

# Application for Planning Permit

Planning Enquiries  
 Phone: 03 9205 2200  
 Web: <http://www.hume.vic.gov.au>

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#).

**⚠** Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

**⚠** Questions marked with an asterisk (\*) are mandatory and must be completed.

**⚠** If the space provided on the form is insufficient, attach a separate sheet.

Clear Form

## The Land ① Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

### Street Address \*

Unit No.:	St. No.: 4	St. Name: Frank St
Suburb/Locality: Dallas		Postcode:3047

### Formal Land Description \*

Complete either A or B.

**⚠** This information can be found on the certificate of title.

A   Lodged Plan  Title Plan  Plan of Subdivision

OR

B

If this application relates to more than one address, please click this button and enter relevant details. Add Address

## The Proposal ⚠ You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

### ② For what use, development or other matter do you require a permit? \*

If you need help about the proposal, read: [How to Complete the Application for Planning Permit Form](#)

**📎** Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

### ③ Estimated cost of development for which the permit is required \*

**⚠** You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within **metropolitan Melbourne** (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy **must** be paid to the State Revenue Office and a current levy certificate **must** be submitted with the application. Visit [www.sro.vic.gov.au](http://www.sro.vic.gov.au) for information.

## Existing Conditions i

### ④ Describe how the land is used and developed now \*

eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

**📎** Provide a plan of the existing conditions. Photos are also helpful.

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## Title Information i

### 5 Encumbrances on title \*

If you need help about the title, read: [How to complete the Application for Planning Permit form](#)

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes. (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive covenants.)

## Applicant and Owner Details i

### 6 Provide details of the applicant and the owner of the land.

#### Applicant \*

The person who wants the permit.

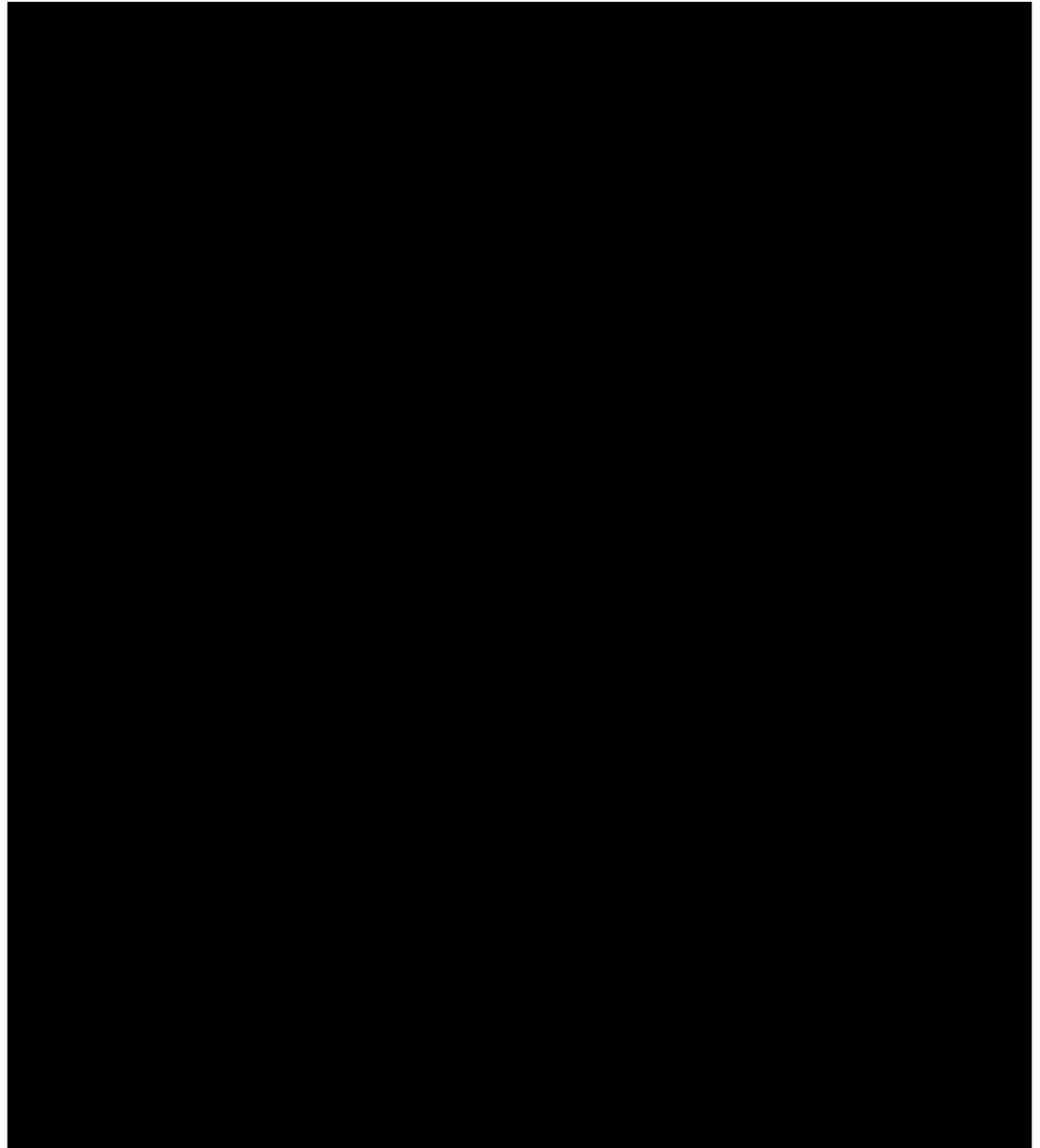
*Where the preferred contact person for the application is different from the applicant, provide the details of that person.*

*Please provide at least one contact phone number \**

#### Owner \*


The person or organisation who owns the land

*Where the owner is different from the applicant, provide the details of that person or organisation.*



## Declaration i

### 7 This form must be signed by the applicant \*

 Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

I declare that I am the applicant; and that all the information in this application is true and correct; and the owner (if not myself) has been notified of the permit application.

Signature: 

Date: 4 Jun 2024

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## Need help with the Application?

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#)  
General information about the planning process is available at [www.delwp.vic.gov.au/planning](http://www.delwp.vic.gov.au/planning)

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

8 **Has there been a pre-application meeting with a Council planning officer?**


No  Yes

## Checklist

9 **Have you:**

Filled in the form completely?

Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 Provided all necessary supporting information and documents?

A full, current copy of title information for each individual parcel of land forming the subject site

A plan of existing conditions.

Plans showing the layout and details of the proposal

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).

If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.

Completed the relevant Council planning permit checklist?

Signed the declaration (section 7)?

## Lodgement

Lodge the completed and signed form, the fee payment and all documents with:

Hume City Council  
PO Box 119 Dallas VIC 3047  
Pascoe Vale Road Broadmeadows VIC 3047

### Contact information:

Telephone: 61 03 9205 2200

Email: [email@hume.vic.gov.au](mailto:email@hume.vic.gov.au)

DX: 94718

Translation: 03 9205 2200 for connection to Hume Link's multilingual telephone information service

### Deliver application in person, by fax, or by post:

Print Form

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address. This is usually your local council but can sometimes be the Minister for Planning or another body.

### Save Form:

Save Form To  
Your Computer

You can save this application form to your computer to complete or review later or email it to others to complete relevant sections.

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

Page 1 of 1

VOLUME 08929 FOLIO 060

Security no : 124113154406J  
Produced 05/03/2024 10:08 AM

**LAND DESCRIPTION**

Lot 1 on Plan of Subdivision 094693.  
PARENT TITLE Volume 07689 Folio 120  
Created by instrument LP094693 14/06/1972

**REGISTERED PROPRIETOR**

**ENCUMBRANCES, CAVEATS AND NOTICES**

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE LP094693 FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 4 FRANK STREET DALLAS VIC 3047

**ADMINISTRATIVE NOTICES**

NIL

eCT Control 15940N COMMONWEALTH BANK OF AUSTRALIA  
Effective from 23/10/2016

DOCUMENT END

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# Imaged Document Cover Sheet

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Document Type	<b>Plan</b>
Document Identification	<b>LP094693</b>
Number of Pages (excluding this cover sheet)	<b>1</b>
Document Assembled	<b>05/03/2024 10:08</b>

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LP94693

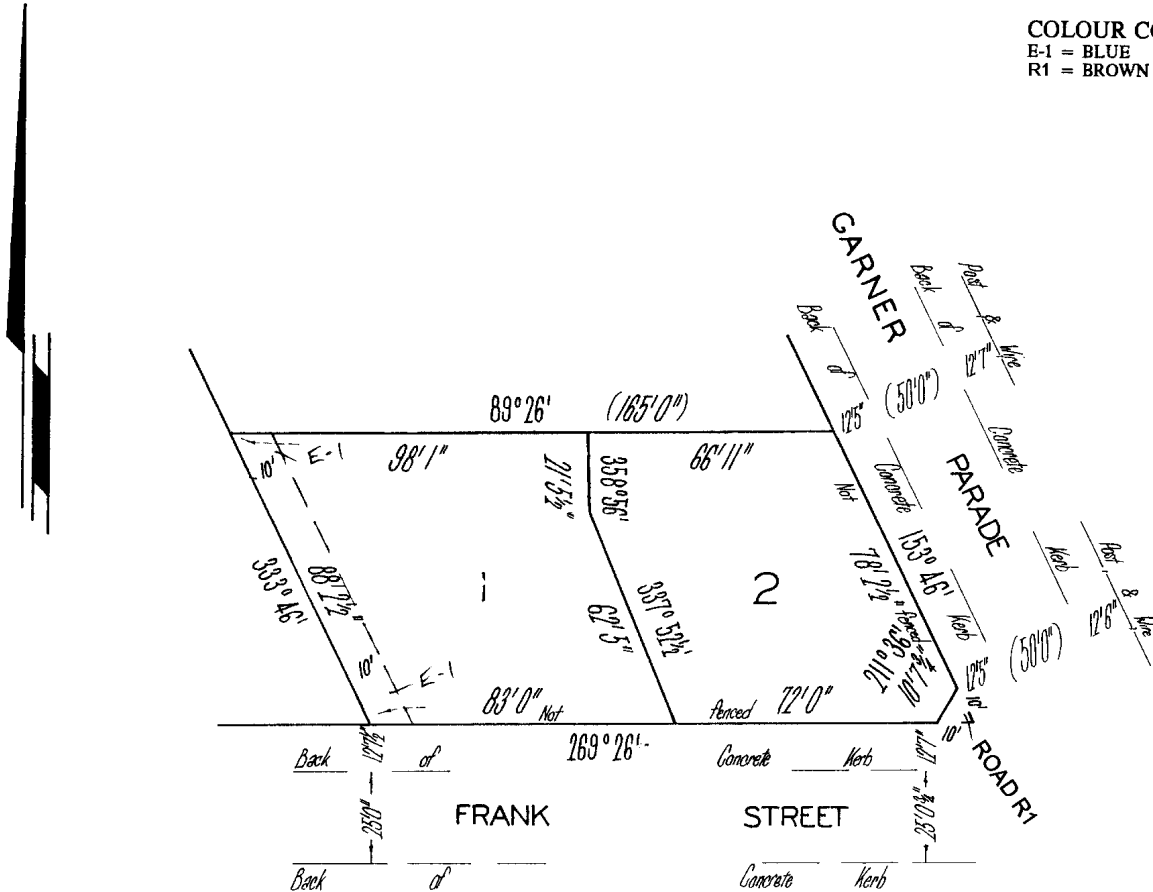
EDITION 1

APPROVED 24/4/172

PLAN OF SUBDIVISION OF PART OF CROWN PORTION 13 PARISH OF WILL WILL ROOK COUNTY OF BOURKE VOL. 7689 FOL. 120 <b>Measurements are in Feet &amp; Inches</b> Conversion Factor FEET X 0.3048 = METRES	APPROPRIATIONS	ENCUMBRANCES & OTHER NOTATIONS
	<i>Brown.....Way &amp; Drsingge.</i>	<i>Blue.....Drainage &amp; Sewerage.</i>

