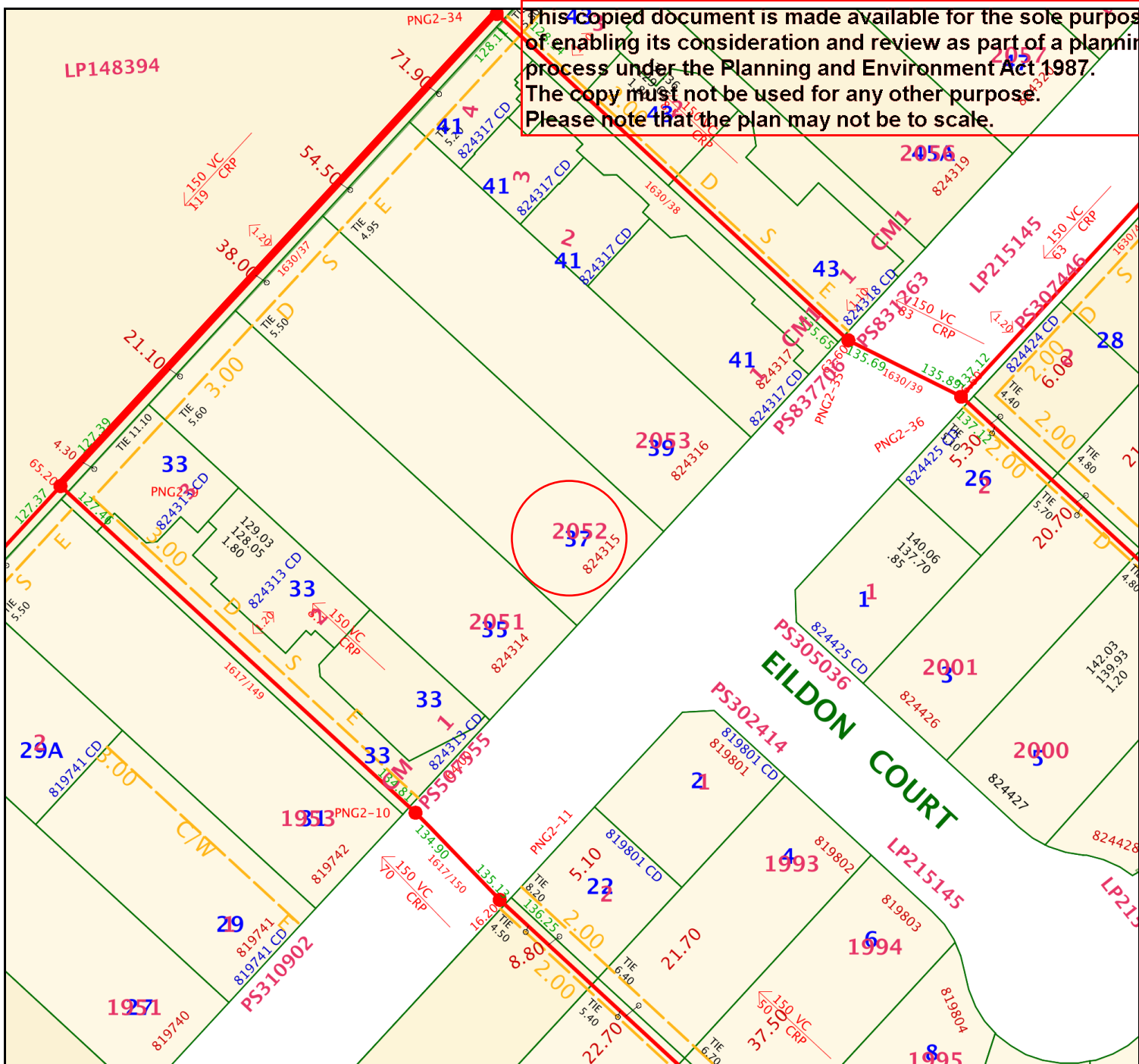
PLAN NUMBER

LP 215145Q

MODIFICATION TABLE
RECORD OF ALL ADDITIONS OR CHANGES
TO THE PLAN

LAND	MODIFICATION	DEALING REFERENCE	DATE AND TIME ENTERED		NEW EDITION NUMBER	SIGNATURE OF ASSISTANT REGISTRAR OF TITLES
			DATE	TIME		
LOT 2016	SUBDIVISION	P S 3 0 2 9 9 1			15	
LOT 2012	SUBDIVISION	PS 315937			16	
LOT 2043	SUBDIVISION	PS310901G			17	
LOT 2082	SUBDIVISION	PS 321153			18	
LOT 2093	SUBDIVISION	PS 321232			19	
LOT 2066	SUBDIVISION	PS 327892 K			20	
LOT 2049	SUBDIVISION	PS 331459 B			21	
LOT 2068	SUBDIVISION	PS 331952			22	
LOT 2077	SUBDIVISION	PS 332694K			23	

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Address 37 NICHOLSON CRESCENT MEADOW HEIGHTS 3048

**Yarra Valley Water
Sewerage Depth Offset
Asset Map**

Date	09/06/2024
Scale	1:750

Yarra Valley Water
ABN 93 066 902 501

Disclaimer: This Sewerage Depth Offset Plan is for property information only. Yarra Valley Water does not warrant the accuracy or scale of this plan. The company accepts no liability for any loss, damage or injury suffered by any person as a result of an inaccuracy in this plan.