COLOUR CONVERSION

E-1 = BLUE  
 R1 = BROWN



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PHOTO No.1



PHOTO No.5



PHOTO No.7

SYMBOL	DESCRIPTION
T.B.M.	T.B.M.
(Tree symbol)	TREE (TRUNK & SPREAD) DENOTES TREE APPROXIMATELY 3 METRES HIGH
(Sign symbol)	SIGN
(Staywire symbol)	STAYWIRE
(Electricity pole symbol)	ELECTRICITY POLE
(Electricity pit symbol)	ELECTRICITY PIT
(Telstra pit symbol)	TELSTRA PIT
(Gas meter symbol)	GAS METER
(Water meter symbol)	WATER METER
(Habitable window symbol)	HABITABLE WINDOW
(Window symbol)	WINDOW (NON-HABITABLE)
(Door symbol)	DOOR
(Arrow symbol)	DENOTES DIRECTION AND POSITION OF PHOTO FOUR
(Level lines symbol)	ADJOINING PROPERTY LEVEL
(Floor level symbol)	FLOOR LEVEL (X REPRESENTS THE LOCATION FOR THE LEVEL SHOWN)
(Deck level symbol)	DECK LEVEL (X REPRESENTS THE LOCATION FOR THE LEVEL SHOWN)
(Parapet symbol)	PARAPETS
(Ridgelines symbol)	RIDGELINES
(Guttering symbol)	GUTTERING (LIP)
(Orange dashed line symbol)	THE ORANGE DASHED LINEWORK REPRESENTS DATA DERIVED FROM AERIAL PHOTOGRAPHY AND IS APPROXIMATE ONLY. ANY FEATURES IN THESE AREAS (SUCH AS WINDOWS & DOORS) CANNOT BE VERIFIED & FURTHER INVESTIGATION IS STRONGLY RECOMMENDED PRIOR TO ANY DESIGN OR WORKS.
(Blue dashed line symbol)	APPROXIMATE LOCATION OF RIDGELINES/GUTTERS (LIP) (HEIGHT SHOWN THIS ARE TO LIP)
(Black dashed line symbol)	APPROXIMATE LOCATION OF OVERHEAD SERVICE WIRES
(Invert of conc kerb symbol)	INVERT OF CONC KERB



**IMPORTANT NOTE:**  
 - SEE JCA LAND CONSULTANTS "RECORD OF HAVING A RE-ESTABLISHMENT TITLE BOUNDARIES" (DWG No. 3213511G.D.dwg) FOR TITLE DETAILS AND RELATIONSHIP TO FENCING.



PHOTO No.2



PHOTO No.3



PHOTO No.4



PHOTO No.6



PHOTO No.8

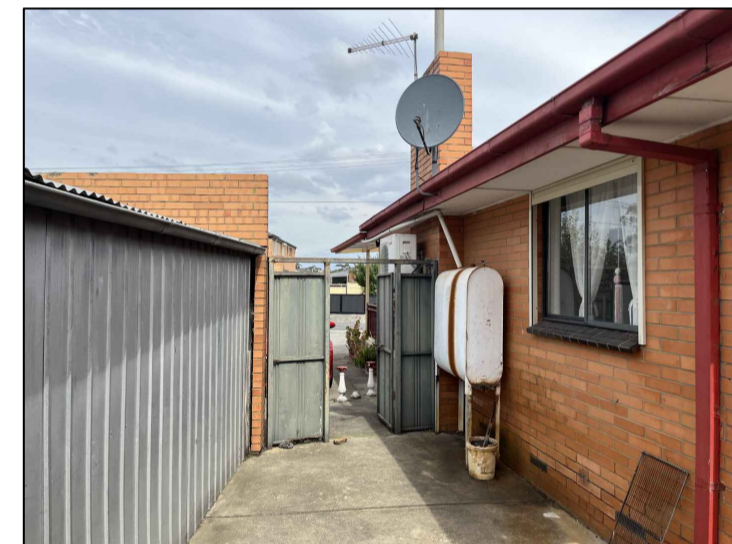


PHOTO No.9



PHOTO No.10



PHOTO No.11



PHOTO No.12



PHOTO No.13

**LAND SURVEYED:**  
 COUNTY OF BOURKE, PARISH OF WILL WILL ROOK  
 PART OF CROWN PORTION 13  
 LOT 1 ON LP 94693  
 VOL. 8929 FOL. 060

**DATUM NOTES:**

- LEVELS SHOWN THIS ARE BASED ON AUSTRALIAN HEIGHT DATUM
- LEVEL DATUM BASED ON GPSNET CORRECTED RTK GNSS OBSERVATIONS
- CONTOUR INTERVAL AT 0.2m

REV.	REVISION	DATE	APPD	CHECK

JCA Land Consultants certify that this plan is in all respects accurate and correctly represents the existing conditions on the 19/03/24

Surveyors R. ILLICHMANN  
 Drawn R. PADOLINA 28/03/24  
 Checked M. SCOTT 28/03/24

**EXPLANATORY NOTES:**

- DATA ON THIS PLAN MAY ONLY BE MANIPULATED WITH THE PERMISSION OF JCA LAND CONSULTANTS.
- ACCURACY OF DETAIL LOCATION ± 0.05
- ACCURACY OF REDUCED LEVELS ± 0.02
- THIS HARD COPY PLAN IS A VERIFICATION PLOT OF COMPUTER FILE:
- DWG: 3213511F10.dwg DATE: 28/03/24
- LOCATION OF ABUTTING BUILDINGS AND ENVIRONS IS INDICATIVE ONLY UNLESS OTHERWISE SHOWN.
- TREE SPREAD SHOWN ON THIS PLAN IS INDICATIVE ONLY.
- ONLY SIGNIFICANT TREES HAVE BEEN LOCATED AND SHOWN ON THIS PLAN.
- ALL VEGETATION SHOWN ON THIS PLAN IS TO BE VERIFIED BY AN ARBORIST.
- WINDOW DESCRIPTIONS ANNOTATED ON THIS PLAN ARE INDICATIVE ONLY AND SHOULD BE VERIFIED BY THE ARCHITECT, OWNER OR BUILDER PRIOR TO ANY DESIGN.
- ONLY VISIBLE SERVICES ARE SHOWN ON THIS PLAN.
- IT IS STRONGLY RECOMMENDED THAT A MELBOURNE ONE CALL SERVICE (DIAL BEFORE YOU DIG, FAX 1300 652 077) ENQUIRY BE MADE TO DETERMINE THE LOCATION OF ANY UNDERGROUND SERVICES WITHIN THE SITE.

Scale: 1:200 @ A1

Client : AT ARCHITECTURE & DESIGN Municipality : HUME

**PLAN OF FEATURE SURVEY**  
**4 FRANK STREET**  
**DALLAS**

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**JCA LAND CONSULTANTS**  
 The Subdivision Specialists

Suite 9, 303 Maroondah Highway, Ringwood VIC 3134  
 T: 03 9735 4888 E: jca@jcalc.com.au www.jcalc.com.au

DWG:	Job No:	Sheet:



# COVER LETTER:



**AT ARC DESIGN**

**A: UNIT 8/1 INTERNATIONAL DRIVE,  
WEST MEADOWS VIC 3049**



To: Zack Bozlar  
Hume City Council

From: [Redacted]  
AT ARCDESIGN

Fax: [Redacted]

Phone: [Redacted]

Mob: [Redacted]

Date: 07/08/2024

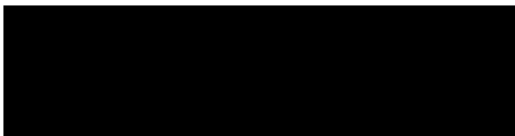
Subject: P26045 – 4 Frank St, Dallas Vic 3047

To Zack,

Please see below a detailed Response to your Request for Further Information Letter dated 04/07/2024. Should you need to discuss anything further, please feel free to contact me on 9499 1212 or 0424 365 108. See attached:

- Updated Town Planning Plans
- Landscape Plan updated

Kind Regards



**PLEASE NOTE:**

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# RESPONSE LETTER:

Shadow Diagrams have been provided at 1:200 and clearly detailing proposed shadowing and the Existing shadowing of the fences on boundaries, to differentiate between the two and detail the extra shadowing beyond these points.

As our property living areas are facing North as the best outcome our overshadowing is mainly to the street frontage and the south sides with parts of the west and east at 9 am worst case and 3pm worst case.

Besides these two times the overshadowing diagram details that we do not obscure majority of their SPOS areas and do not hit habitable windows, the shadow diagrams demonstrate floor print on elevation view we miss any part of the house walls of our adj properties. I have shown 12pm to 3pm at every hour as this property is more near our boundaries.

I have not seen any solar panels and we do not affect any roof layouts of our adj properties therefore I have not nominated anything.

Site plans have been updated to nominate external storage sheds.

Balcony screening has been provided at min 1.7 high from FFL for part of unit 1 balcony. Plans have been updated.

Note provided for Front fence removal and new type of fence to be Steel pickets or timber pickets' similar style.

I have added notations on the windows to avoid the need for internal elevations as they are all to be obscured at 1.7m high from FFL. I have nominated sizes which are also on the SDA report.

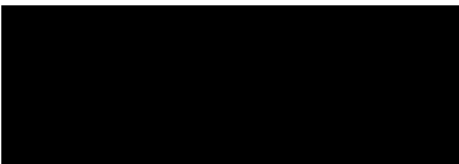
The material is foam render on that side of the house.

All internal fences in SPOS areas are min 1.8m high Timber paling fence.

Tree removal fee would be paid by the client please send through the fee. TPZ notes have been added to the plans.

Our structure is not over the easement and is not built over it. We avoid the easement line purposely due to these pipes within the easement. We will obtain a YVW BOE due to a PIC requirement. But we do not need a council BOE. Please advice as I am aware the pipe is closer to the rear of the property boundary.

I believe all points of your RFI letter have been addressed in the updated plans. If you require anything further, please give me a call to discuss. Thank you.



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# COVER LETTER:



**AT ARC DESIGN**

**A: UNIT 8/1 INTERNATIONAL DRIVE,  
WEST MEADOWS VIC 3049**



To: HUME CITY COUNCIL

From: AT ARCD DESIGN

Fax:

Phone: 03 9499 1212

Date: 04/06/2024

Subject: 4 Frank Street, Dallas – Planning Permit Application

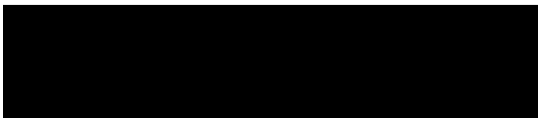
To whom it may concern,

Please see attached all documents for a Planning Permit Application for two new double storey in place of the existing.