Existing Title		Gas Check Manhole	
Proposed Title		Inspection Shaft	
Sewer Branch		Pipe Junction	
Existing Sewer		Maintenance Shaft	
Circular Manhole		Maintenance Chamber	
Sewer Offset		End of Pipe	
Abandoned Sewer		Rectangular Manhole	
Pump Station		Ventilation	

Abbreviation Pipe Material

VC	VITREOUS CLAY
PVC-NP	UPVC - Non Pressure
PVC-PW	UPVC - Profile Wall
CONC	CONCRETE
RC/UON	CC Re/Un-reinforced
PP_SW	POLYPROYLENE
HDPE	POLYETHYLENE
CI	CAST IRON

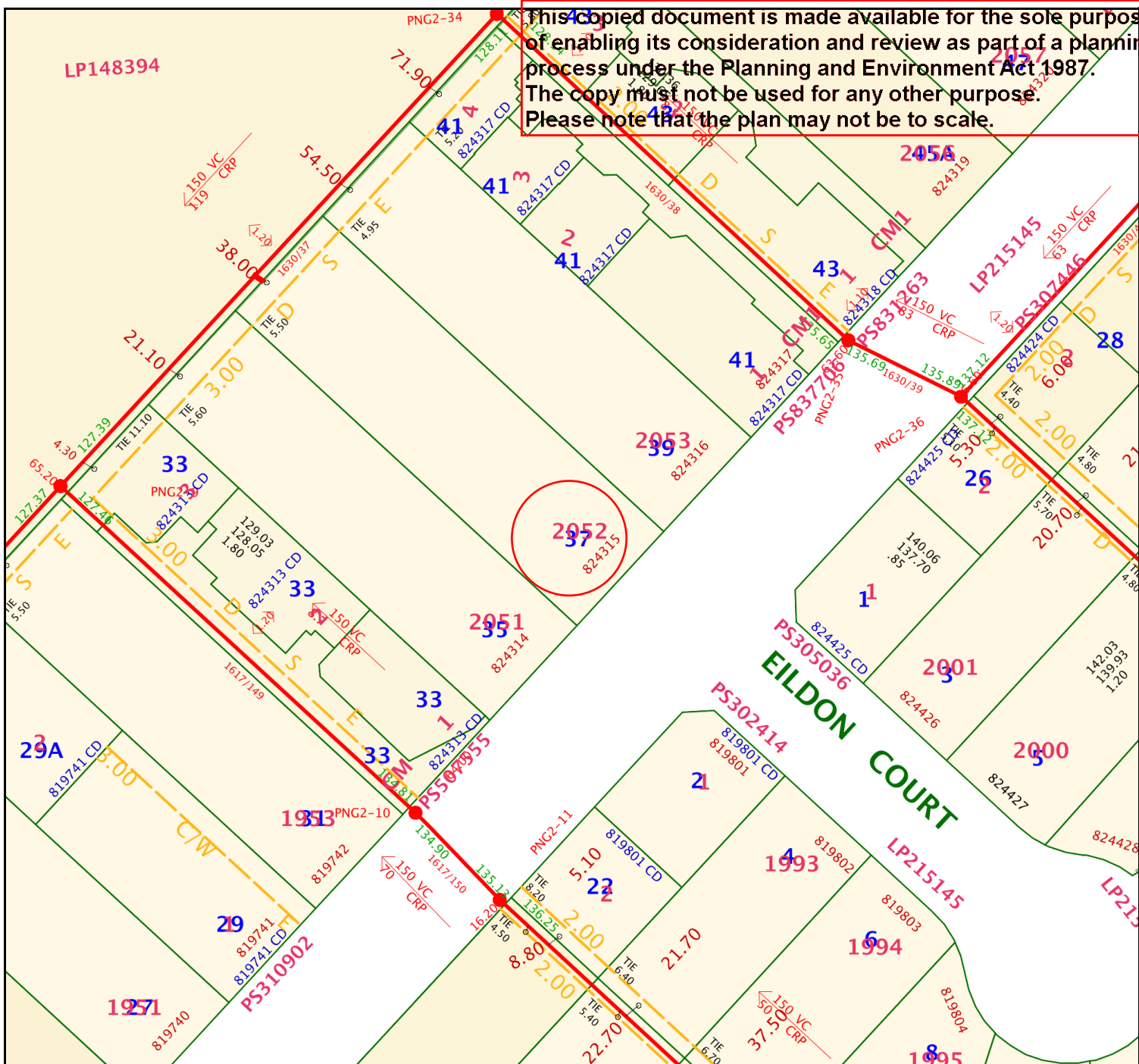
ASSET DETAILS

Pipe Size: 150
Pipe Material: VC
Average Depth (m): 1.88
Branch Length (m): 1.8

Note: Offsets denoted in brackets < > are from the title boundary to centreline of pipe. If pipe offset is not shown, it is unknown and will need to be proven on site.

YVW Ref: 1478866

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Address 37 NICHOLSON CRESCENT MEADOW HEIGHTS 3048

**Yarra Valley Water
Sewer Branch
Asset Map**

Date	09/06/2024
Scale	1:750

Yarra Valley Water
ABN 93 066 902 501

Disclaimer: This Sewer Branch Plan is for property information only. Yarra Valley Water does not warrant the accuracy or scale of this plan. The company accepts no liability for any loss, damage or injury suffered by any person as a result of an inaccuracy in this plan.

Existing Title	Access Point Number	GLV2-42
Proposed Title	Circular Manhole	
Sewer Branch	Gas Check Manhole	