See attached all relevant documentation along with this cover letter, including:

- Cover Letter
- Town Planning Report
- Application Form
- Title and Plan of Subdivision
- Town Planning Plans
- Feature and Re-Establishment Surveys
- Material Schedule
- SDA Report

Kind Regards



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# Proposed Planning Permit Application.

**For 2 New Dwellings in Place of Existing**

**(Hume City Council)**

**SITE & NEIGHBOURHOOD DESCRIPTION AND DESIGN  
RESPONSE REPORT FOR:**

Job No:

380

Date :

04.06.2024

Project Address:

Lot:

Number: 4

Street Name:

Frank Street

Suburb:

Dallas

Post Code: 3047

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## **SUBJECT LAND & SURROUNDS**

The land that is the subject of this application is currently owner occupied and has an area of 646.67 square metres for the proposed 2 new dwellings. Please refer to area table on plans for further details. The land is rectangular shape towards the front having a frontage width of 25.3m. The site is fairly flat and has no fall.

Immediately to the north of the subject site is adjoining neighbour No. 2/31-33 Garner Parade, a single storey brick house with tiled pitched roof, with adjoining neighbours No. 1/31-33 Garner Parade, also a single storey brick houses with tiled pitched roofs. Immediately to the East of the subject site is No. 2 Frank Street, a single storey rendered brick house with a tiled pitched roof. Immediately to the South of the subject site is No. 1 and No.3 Frank Street. No. 1 is a double storey brick/weatherboard house, with tiled pitched roof, and No. 3 is a single storey brick house, with tiled pitched roof. Immediately to the West of the subject site is No. 10-12 Frank Street, a single storey brick house with tiled pitched roof, with a grassed and garden yard which can be observed in the town planning plans.

The subject site itself, No. 4 Frank Street, has a single storey brick house with a tiled pitch roof. Refer to Neighbourhood Site Description plan.

The wider surrounding context reflects an eclectic mix of both single and two storey dwellings, reflecting varying architectural styles. From weatherboard homes to modern brick and render. One very noticeable characteristic that is emerging within this area is that older single storey dwellings are now being replaced with large two-storey dwellings which reflect a modern architectural style.

## **ZONING & OVERLAYS**

The land is zoned General Residential Zone (Clause 32.01)  
Under the GRZ1 schedule the requirements are as per Clause 55.

MELBOURNE AIRPORT ENVIRONS OVERLAY (MAEO)

MELBOURNE AIRPORT ENVIRONS OVERLAY - SCHEDULE 2 (MAEO2)

Planning Overlay Schedule 2, not to affect the proposal.

The development of a single lot for two or more Dwellings must not exceed a density of one dwelling per 300 square metres.

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We have complied to this airport overlay, with keeping two new dwellings averaging out to a minimum of 300 square metres per dwelling. We have proposed in total 2 dwellings, for a land area totalling 646.67 square metres.

The development must be assessed against the objectives and standards of ResCode (Clause 55) of the Hume City Council Planning Scheme pursuant to GRZ1 zone provisions.

The proposal must also be assessed against the State Planning Policy and the Local Planning Policy Framework sections of the planning scheme (which includes the Municipal Strategic Statement).

## **PROPOSAL**

It is proposed to design two new double storey units in place of an existing dwelling located at 4 Frank Street, Dallas. The proposed units will be street facing, and we believe it will not negatively affect the neighbourhood character as we have chosen materials and finishes similar to those used in new developments in the surrounding areas of the subject site. Please refer to Materials Schedule. The design has been created with practicality in mind, ensuring that the units meet the needs of the occupants and complements the existing dwelling as well as the wider growing neighbourhood character.

The current property consists of a single dwelling on a large block of land. See site description above. The proposed units will both be a double-storey construction, with a garage and car space each, complying with all relevant planning regulations, including those relating the building height, setbacks, and privacy. The units have been designed to complement the existing dwelling, using similar materials to ensure that it blends with the surroundings and does not negatively affect the neighbourhood character.

The units have been positioned to ensure they do not impact the privacy of the neighbouring properties, in terms of positioning and obscured windows. The layout has been designed to maximise natural light and ventilation, as per Hume City Council guidelines.

The proposed units have been designed with practicality in mind. They include a generous living area, kitchen and dining space, guest room/study on the ground floor, and 4 generous sized bedrooms on the first floor. The proposed design also includes ample storage space . Please refer to the town planning plans in A1 Scale.

## **STATE PLANNING POLICY FRAMEWORK**

It is submitted that the proposed single dwelling development on the subject site does not conflict with the State Planning Policy Framework section of the Hume City Council Planning Scheme.

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### **Clause 11 – Settlement**

This proposal satisfies the intent of this Clause through diversity of housing choice, facilitating economic viability of this area and promoting energy efficiency by providing housing close to public transportation. The subject site is in close proximity to an area that is well serviced with bus routes and close to Upfield Train Station which is a 5-minute drive and an 14-minute walk. The site is surrounded by multiple reserves, including Laura Douglas Reserve and Hume United Football Club. The site is close to a Shopping Centre, various essential services, a medical centre, and a vet clinic all in walking and driving distance.

Also, the proposed development will be required to respond to its landscape, valued built form and cultural context. It is submitted that the proposed dwellings have been designed in such a way to be respectful of the existing neighbourhood context.

The proposed development reflects an emerging character that surrounding sites can soon adopt to further enhance the site for site and urban growth.

### **Clause 11.02 – Urban Growth**

By providing for additional housing within an area that is near an existing activity centre and large reserve, thus reducing pressure on supply of urban land.

### **Clause 11.04 – Metropolitan Melbourne**

One of the strategies of this clause seeks the development of new sustainable communities that provide jobs and housing in growth areas in the north and west, recognising the diminishing options in the southeast. The proposed development of two new double-storey unit dwellings is consistent with the above-mentioned strategy.

### **Clause 15 – Built Environment**

The proposal contributes positively to local urban design and enhances liveability, diversity, amenity and safety of the public realm.

The proposed dwelling is well-designed, keeping practicality and efficiency as a top priority alongside meeting all guidelines and regulations. The double-storey dwellings will be respectful in terms of scale and form with adjacent and nearby existing double storey dwellings. The dwellings have a slightly pitched roof with overall building height to an appropriate level, ensuring that the proposal can be absorbed within the existing streetscape and not create any sense of overpowering or overshadowing. The proposed development is well in its own site context and area, which once again does not impede or interfere with surrounding existing dwellings, as we are surrounded by developments.

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### **Clause 15.01 – Urban Environment**

The proposal will achieve high standards in architecture and urban design. The design detail that has been incorporated into this development acknowledges the evolving character of this section of Hume City Council.

The proposal maintains an appropriate front and rear landscaping buffer to ensure that the development will be integrated into an appropriate garden setting.

### **Clause 15.02 – Sustainable Development**

This development accords with the current State Planning Policy which actively promotes urban consolidation, with the obvious benefits of having higher density housing within well-serviced areas, as opposed to lower density housing.

### **Clause 16 – Housing**

This clause encourages diversity for housing and convenient access (walkability) to activity centres, shops, restaurants, places of worship, public transport, recreation facilities, schools and open space like the large Buchan Street Reserve. The provision of two double-storey unit development on the subject site satisfies the intent of this clause.

### **Clause 16.01-4 – Housing Diversity & Clause 16.01-5 Housing Affordability**

This new proposal facilitates both housing diversity and affordability.

The proposed dwellings represent ideal housing for younger, growing, and ageing families as the units have 4 rooms that are used as bedrooms, including family rooms, as well as having a car space each to accommodate a secure car space per dwelling.

### **Clause 18 - Transport**

The provision of not 1 but 2 new dwellings within an area that is well-serviced by public transport accords with the intent of this Clause.

## **LOCAL PLANNING POLICY FRAMEWORK**

### **Clause 21.06 - Residential**

Clause 21.06 states that *“about two-fifths of Hume City Council’s land area is currently devoted to housing, and the municipality will continue to have a strong residential character. However, there will be important changes. In particular, there will be more kinds of housing, more housing combined with other forms of development, and more concentrated housing development in established areas-particularly on dormant industrial sites.”*

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In order to achieve the above, it is submitted that the proposed dwellings will be consistent with the following *objectives* contained in Clause 21.06 of the planning scheme:

- *To promote urban consolidation which can play an important part in conserving the environment, increasing consumer choice and concentrating activity around existing infrastructure, including public transport.*
- *To respond to changing demographics which prompt changing demand for different types of housing.*
- *To promote creative and consistent quality urban design.*

The proposed development will be consistent with the following *strategies* contained in Clause 21.06 of the planning scheme:

- *Facilitate innovative forms of residential development and redevelopment on derelict and under-utilised sites.*
- *Facilitate the integration of affordable housing and housing suited to community needs throughout Hume City Council.*
- *Support urban consolidation to increase housing choice, reduce community costs and better use existing infrastructure.*

#### **Clause 22.01 Urban Design Policy**

The requirements of Clause 22.01 apply to the whole of the Hume City Council. The relevant policy basis states the following:

- *“The Municipal Strategic Statement sets out land use directions for the future development and improvement of the municipality. It recognizes the need for council to establish higher development standards and to improve its image.*

*These higher standards can be achieved by developing and applying urban design principles upon which the future development (and redevelopment) of the municipality can be assessed. In achieving higher design standards, greater economic activity will be attracted to Hume and the community’s perceptions of the area will be improved.*

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*These positive outcomes will assist Council in achieving one of the goals in its corporate plan: -to have an environmentally attractive, livable and accessible city.”*

‘Medium density housing’ is one of the nine categories of the Urban Design Policy pursuant to Clause 22.01 of the planning scheme. It is submitted that the proposed two dwelling development on the subject site accords with the following policies contained in Clause 22.01-6 of the planning scheme:

- The proposal respects the existing character of the precinct by incorporating design measures that contribute to a double-storey development. The provision of contrasting materials, including concrete render and brick and colourbond batten cladding, the provision of pitched roof display exhibits strong elements of verticality and modernity. These design measures help to minimise the visual impact and prominence of the proposal, creating a seamless façade.
- The plan demonstrates that the double-storey units have been planned and designed to demonstrate an understanding of setbacks, that are away from sensitive interfaces (such as secluded open spaces and habitable room windows).
- The size and scale of the proposal is complementary to the emerging character of this area. The dwelling style is similar to the most recent dwellings that have been constructed within this area.
- The proposed design incorporates design detail that integrates wall treatment and elevations and typical floor-to-ceiling heights at ground level, that are found in the neighbourhood.
- The proposed design incorporates materials that harmonise with the materials commonly found within the immediate neighbourhood context, as well as within the wider area most notably the recycled brick, timber cladding and render.

It is also submitted that the proposed development has been appropriately and sensitively designed, considering the existing dwellings.

In terms of *‘context and setting’* the provision of brand new unit dwelling has a garage that reflects easy access and visibility for a medium-density housing development that is respectful of this area.

The designer has ensured that the proposal reflects an appropriate *‘building envelope (size and scale).’* The components of the new dwellings will be appropriately located within the site, well away from side boundaries.

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The subject site not being encumbered by any heritage or special character controls pursuant to the Hume City Planning Scheme provides further justification of proposal in its submitted form.

Trees and landscaping will be incorporated into this development and open spaces that are proposed throughout the site are considered generous enough to accommodate canopy tree planting.

The proposed facade patterns and articulation is considered appropriate for this area, which will harmonise with the most recent developments that are found within this area.

## **RESCODE ASSESSMENT – CLAUSE 55**

### **CLAUSE 55.01 NEIGHBOURHOOD AND SITE DESCRIPTION AND DESIGN RESPONSE**

This application has been accompanied by a neighbourhood and site description and a design response, which has been prepared by the designer and satisfies the ResCode requirements pursuant to Clause 55.01 of the planning scheme.

#### **Clause 55.01-1 Neighbourhood and site description**

The neighbourhood and site description utilises a site plan outlining the surrounding allotments, existing dwellings and street features (roads, nature strips, footpaths, vehicle crossings, trees, services, etc.). Photographs of the surrounding context have also been provided.

The site is located within close proximity of recreation reserves, shops, schools and public transport.

#### **55.01-2 Design response**

A design response in plan form has been submitted, in addition to the photo analysis of the area surrounding the subject site.

### **CLAUSE 55.02 NEIGHBOURHOOD CHARACTER AND INFRASTRUCTURE**

#### **Clause 55.02-1 Neighbourhood character objectives**

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It is submitted that the proposed design respects the existing neighbourhood character and contributes to an emerging wider neighbourhood character where modest single storey dwellings are being replaced with contemporary, double-storey dwellings.

The proposed dwelling reflects a high-quality contemporary design, which will make a positive contribution to the area. The appropriate positioning of the two new double-storey unit development, open spaces and vehicle accessways within the subject site ensures that proposed developments are respectful of the existing dwellings in close proximity to the subject site.

### **Standard B1**

It is submitted that the proposed design response (on the basis of the afore-mentioned provisions) is appropriate to the neighbourhood and the site and satisfies ResCode Standard B1.

### **Clause 55.02-2 Residential policy objectives**

It is submitted that the proposed new dwelling residential development is in accordance with the relevant policies for housing contained under both the State Planning Policy Framework and the Local Planning Policy Framework, which has been outlined earlier in this report.

### **Standard B2**

This written report describes how the development is consistent with any relevant policy for housing in the State Planning Policy Framework and the Local Planning Policy.

### **Clause 55.02-3 Dwelling diversity objective**

Compliance with this particular objective is mandatory only for developments of ten or more dwellings.

### **Clause 55.02-4 Infrastructure objectives**

It is submitted that the subject land is appropriately serviced with appropriate utilities and infrastructure (including physical and social infrastructure) to accommodate the brand new double storey unit development.

### **Standard B4**

The proposed development will be connected to reticulated services, including reticulated sewerage, drainage, electricity and gas. The proposed development is unlikely to unreasonably exceed the capacity of utility services and infrastructure.

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### **Clause 55.02-5 Integration with the street objective**

As both dwellings of this proposal are street facing, all materials and finishes have been carefully selected to ensure the development does not negatively impact the street objective and neighbourhood character. In much the same way as every other dwelling within Dallas.

### **Standard B5**

The proposed Dwelling provides adequate vehicle and pedestrian links that maintain and enhance local accessibility. The lack of front fencing will not have a positive impact on the streetscape, enhancing the public realm and garden character of the area and street frontage, especially on a site directly opposite unit development.

## **CLAUSE 55.03 SITE LAYOUT AND BUILDING MASSING**

### **Clause 55.03-1 Street setback objective**

The proposed double storey units have been designed to ensure compliant street setback and a generous driveway and garage for easy accessibility in and out.

### **Clause 55.03-2 Building height objective**

The pitched roof design for the unit contributes to the relevant building height objective being satisfied and in accordance with surrounding subject sites around Frank Street. The proposal reflects a development that will be respectful of the existing neighbourhood context in terms of building height, which is also attributed to the topography of the subject site.

### **Standard B7**

The proposal easily satisfies that maximum building height of Standard B7 by having an overall height that is significantly lower than the maximum height of 9.0 metres.

### **55.03-3 Site coverage objective**

The proposed unit development has been designed to ensure that the site coverage of the new and existing properties respects the preferred neighbourhood character and responds to the features of the site, by way of appropriate building setbacks and through the provision of adequate secluded open space for the new double-storey dwelling behind an existing single storey dwelling.

### **Standard B8**

The proposal satisfies this Standard as site coverage that is proposed (40.12%) meets the requirements of the 60% maximum that is allowed pursuant to this Standard. Therefore, the proposal cannot be described as an overdevelopment of the subject land.

### **55.03-4 Permeability objectives**

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The proposal has been designed to reduce the impact of increased stormwater run-off on the drainage system and to facilitate on-site stormwater infiltration by minimizing the extent of concrete within rear secluded open spaces and the generous front yards.

**Standard B9**

The proposal will comply with the Standard as more than 20 per cent of the site will not be covered by impervious surfaces.

**Clause 55.03-5 Energy efficiency objectives**

As previously stated, the proposal represents energy efficient dwellings due to excellent orientation.

Doors and windows have been located internally for the dwellings to facilitate internal cross-ventilation, requiring less reliance on air-conditioning during the summer months.

The proposal will have north-facing windows.

Also, there is also the requirement under the relevant building controls to achieve six-star energy rating for of the proposed dwelling. It is submitted that Standard B10 will be satisfied at both the planning and building permit stage.

Permit conditions can be imposed by Council to ensure compliance with this section of ResCode.

**Clause 55.03-6 Open space objective**

The subject site has an outlook onto Frank Street, directly facing the street and existing dwellings across the subject site. The proposed properties both have a generous driveway space each, and large POS areas, ensuring an open space objective.

**Clause 55.03-7 Safety objective**

The proposed new unit dwelling development has been designed to ensure the layout provides for the safety and security of residents and property.

**Standard B12**

The proposal accords with Standard B12 by ensuring that the entrance to Units 2, will not be obscured or isolated from the internal, individual driveways as the car spaces are located at the front and have their own access way as required by this section of ResCode. Entry will face the street.

**Clause 55.03-8 Landscaping objectives**

A detailed landscaping plan has not yet been developed. The layout plan includes indicative planting location which demonstrates that the proposal will respect the landscape character of the neighbourhood. Also, will cover the schedule 1 to the zone to meet the landscape requirements.

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**Standard B13**

Permit conditions can be imposed by the responsible Authority to ensure compliance with Standard B13 having regard to landscaping provision.

A minimum of 1 tree should be located within both the front setback and the secluded private open space of each dwelling, in accordance with the Hume Tree Planting Manual for Residential Zones, 2014. Under the new updates from the Hume Planning Landscaping Scheme. All front and rear B13 requirements have been met under schedule 1 as shown on the plans provided.

**Clause 55.03-9 Access objectives**

Frank Street is not a busy street, and it is appropriate for cars associated with the new double-storey unit development to enter and exit the sites comfortably.

**Standard B14**

It is submitted that the proposal satisfies Standard B14 by the proposed accessways being designed to allow for convenient, safe and efficient vehicle movements and connections within the development and to the street network.

Frank Street is not defined as a Road Zone Category 1, which would allow cars associated with proposed unit to safely reverse onto the driveway if needed.

The new dwellings have its own individual garage and carspace, facing Frank Street, with the reserve immediately next door.

**Clause 55.03-10 Parking location objectives**

The proposed design will satisfy the objectives relating to parking location.

**Standard B15**

The proposal satisfies Standard B15 as the car parking facility for new unit is close and conveniently located, where access into the dwellings is very much possible via the garage, future occupants using the garages for parking as opposed to parking on the street.

**Clause 55.03-11 Parking provision objectives**

The provision of a 'lock-up' garage for the proposed dwelling will ensure that car parking for residents is appropriate to the needs of residents.

**Clause 55.03-11 Parking provision objectives**

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The provision of a ‘lock-up’ garage for dwelling will ensure that car parking for residents is appropriate to the needs of residents.

Clause 52.06 of the Hume Planning Scheme prescribes the following parking requirements for the proposed development:

Dwelling	No. of bedrooms	Required car parking provisions	Car parking provisions provided
Unit 1	4	2 car spaces	Double Car Space
Unit 2	4	2 car spaces	Double Car Space

As per our plans, we have two parking spaces in the double garage, accommodating the required car spaces as per the table above, demonstrating all residential parking for the development in accordance with Clause 52.06.

## **CLAUSE 55.04 AMENITY IMPACTS**

### **55.04-1 Side and rear setbacks objective**

The proposed dwellings have been designed to incorporate side and rear setbacks which respect the existing neighbourhood character and the side and rear setbacks being proposed now adhere to **Standard B17**.

### **Clause 55.04-2 Walls on boundaries objective**

The proposed single-storey unit dwelling has garage wall along the boundary and remaining dwelling walls 200mm off boundary.

The proposal ensures that the location, length and height of a wall on a boundary garages will not be detrimental to the neighbourhood character and amenity of the occupants of adjacent dwellings. Garage for both units 1 & 2 will be 200mm off the side boundary. This is well under the 3.2 max height.

### **Standard B18**

The proposed boundary wall construction adheres to Standard B18 in terms of location and length of wall along the relevant property boundaries.

### **Clause 55.04-3 Daylight to existing windows objective**

The proposed unit development does not conflict with the objectives of Clause 55.04-3, nor does the proposal conflict with the requirements of **Standard B19**.

### **Clause 55.04-4 North-facing windows objective**

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The proposal does not conflict with the objectives of Clause 55.04-4, nor does the proposal conflict with the requirements of **Standard B20**.

**Clause 55.04-5 Overshadowing open space objective**

Due to the provision of appropriate building setbacks and the location of the common driveway, the proposal does not conflict with the objectives of Clause 55.04-5, nor does the proposal conflict with the requirements of **Standard B21**.

**Clause 55.04-6 Overlooking objective & 55.04-7 Internal views objective**

Overlooking will be no issue as we are proposing the unit to be within the appropriate setbacks and all proposed windows that require obscuring will be at a height of 1.7 metres.

Therefore, there is no conflict with **Standards B22** and **B23**.

**Clause 55.04-8 Noise impacts objectives**

The proposed development has been designed in such a way to contain noise sources within the developments, so that that there is no affect to adjacent properties.

**Standard B24**

In terms of Standard B24 relating to noise sources, provisions such as mechanical plant (external air-conditioning units, heaters, hot-water units, etc.), these can easily be addressed by appropriate permit conditions being imposed by the Responsible Authority.

**CLAUSE 55.05 ON-SITE AMENITY AND FACILITIES**

**Clause 55.05-1 Accessibility objective**

It is submitted that proposed Units have been designed to be mindful of visitors with limited mobility to the proposed dwellings in the design of this development by heights to a workable minimum.

**Clause 55.05-2 Dwelling entry objective**

It is submitted that the proposal satisfies the dwelling entry objective of Clause 55.05-2.

The provision of 1 mailbox each for both units, with street numbers at the street frontage ensures that both dwellings can be easily identified from the Frank Street frontage.