Existing Sewer	Inspection Shaft	
Sewer Pipe Flow	Pipe Junction	
Sewer Offset	Maintenance Shaft	
Abandoned Sewer	Maintenance Chamber	
Long Branch Reducer	End of Pipe	

Abbreviation Pipe Material

VC	VITREOUS CLAY
PVC-NP	UPVC - Non Pressure
PVC-PW	UPVC - Profile Wall
CONC	CONCRETE
RC/UON	CC Re/Un-reinforced
PP_SW	POLYPROYLENE
HDPE	POLYETHYLENE
CI	CAST IRON

ASSET DETAILS

Branch Size: 100
Branch Material: UNK
Branch Depth (m): 0.77
Branch Length (m): 1.8

Note: Offsets denoted in brackets < > are from the title boundary to centreline of pipe.
YVW Ref: 1478866

RESPONSIBILITY OF SEWER CONNECTION POINTS

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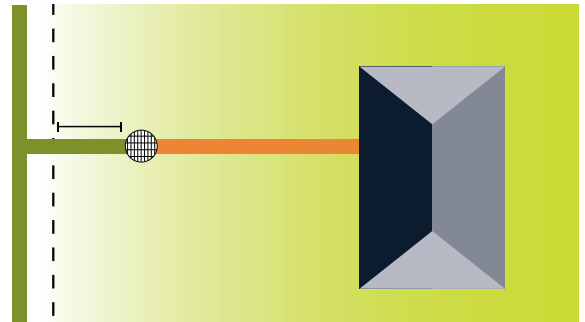


Yarra Valley Water's (YVW) responsibility of the sewer connection point is dependent on the location of the sewer main and the first Inspection Opening (I.O.), which may be above or below ground. YVW and property owner responsibilities for the sewer connection points are outlined below.

STAND ALONE RESIDENCE

Sewer connection point where the sewer main is **outside** the property.

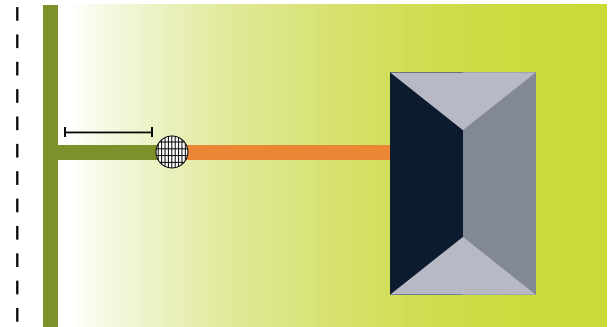
YVW responsibility ends at the I.O. or up to 1 metre from the property boundary (whichever is less).



STAND ALONE RESIDENCE

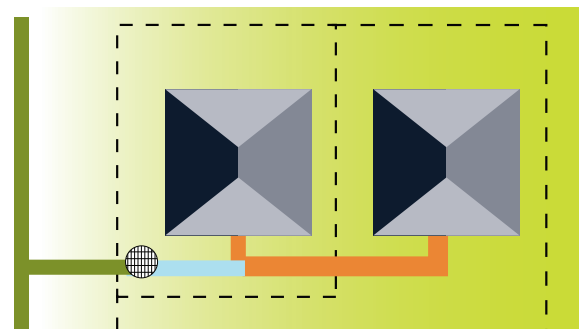
Sewer connection point where the sewer main is **inside** the property.