**Standard B26**

The proposed design of the proposal accords with the requirements of Standard B26 by ensuring that the respective entries to each dwelling are:

- *Visible and easily identifiable from street (Unit 1 & 2).*

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- *Provides shelter, a sense of personal address and a transitional space around the entry.*

**Clause 55.05-3 Daylight to new windows objective**

The design of the proposed dwelling ensures adequate daylight into new habitable room windows and fully accords with Standard B27.

**Clause 55.05-4 Private open space objective**

The proposed development has been designed to provide adequate private open space for the reasonable recreation and service needs of residents to ensure an open, aesthetic frontage that does not affect the streetscape negatively. Unit 1 has a POS of 53.29 square metres, and Unit 2 has a POS of 66.98 square metres.

**Standard B28**

The dimensions of the secluded open spaces of the proposed dwelling exceed the minimum requirements outlined under Standard B28 which require the proposed dwellings to have private open space consisting of *“an area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room.”*

Secluded Private open space is in accordance with the 40m<sup>2</sup> requirements, Unit 1, a total of 135.08m<sup>2</sup> secluded private open space, in accordance with the requirements of Res Code. Unit 2 also has a 65.96m<sup>2</sup> SPOS area.

**Clause 55.05-5 Solar access to open space objective**

The designer has developed building envelopes that allow solar access into the secluded private open spaces of both dwellings.

Being appropriately located within the site, the secluded open spaces to the proposed dwelling will satisfy the requirements of **Standard B29** with respect to orientation to receive adequate sunlight. The living and POS areas will receive sunlight throughout the day. As they are oriented to south. The south facing formula has been used to accurately give each dwelling the sufficient sunlight access throughout the day.

**CLAUSE 55.06 DETAILED DESIGN**

**Clause 55.06-1 Design detail objective**

It is submitted that the proposed development reflects appropriate design detail from a neighbourhood character point of view, acknowledging the most recent developments that have occurred in this area.

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### **Standard B31**

The proposed design of the proposed development includes:

- *Appropriate front facade articulation*
- *The provision of canopies to create a strong element of verticality throughout.*
- *The rendered cladding, being appropriate from a neighbourhood character point of view. Such provision contributes to lightness of structure. Brick finish to be within Character.*
- *Window and door proportions that is complementary with existing dwellings within the surrounding area.*
- *The proposed garage of proposed the Unit being located behind the front porch and building line of this dwelling, which minimises impact from the street.*

Overall, Standard B31 encourages designs to be of an appropriately innovative nature as well as of a high architectural standard, which this development has satisfied. pitched floor, reflects an architectural detail that is becoming common throughout this part of Hume in recent years and contributes to a modern and contemporary design.

The most important aspect of the proposed design is its high-quality design that reflects a development of its time.

#### **Clause 55.06-2 Front fence's objective**

No front fence this accords with the existing neighbourhood character and does not conflict with Standard B32.

#### **Clause 55.06-3 Common property objectives**

Proposed common property cannot be avoided for this type of development.

#### **Clause 55.06-4 Site services objectives**

The proposed development has been designed in such a way to ensure that site services can be installed and easily maintained, as well as the site facilities being accessible,

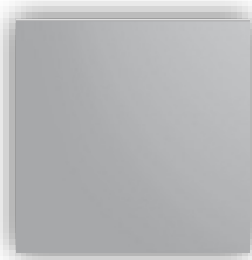
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adequate and attractive. Permit conditions can be imposed by the Responsible Authority to ensure that the specific requirements of **Standard B34** are satisfied.

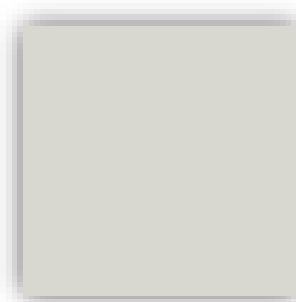
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**(BRICKWORK) (A)**  
 AUSTRAL BRICKS –  
 Grey Austral Bricks



**(DULUX (C))**  
 RENDER FINISH  
 “Light Grey”



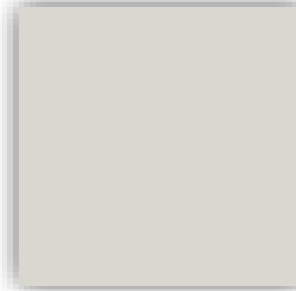
**(WINDOWS AND DOORS)**  
 Colour –Surfmist  
 (COLOURBOND)



**(CLADDING) (B)**  
 Horizontal Timber  
 Weatherboard –  
 “Shale Grey”



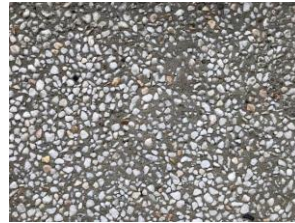
**(ROOF)**  
 COLORBOND  
 “Basalt”



**(GUTTERS/CAPPING)**  
 Colour – Surfmist  
 (COLOURBOND)



**(GARAGE DOORS)**  
 COLOURBOND “Shale Grey”



**(DRIVEWAY)**  
 Exposed Aggregate



**(RAINWATER TANK)**  
 Colour:  
 SHALE GREY

MATERIALS FINISH SCHEDULE		
ITEM		COLOURS
BRICKWORK	(A)	GREY -AUSTRAL BRICKS
CLADDING	(B)	HORIZONTAL TIMBER WEATHERBOARD -'SHALE GREY'
RENDER	(C)	DULUX 'LIGHT GREY'
RAIN WATER TANK		COLORBOND 'SHALE GREY'
FASCIABOARDS		COLORBOND 'SURFMIST'
GUTTERS / CAPPING		COLORBOND 'SURFMIST'
COLORBOND ROOF		COLORBOND 'BASALT'
FRONT ENTRY DOORS		LIGHT GREY FINISH
GARAGE DOORS		PANELIFT DOOR COLORBOND 'SHALE GREY'
WINDOWS		COLORBOND 'SURFMIST'
DRIVEWAY		EXPOSED AGGREGATE

**OBS - DENOTES. OBSCURED WINDOW**

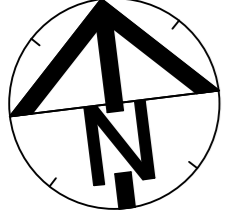
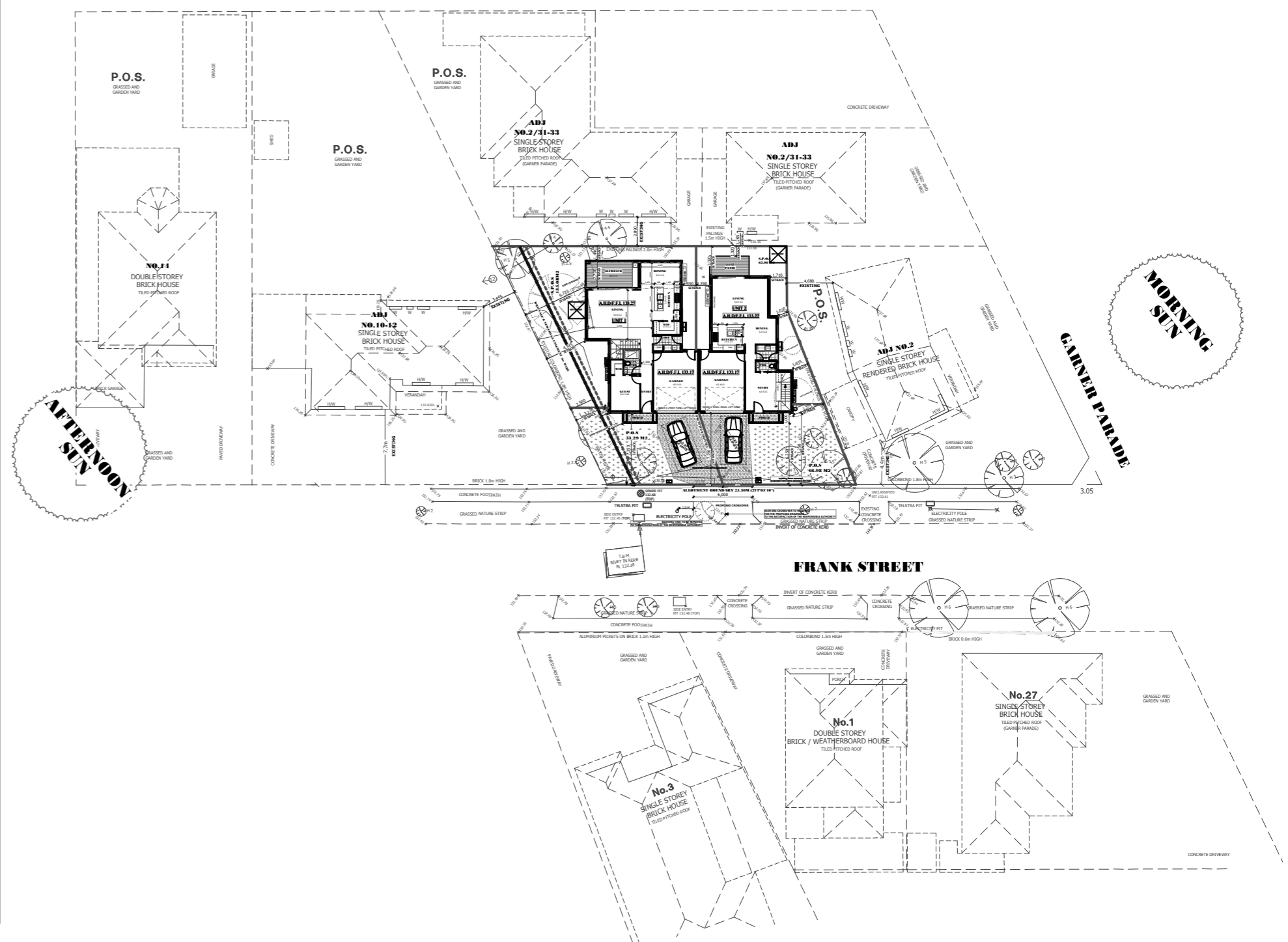
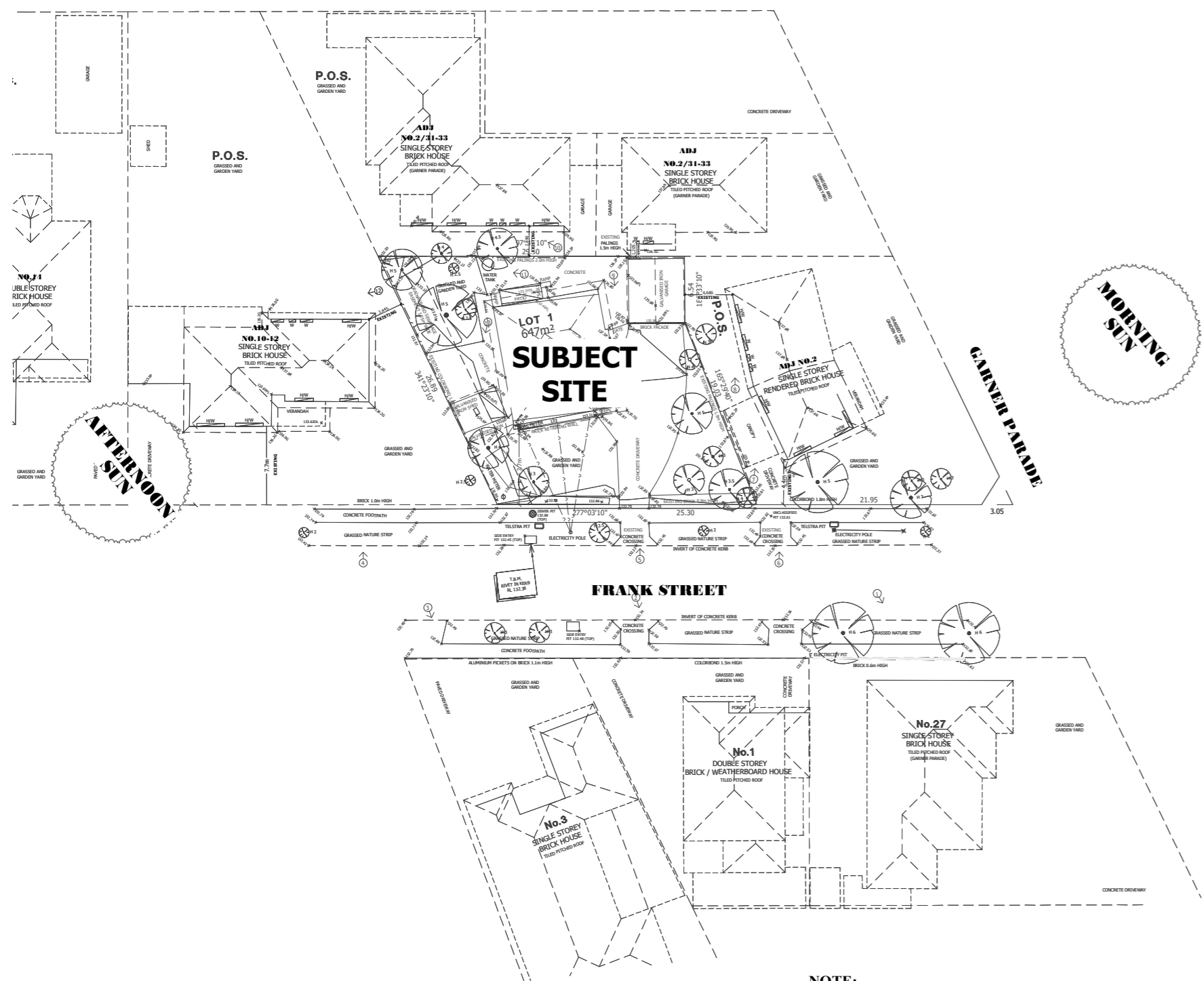
**DG - DENOTES. DOUBLE GLAZED WINDOW**