YVW responsibility ends at the I.O. or up to 1 metre from the sewer main (whichever is less).



COMBINED PRIVATE PLUMBING (UNITS, NEIGHBORING PROPERTIES)

YVW responsibility ends at the I.O. or up to 1 metre from the property boundary (whichever is less).



KEY

- Property owner responsibility
- Combined property owner responsibility
- YVW responsibility
- Boundary of property
- Inspection opening (may be below ground or at surface level)
- Building / structure

YVW.COM.AU EMAIL: ENQUIRY@YVW.COM.AU

GENERAL ENQUIRIES: 1300 304 688 EMERGENCIES & FAULTS: 13 2762 LANGUAGE ASSISTANCE: 1300 976 224

Yarra Valley Water, Lucknow Street, Mitcham. Private Bag 1, Mitcham Victoria 3132

Sustainable Design Assessment

Project: Proposed Four Dwelling Development (Including One Existing)

Municipality: Hume City Council

Address: 37 Nicholson Crescent-Meadow Heights

Client: Mr Moutaz Zeno



Feras Building

DESIGN



The Report outlines the key Ecologically Sustainable Design (ESD) initiatives for No 37 Nicholson Crescent in Meadow Heights. It addresses the ESD requirements of Hume City Council and provide an overview of the sustainable design initiatives.

Subject site/Proposal

Site area is 1049m² located to the Southwest Side of Nicholson Crescent.
The proposal is Four Dwelling development including the existing.

Key sustainable design strategies considered in the development include;

- High-performance building fabric with good levels of insulation
- Energy efficient LED lights

WATER

- Showerheads 4 Star WELS (≥ 6 but ≤ 7.5)
- Taps: Kitchen, Bathroom 5 Star WELS Rating
- Dishwashers water efficiency: 3 Star
- WC: 4 Star WELS Rating
- Water Efficient Landscaping to be installed
- Rainwater connected to toilets and Laundry

Note: Rainwater harvesting tanks noted to be used only for re-use within the dwellings and that they are completely independent of any detention requirements

ENERGY

- Double glazing to be provided to All Habitable Room Windows
- Heating System-Reverse Cycle space 2 Star (2019 MEPS)
- Cooling System Refrigerative space 3 Stars (2019 MEPS)
- Hot Water Service- Electric Instantaneous
- Private outdoor clothesline to be provided

INDOOR ENVIRONMENT QUALITY

- Double glazing required to all Habitable Room Windows.

URBAN ECOLOGY

- Provide a Tap and floor waste in every balcony/Verandah and courtyard

TRANSPORT

- No Requirements

Materials.

Materials that will be used are: Timber Floor, brick work, timber frames, light weight cladding and Tiled roof. Wall and ceiling insulations to be implemented as per energy rating reports and recommendations to improve energy efficiency rating.

VOC

It is required and commitment to use low Volatile Organic Compounds (VOC) for:

- Internal finishes and internal painted surfaces. Not to exceed 50g/L
- Ceramic tile adhesive. Not to exceed 65g/L
- Structural glazing adhesive. Not to exceed 100g/L
- Adhesives and sealants. Not to exceed 50g/L

Conclusion

The project achieves all the minimum requirements under BESS, the new industry ESD best practice Benchmark, achieving a rating of 51%



STORM Rating Report

TransactionID: 0
Municipality: HUME
Rainfall Station: HUME
Address: 2-4/37 Nicholson Crescent

Meadow Heights
VIC 3048

Assessor: [REDACTED]
Development Type: [REDACTED]
Allotment Site (m2): 594.00
STORM Rating %: 100

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
DWELLING 2 ROOF	63.00	Rainwater Tank	2,000.00	2	139.00	92.10
DWELLING 3 ROOF	74.00	Rainwater Tank	2,000.00	2	131.00	94.90
DWELLING 4 ROOF	83.00	Rainwater Tank	2,000.00	2	124.80	96.20
DWELLING 1 CARPORT	22.00	None	0.00	0	0.00	0.00
UNTREATED DRIVEWAY	79.00	None	0.00	0	0.00	0.00
TREATED DRIVEWAY1	62.00	Raingarden 100mm	1.50	0	130.00	0.00
TREATED DRIVEWAY 2	45.00	Raingarden 100mm	1.00	0	129.10	0.00

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BESS Report

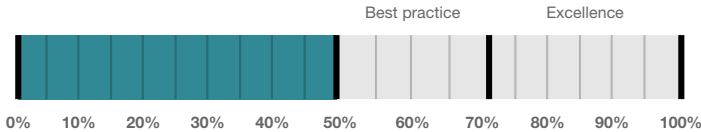
Built Environment Sustainability Scorecard



This BESS report outlines the sustainable design commitments of the proposed development at 37 Nicholson Cres Meadow Heights Victoria 3048. The BESS report and accompanying documents and evidence are submitted in response to the requirement for a Sustainable Design Assessment or Sustainability Management Plan at Hume City Council.