**ASD - DENOTES. ADJUSTABLE SHADING DEVI**



### LEGEND

- 7. ADJOINING B/V RESIDENCE
- 8. ADJOINING W/B RESIDENCE
- 9. ADJOINING RENDERED B/V
- 10. VACANT LAND
- S. SINGLE STOREY
- D. DOUBLE STOREY
- T. TRIPPLE STOREY
- V VERANDAH
- PER PERGOLA
- SH SHED
- G GARAGE
- CP CAR PORT
- CS CAR SPACE
- P.F: PAILING FENCE
- SF: STEEL FENCE
- BF: BRICK FENCE
- CF: CYCLONE FENCE
- NF: NO FENCE
- TF: TIMBER FENCE
- FF: FOLIAGE FENCE
- > EXISTING VEHICLE CROSSING
- 5.25m SET BACK
- P.O.S - private open space
- (HW) HABITABLE WINDOWS
- (NHW) NON HABITABLE WINDOWS
- P.P POWER POLE
- EXISTING TREES



### NEIGHBOURHOOD & SITE DESCRIPTION

SCALE 1:500

NOTE:  
SITE IS FLAT  
NOTE:  
ADJACENT P.O.S TO BE PROTECTED FROM OVER VIEWING WITH A 1800H TIMBER PAILING FENCE.

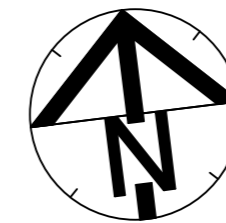
NOTE:  
MATERIALS, COLOURS AND TEXTURES ARE SELECTED TO HIGHLIGHT THE ARCHITECTURAL FORMS AND REFLECT THE ADJACENT DWELLINGS  
NOTE:  
BREAK UP LARGE FORMS WITH ARTICULATED DIMENTIONS IN PLAN AND ELEVATION, TO MAINTAIN A SCALE RELEVANT TO THE ADJOINING BUILDING.

- 1. NOISE DIRECTION →
- 2. MELBOURNE CBD - 27kms ↓
- 3. SCHOOL 800M ↘
- 4. PUBLIC TRANSPORT 1.4kms ↑
- 5. PEMBROKE CRES RESERVE 500m ↘
- 6. SHOPS 1.6km ↗

Prior to commencement of works, the following provisions relating to the protection of existing street trees must be undertaken to the satisfaction of the Responsible Authority:

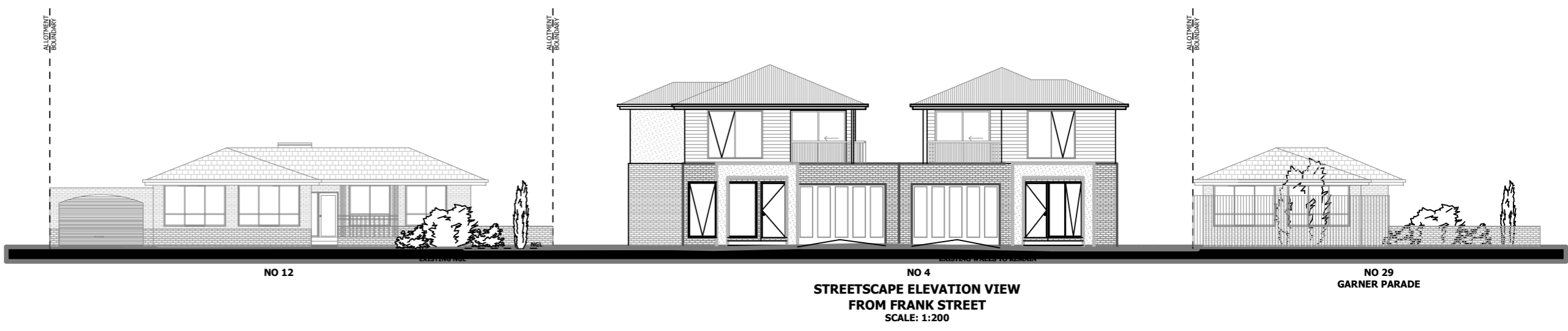
- i) A suitable Tree Protection Zone of 2.0m-metre radius with barrier fence must be established around the street trees on the FRANK STREET. Street frontage.
- ii) The Protection Zone must be enclosed using a 2 metre high temporary cyclone fence or similar, which must remain in place through all stages of the development. This fence must not enclose the footpath, which must be kept clear for pedestrian access, and a sign must be erected on the fence informing that the fence is a Tree Protection Zone.
- iii) The Area within the Tree Protection Zone must not be disturbed by any means including, parking of vehicles or storage of plant and equipment, materials, soil or waste.
- iv) No excavation is allowed within the Tree Protection Zone except with the consent of Council's Town Planning Department and under the supervision of a qualified Arborist.

All grass and weed within the Tree Protection Zone must be removed and the area mulched and irrigated.



### DESIGN RESPONSE PLAN



SCALE 1:500

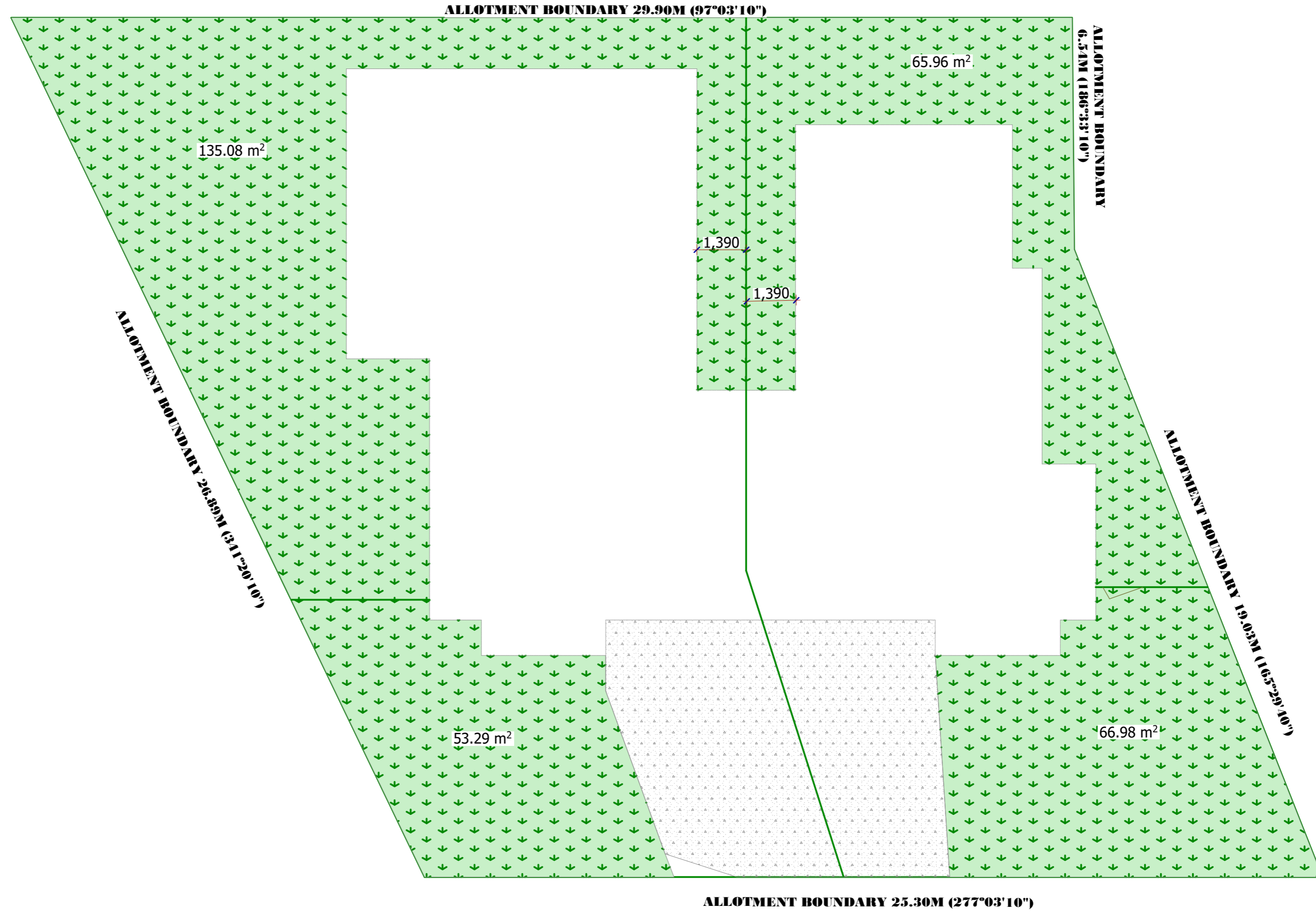


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	<p>AT ARCDISIGN PTY LTD E: info@atarchitecturedesign.com T: 9499 1212</p>	<p><b>PROJECT/ADDRESS</b> 4 Frank St, Dallas CLINT</p>	<p><b>REVISIONS</b></p>	<p><b>DATE:</b></p>	<p><b>SHEET SIZE:</b></p>	<p><b>JOB NO.:</b></p>
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**AREA ANALYSIS**

GARDEN AREA 30% OF SITE AREA =194m<sup>2</sup>  
 PROPOSED GARDEN AREA= (321.31m<sup>2</sup>)

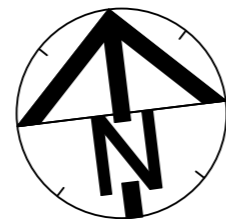
LEDGEND	
	GARDEN AREA
	CONCRETE AREA



**NOTE:**  
 Prior to commencement of works, the following provisions relating to the protection of existing street trees must be undertaken to the satisfaction of the Responsible Authority:

- A suitable Tree Protection Zone of 2.5m-metre radius with barrier fence must be established around the street tree/s on the FRANK STREET frontage.
- The Protection Zone must be enclosed using a 2.0 metre high temporary cyclone fence or similar, which must remain in place through all stages of the development. This fence must not enclose the footpath, which must be kept clear for pedestrian access, and a sign must be erected on the fence informing that the fence is a Tree Protection Zone'.
- The Area within the Tree Protection Zone must not be disturbed by any means including, parking of vehicles or storage of plant and equipment, materials, soil or waste.
- No excavation is allowed within the Tree Protection Zone except with the consent of Council's Town Planning Department and under the supervision of a qualified Arborist.

All grass and weed within the Tree Protection Zone must be removed and the area mulched and irrigated.



**SITE LAYOUT / GARDEN PLAN**

— — — — —  
 SCALE 1:100

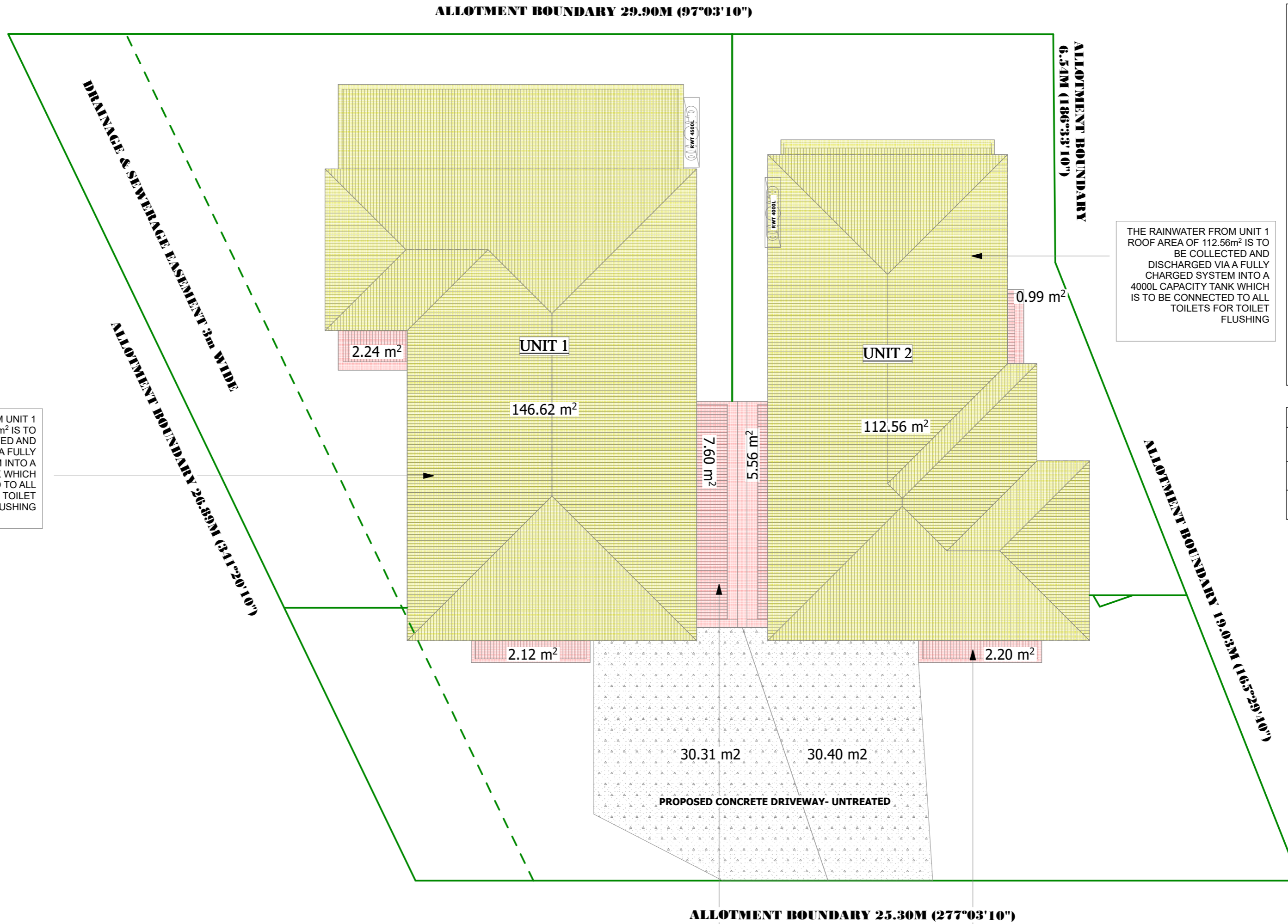


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				DRAW:	
				DATE:	06.08.2024
				DRAWING NO:	04

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DWELLING 1		AREA ANALYSIS	
AREA:	m <sup>2</sup> sq.	SITE AREA:	646.67m <sup>2</sup>
ground floor:	102.84 11.06	BUILT UP AREA:	259.46m <sup>2</sup>
garage:	29.3 3.15	SITE COVERAGE:	40.12%
porch:	2.6 0.28	PERMEABLE AREA	
patio:	15 1.61	59.17M2(318.63M2):	50.72%
upper floor:	87 9.36	GARDEN AREA 30% OF	
balcony:	11.46 1.23	SITE AREA =194m <sup>2</sup>	
TOTAL:	248.2 26.71	PROPOSED GARDEN	
		AREA= (321.31m <sup>2</sup> )	

DWELLING 2		TOTAL: 454.7m <sup>2</sup> 48.94sq	
AREA:	m <sup>2</sup> sq.		
ground floor:	78.12 8.4		
garage:	29 3.12		
porch:	2.6 0.28		
patio:	8 0.90		
upper floor:	76.24 8.21		
balcony:	12.54 1.35		
TOTAL:	206.5 22.22		



THE RAINWATER FROM UNIT 1 ROOF AREA OF 146.62m<sup>2</sup> IS TO BE COLLECTED AND DISCHARGED VIA A FULLY CHARGED SYSTEM INTO A 4500L CAPACITY TANK WHICH IS TO BE CONNECTED TO ALL TOILETS FOR TOILET FLUSHING

THE RAINWATER FROM UNIT 1 ROOF AREA OF 112.56m<sup>2</sup> IS TO BE COLLECTED AND DISCHARGED VIA A FULLY CHARGED SYSTEM INTO A 4000L CAPACITY TANK WHICH IS TO BE CONNECTED TO ALL TOILETS FOR TOILET FLUSHING

**WATER SENSITIVE URBAN DESIGN NOTES:**

ALL DRAINAGE TO BE DESIGNED AND CERTIFIED BY AUTHORIZED DRAINAGE ENGINEER

EACH RAINWATER TANK IS TO BE CONNECTED TO ALL TOILETS IN EACH DWELLING

GRAVITY FED OR FULLY CHARGED SYSTEM IS NECESSARY TO ACHIEVE THE MINIMUM ROOF CATCHMENT AREA IN ACCORDANCE WITH STORM REQUIREMENTS

THE OVERFLOW SYSTEMS FOR ALL RAINWATER TANKS MUST BE GRAVITY FED TO THE LEGAL POINT OF DISCHARGE AND NOT SERVICED BY OVERFLOW PUMPS

THE TANKS MUST BE USED ONLY FOR REUSE WITHIN THE DWELLINGS, AND ARE COMPLETELY INDEPENDENT OF ANY DETENTION REQUIREMENTS (THROUGH THE LEGAL POINT OF DISCHARGE PROCESS)

IN NO CASE WILL RAINWATER PIPES BE CHARGED UNDER THE SLAB

GRAVITY FED SYSTEM TO BE USED WHEN HARVESTING STORMWATER FROM ROOF TO RAINGARDENS.

RAINGARDENS TO BE BUILT MINIMUM 300MM FROM ADJOINING FOOTINGS

BUILD THE RAINGARDEN CLOSE TO THE WATER SOURCE. THIS WILL HELP MINIMISE THE ADDITIONAL PLUMBING NEEDED TO BRING WATER TO THE RAINGARDEN

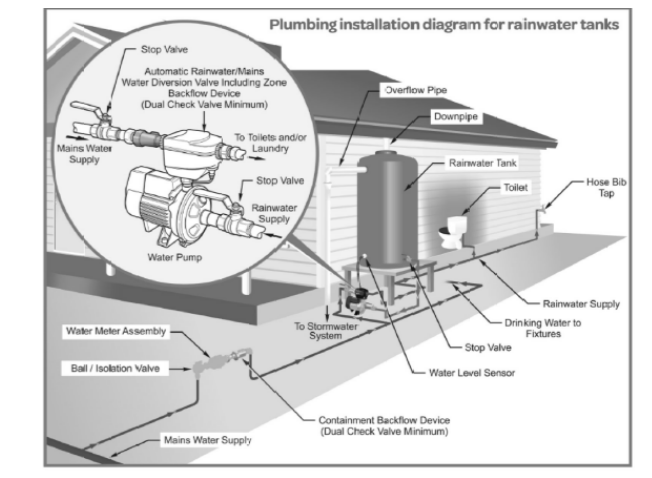
RAINGARDEN MUST BE FULLY LINED AND HAVE OVERFLOW PLUMBED INTO THE STORMWATER SYSTEM.

FOR EXCAVATION AND CLEARANCE REFER TO BUILDING A RAINGARDEN INSTRUCTION SHEET. RAINGARDENS MUST BE BUILT TO MELBOURNE WATER REQUIREMENTS

MAINTENANCE OF RAINGARDENS ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

THE FINAL DESIGN OF THE STORMWATER SYSTEM WILL MEET COUNCIL DRAINAGE ENGINEERS REQUIREMENTS. THE DESIGNED SYSTEM COMPLIES WITH MELBOURNE WATER STORM REQUIREMENTS THAT MEETS VICTORIAN BEST PRACTICE STORMWATER GUIDELINES

MAINTENANCE GUIDELINES (EVERY 3-6 MONTHS)	
RAINWATER TANKS:	TO BE INSPECTED, INLET TO BE CLEANED REGULARLY. IF SLUDGE IS PRESENT, TANKS MUST BE DRAINED BY PROFESSIONAL PLUMBER AND CLEANED
GUTTERS AND DOWNPIPES:	TO BE INSPECTED AND CLEANED REGULARLY.
FIRST FLUSH DEVICES:	IF APPLICABLE, TO BE INSPECTED AND CLEANED REGULARLY.