Note that where a Sustainability Management Plan is required, the BESS report must be accompanied by a report that further demonstrates the development's potential to achieve the relevant environmental performance outcomes and documents the means by which the performance outcomes can be achieved.

Your BESS Score



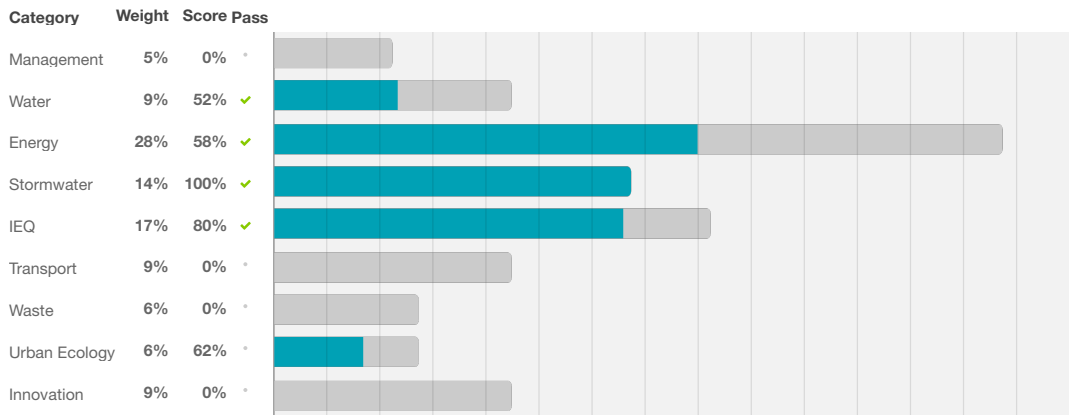
51%

Project details

Address	37 Nicholson Cres Meadow Heights Victoria 3048
Project no	31B81F60-R1
BESS Version	BESS-8
Site type	[Redacted]
Account	[Redacted]
Application no.	[Redacted]
Site area	593.00 m ²
Building floor area	357.00 m ²
Date	05 August 2024
Software version	2.0.0-B.533



Performance by category



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Dwellings & Non Res Spaces

Dwellings

Name	Quantity	Area	% of total area
Townhouse			
Dwelling 4	1	129 m ²	36%
Dwelling 3	1	119 m ²	33%
Dwelling 2	1	109 m ²	30%
Total	3	357 m²	100%

Supporting information

Floorplans & elevation notes

Credit	Requirement	Response	Status
Water 3.1	Annotation: Water efficient garden details	To be printed Noted on the Plan	✓
Energy 3.4	Location of clothes line (if proposed)	To be printed Shown on the plan	✓
Energy 4.5	Location and size of solar photovoltaic system	To be printed Shown on the Roof Catchment Plan	✓
Stormwater 1.1	Location of any stormwater management systems (rainwater tanks, raingardens, buffer strips)	To be printed Shown on floor plans	✓
IEQ 2.2	Annotation: Dwellings designed for 'natural cross flow ventilation' (If not all dwellings, include a list of compliant dwellings)	To be printed As per Design	✓
IEQ 3.1	Annotation: Glazing specification (U-value, SHGC)	To be printed Will be confirmed on the building documentations	✓
IEQ 3.3	North-facing living areas	To be printed As per Design	✓
Urban Ecology 2.1	Location and size of vegetated areas	To be printed Shown on the Floor Plan	✓
Urban Ecology 2.4	Location of taps and floor waste on balconies / courtyards	To be printed Noted on the plans	✓
Urban Ecology 3.1	Location of food production areas	To be printed Noted on the roof catchment plan	✓

Supporting evidence

Credit	Requirement	Response	Status
Energy 4.5	Specifications of the solar photovoltaic system(s)	To be printed Roof Plan Will be confirmed	✓
Stormwater 1.1	STORM report or MUSIC model	Uploaded Storm Rating Report.PDF Report is attached https://bess.net.au/t/597101C5	✓
IEQ 2.2	A list of dwellings with natural cross flow ventilation	To be printed As per attached plan	✓
IEQ 3.1	Reference to floor plans or energy modelling showing the glazing specification (U-value and Solar Heat Gain Coefficient, SHGC)	To be printed Mentioned in legend. values will be confirmed when energy reports prepared	✓

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Credit	Requirement	Response	Status
IEQ 3.3	Reference to the		

Credit summary

Management Overall contribution 4.5%

		0%
1.1	Pre-Application Meeting	0%
2.2	Thermal Performance Modelling - Multi-Dwelling Residential	0%
4.1	Building Users Guide	0%

Water Overall contribution 9.0%

		Minimum required 50%	52%	✓ Pass
1.1	Potable Water Use Reduction		42%	
3.1	Water Efficient Landscaping		100%	

Energy Overall contribution 27.5%

		Minimum required 50%	58%	✓ Pass
1.2	Thermal Performance Rating - Residential		0%	✓ Achieved
2.1	Greenhouse Gas Emissions		0%	
2.6	Electrification		100%	
2.7	Energy consumption		100%	
3.3	External Lighting		0%	
3.4	Clothes Drying		100%	
3.5	Internal Lighting - Houses and Townhouses		0%	
4.4	Renewable Energy Systems - Other		N/A	✦ Scoped Out
No other (non-solar PV) renewable energy is in use.				
4.5	Solar PV - Houses and Townhouses		100%	

Stormwater Overall contribution 13.5%

		Minimum required 100%	100%	✓ Pass
1.1	Stormwater Treatment		100%	

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IEQ Overall contribution 16.5%

		0%
2.2 Cross Flow Ventilation		100%
3.1 Thermal comfort - Double Glazing		100%
3.2 Thermal Comfort - External Shading		0%
3.3 Thermal Comfort - Orientation		100%

Transport Overall contribution 9.0%

		0%
1.1 Bicycle Parking - Residential		0%
1.2 Bicycle Parking - Residential Visitor		N/A ◆ Scoped Out Not enough dwellings.
2.1 Electric Vehicle Infrastructure		0%

Waste Overall contribution 5.5%

		0%
1.1 - Construction Waste - Building Re-Use		0%
2.1 - Operational Waste - Food & Garden Waste		0%

Urban Ecology Overall contribution 5.5%

		62%
2.1 Vegetation		75%
2.2 Green Roofs		0%
2.3 Green Walls and Facades		0%
2.4 Private Open Space - Balcony / Courtyard Ecology		100%
3.1 Food Production - Residential		100%

Innovation Overall contribution 9.0%

		0%
1.1 Innovation		0%

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Credit breakdown

Management Overall contribution 0%

1.1 Pre-Application Meeting	0%
Score Contribution	This credit contributes 50% towards the category score.
Criteria	Has an ESD professional been engaged to provide sustainability advice from schematic design to construction? AND Has the ESD professional been involved in a pre-application meeting with Council?
Question	Criteria Achieved ?
Project	No
2.2 Thermal Performance Modelling - Multi-Dwelling Residential	0%
Score Contribution	This credit contributes 33.3% towards the category score.
Criteria	Have preliminary NatHERS ratings been undertaken for all thermally unique dwellings?
Question	Criteria Achieved ?
Townhouse	No
4.1 Building Users Guide	0%
Score Contribution	This credit contributes 16.7% towards the category score.
Criteria	Will a building users guide be produced and issued to occupants?
Question	Criteria Achieved ?
Project	No

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Water Overall contribution 5%

Minimum required 50%

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Water Approach	
What approach do you want to take?	
Project Water Profile Question	
Do you have a reticulated third pipe or an on-site water recycling system?:	No
Are you installing a swimming pool?:	No
Are you installing a rainwater tank?:	Yes
Fixtures, fittings & connections profile	
Showerhead: All	4 Star WELS (>= 6.0 but <= 7.5)
Bath: All	Medium Sized Contemporary Bath
Kitchen Taps: All	>= 5 Star WELS rating
Bathroom Taps: All	>= 5 Star WELS rating
Dishwashers: All	>= 3 Star WELS rating
WC: All	>= 4 Star WELS rating
Urinals: All	Scope out
Washing Machine Water Efficiency: All	Occupant to Install
Which non-potable water source is the dwelling/space connected to?:	
Dwelling 2	Rainwater Tank 2
Dwelling 3	Rainwater Tank 3
Dwelling 4	Rainwater Tank 4
Non-potable water source connected to Toilets: All	Yes
Non-potable water source connected to Laundry (washing machine): All	No
Non-potable water source connected to Hot Water System: All	No
Rainwater tank profile	

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What is the total roof area connected to the rainwater tank?:

62. Rainwater Tank 2

74. Rainwater Tank 3

62. Rainwater Tank 4

Tank Size:	
Rainwater Tank 2	2,000 Litres
Rainwater Tank 3	2,000 Litres
Rainwater Tank 4	2,000 Litres

Irrigation area connected to tank:

10. Rainwater Tank 2

10. Rainwater Tank 3

10. Rainwater Tank 4

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Is
connected
irrigation
area
a
water
efficient
garden?:

Yes Rainwater
Tank
2

Yes Rainwater
Tank
3

Yes Rainwater
Tank
4

Other
external
water
demand
connected
to
tank?:

- Rainwater
Tank
2

- Rainwater
Tank
3

- Rainwater
Tank
4

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1.1 Potable Water Use Reduction		42%
Score Contribution	This credit contributes 18.33% towards the category score.	
Criteria	Criteria: The amount of rainwater that is captured, stored, and used for rainwater use and recycled water use? To achieve points in this credit there must be >25% potable water reduction.	
Output	Reference	
Project	554 kL	
Output	Proposed (excluding rainwater and recycled water use)	
Project	465 kL	
Output	Proposed (including rainwater and recycled water use)	
Project	404 kL	
Output	% Reduction in Potable Water Consumption	
Project	27 %	
Output	% of connected demand met by rainwater	
Project	100 %	
Output	How often does the tank overflow?	
Project	Very Often	
Output	Opportunity for additional rainwater connection	
Project	200 kL	
3.1 Water Efficient Landscaping		100%
Score Contribution	This credit contributes 16.7% towards the category score.	
Criteria	Will water efficient landscaping be installed?	
Question	Criteria Achieved ?	
Project	Yes	

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Energy Overall contribution 16%

Minimum required 50%

Dwellings Energy Approach

What approach do you want to take?

Project Energy Profile Question

Are you installing any solar photovoltaic (PV) system(s)?:	Yes
Are you installing any other renewable energy system(s)?:	No
Energy Supply:	All-electric

Dwelling Energy Profiles

Below the floor is: All Ground or Carpark

Above the ceiling is: All Outside

Exposed sides:

Dwelling 2	4
Dwelling 3	3
Dwelling 4	

NatHERS Annual Energy Loads - Heat: All 80.0 MJ/sqm

NatHERS Annual Energy Loads - Cool: All 20.0 MJ/sqm

NatHERS star rating: All 7.0

Type of Heating System: All Reverse cycle space

Heating System Efficiency: All 2 Stars (2019 MEPS)

Type of Cooling System: All Refrigerative space

Cooling System Efficiency: All 3 Stars (2019 MEPS)

Type of Hot Water System: All Electric Instantaneous

Clothes Line: All Private outdoor clothesline

Clothes Dryer: All Occupant to install

Solar Photovoltaic system profile

System Size (lesser of inverter and panel capacity):

Dwelling 2	1.5 kW peak
Dwelling 3	1.5 kW peak
Dwelling 4	1.5 kW peak

Orientation (which way is the system facing)?:

Dwelling 2	North-West
Dwelling 3	North-West
Dwelling 4	North-West

Inclination (angle from horizontal):

Dwelling 2	22.5 Angle (degrees)
Dwelling 3	22.5 Angle (degrees)
Dwelling 4	22.5 Angle (degrees)

1.2 Thermal Performance Rating - Residential

0% Achieved

Score Contribution This credit contributes 17.6% towards the category score.

Criteria What is the average NatHERS rating?

Output Average NATHERS Rating (Weighted)

Townhouse 7.0 Stars

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2.1 Greenhouse Gas Emissions	0%
Score Contribution	This credit contributes 17.6% towards the category score.
Criteria	What is the % reduction in annual energy consumption against the benchmark?
Output	Reference Building with Reference Services (BCA only)
Townhouse	8,345 kg CO2
Output	Proposed Building with Proposed Services (Actual Building)
Townhouse	9,868 kg CO2
Output	% Reduction in GHG Emissions
Townhouse	-19 %

2.6 Electrification	100%
Score Contribution	This credit contributes 17.6% towards the category score.
Criteria	Is the development all-electric?
Question	Criteria Achieved?
Project	Yes

2.7 Energy consumption	100%
Score Contribution	This credit contributes 23.5% towards the category score.
Criteria	What is the % reduction in annual energy consumption against the benchmark?
Output	Reference Building with Reference Services (BCA only)
Townhouse	72,335 MJ
Output	Proposed Building with Proposed Services (Actual Building)
Townhouse	41,792 MJ
Output	% Reduction in total energy
Townhouse	42 %

3.3 External Lighting	0%
Score Contribution	This credit contributes 2.9% towards the category score.
Criteria	Is the external lighting controlled by a motion detector?
Question	Criteria Achieved ?
Townhouse	No

3.4 Clothes Drying	100%
Score Contribution	This credit contributes 5.9% towards the category score.
Criteria	What is the % reduction in annual energy consumption (gas and electricity) from a combination of clothes lines and efficient driers against the benchmark?
Output	Reference
Townhouse	1,538 kWh
Output	Proposed
Townhouse	308 kWh
Output	Improvement
Townhouse	80 %

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3.5 Internal Lighting - Houses and Townhouses		0%
Score Contribution	This credit contributes 2.9% towards the category score.	
Criteria	The building must have a minimum lighting density of 4W/sqm or less?	
Question	Criteria Achieved?	
Townhouse	No	

4.4 Renewable Energy Systems - Other		N/A	✦ Scoped Out
This credit was scoped out	No other (non-solar PV) renewable energy is in use.		

4.5 Solar PV - Houses and Townhouses		100%
Score Contribution	This credit contributes 11.8% towards the category score.	
Criteria	What % of the estimated energy consumption of the building class it supplies does the solar power system provide?	
Output	Solar Power - Energy Generation per year	
Townhouse	5,563 kWh	
Output	% of Building's Energy	
Townhouse	47 %	

Stormwater Overall contribution 14% Minimum required 100%

Which stormwater modelling software are you using?:	Melbourne Water STORM tool
-----------------------------------------------------	----------------------------


1.1 Stormwater Treatment		100%
Score Contribution	This credit contributes 100% towards the category score.	
Criteria	Has best practice stormwater management been demonstrated?	
Question	STORM score achieved	
Project	100	
Output	Min STORM Score	
Project	100	

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IEQ Overall contribution 13%

2.2 Cross Flow Ventilation	100%
Score Contribution	This credit contributes 40% towards the category score.
Criteria	Are all habitable rooms designed to achieve natural cross flow ventilation?
Question	Criteria Achieved ?
Townhouse	Yes
3.1 Thermal comfort - Double Glazing	100%
Score Contribution	This credit contributes 40% towards the category score.
Criteria	Is double glazing (or better) used to all habitable areas?
Question	Criteria Achieved ?
Townhouse	Yes
3.2 Thermal Comfort - External Shading	0%
Score Contribution	This credit contributes 20% towards the category score.
Criteria	Is appropriate external shading provided to east, west and north facing glazing?
Question	Criteria Achieved ?
Townhouse	No
3.3 Thermal Comfort - Orientation	100%
Score Contribution	This credit contributes 20% towards the category score.
Criteria	Are at least 50% of living areas orientated to the north?
Question	Criteria Achieved ?
Townhouse	Yes

Transport Overall contribution 0%

1.1 Bicycle Parking - Residential	0%
Score Contribution	This credit contributes 50% towards the category score.
Criteria	How many secure and undercover bicycle spaces are there for residents?
Question	Bicycle Spaces Provided ?
Townhouse	0
1.2 Bicycle Parking - Residential Visitor	N/A  Scoped Out
This credit was scoped out	Not enough dwellings.
2.1 Electric Vehicle Infrastructure	0%
Score Contribution	This credit contributes 50% towards the category score.
Criteria	Are facilities provided for the charging of electric vehicles?
Question	Criteria Achieved ?
Project	No

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Waste Overall contribution 0%

1.1 - Construction Waste - Building Re-Use		0%
Score Contribution	This credit contributes 10% towards the category score.	
Criteria	If the development is on a site that has been previously developed, has at least 30% of the existing building been re-used?	
Question	Criteria Achieved ?	
Project	No	

2.1 - Operational Waste - Food & Garden Waste		0%
Score Contribution	This credit contributes 50% towards the category score.	
Criteria	Are facilities provided for on-site management of food and garden waste?	
Question	Criteria Achieved ?	
Project	No	

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Urban Ecology Overall contribution 3%

2.1 Vegetation	75%
Score Contribution	This credit contributes 10% towards the category score.
Criteria	How much of the site is covered with vegetation, expressed as a percentage of the total site area?
Question	Percentage Achieved ?
Project	24 %
2.2 Green Roofs	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Does the development incorporate a green roof?
Question	Criteria Achieved ?
Project	No
2.3 Green Walls and Facades	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Does the development incorporate a green wall or green façade?
Question	Criteria Achieved ?
Project	No
2.4 Private Open Space - Balcony / Courtyard Ecology	100%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Is there a tap and floor waste on every balcony and courtyard (including any roof terraces)?
Question	Criteria Achieved ?
Townhouse	Yes
3.1 Food Production - Residential	100%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	What area of space per resident is dedicated to food production?
Question	Food Production Area
Townhouse	2.0 m ²
Output	Min Food Production Area
Townhouse	2 m ²

Innovation Overall contribution 0%

1.1 Innovation	0%
Score Contribution	This credit contributes 100% towards the category score.
Criteria	What percentage of the Innovation points have been claimed (10 points maximum)?

Disclaimer

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