**Melbourne Water STORM Rating Report**

TransactionID: 0  
Municipality: HUME  
Rainfall Station: HUME  
Address: 4 Frank Street

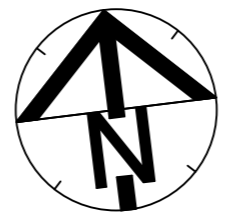
Dallas VIC 3047  
Assessor: 1237  
Development Type: Residential - Multiunit  
Allotment Site (m2): 646.67  
STORM Rating %: 100

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
U1 Roof - Tank	146.62	Rainwater Tank	4,500.00	4	131.00	94.90
U1 Roof - Untreated	11.96	None	0.00	0	0.00	0.00
U2 Roof-Tank	112.56	Rainwater Tank	4,000.00	3	131.00	94.90
U2 Roof-Untreated	8.75	None	0.00	0	0.00	0.00
Driveway - Untreated	60.71	None	0.00	0	0.00	0.00

Date Generated: 03-Jun-2024 Program Version: 1.0.0

**LEGEND**

- ROOF AREA TO RAINWATER LPOD
- ROOF AREA TO RAINWATER TANK
- WATERTANK TO TREAT SELECTED ROOF AREA. CONNECT WATER TANK TO ALL SANITARY FLUSHING
- CONCRETE SURFACE - UNTREATED
- PARAPET WALLS



**WSUD LAYOUT PLAN**

SCALE 1:100

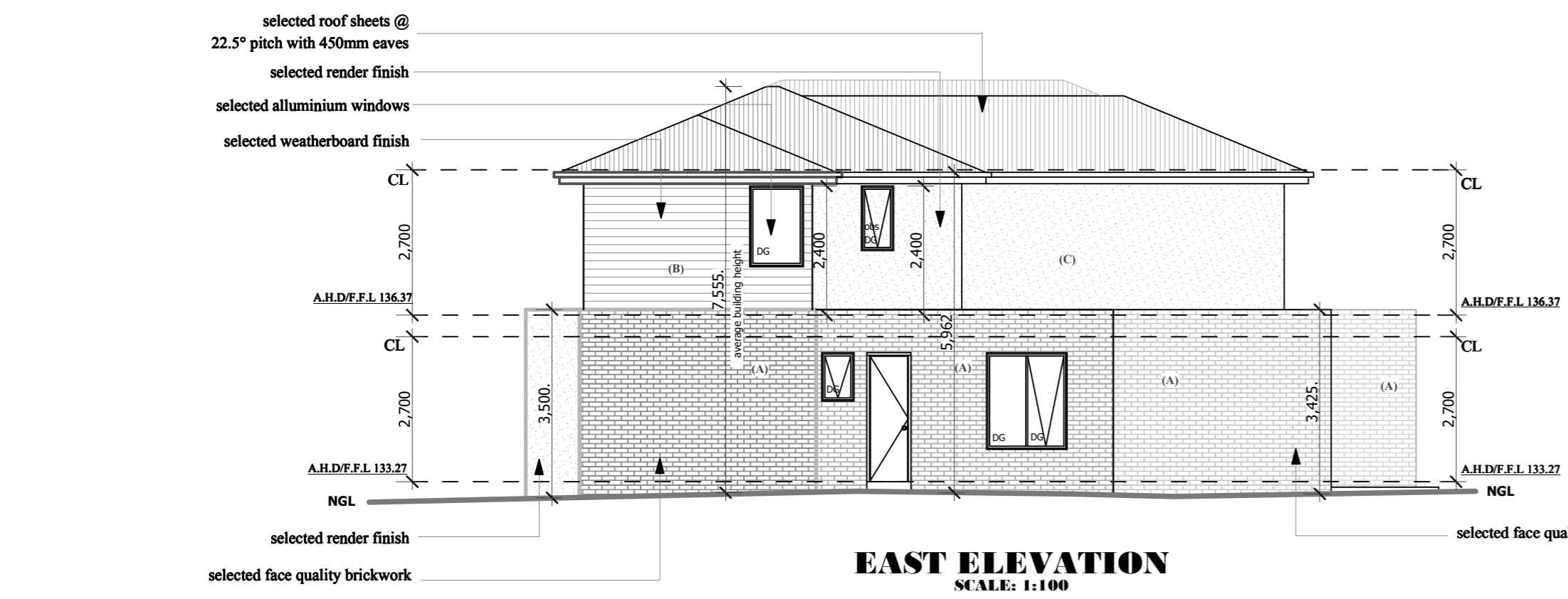
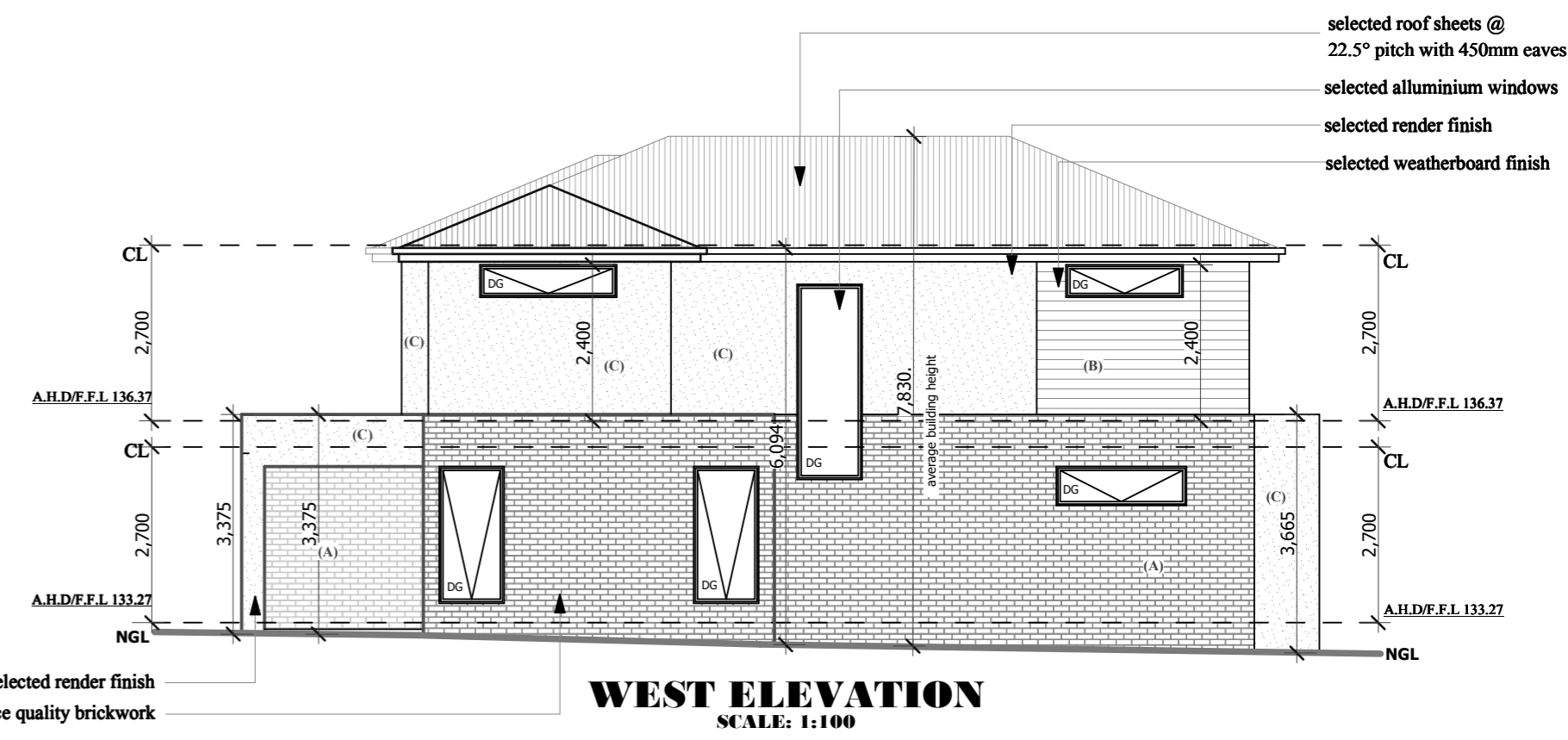
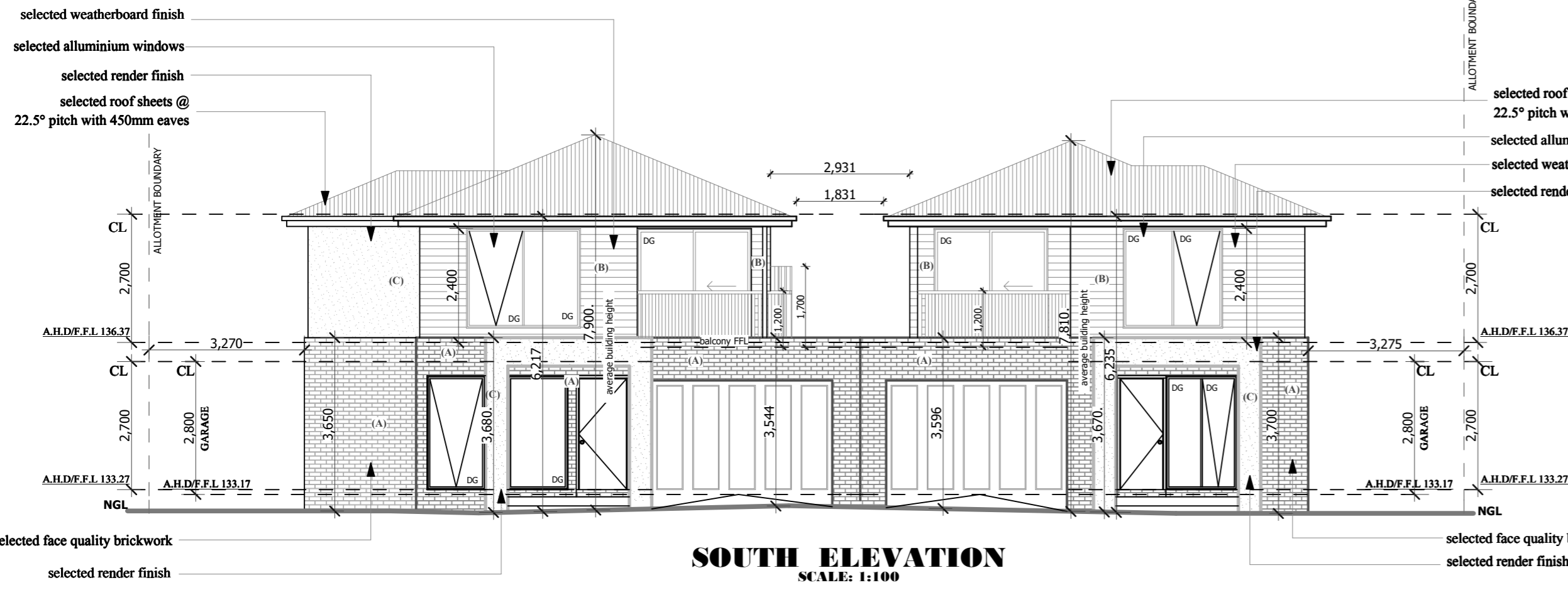


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				DATE: 06.08.2024
				DRAWING NO: 05

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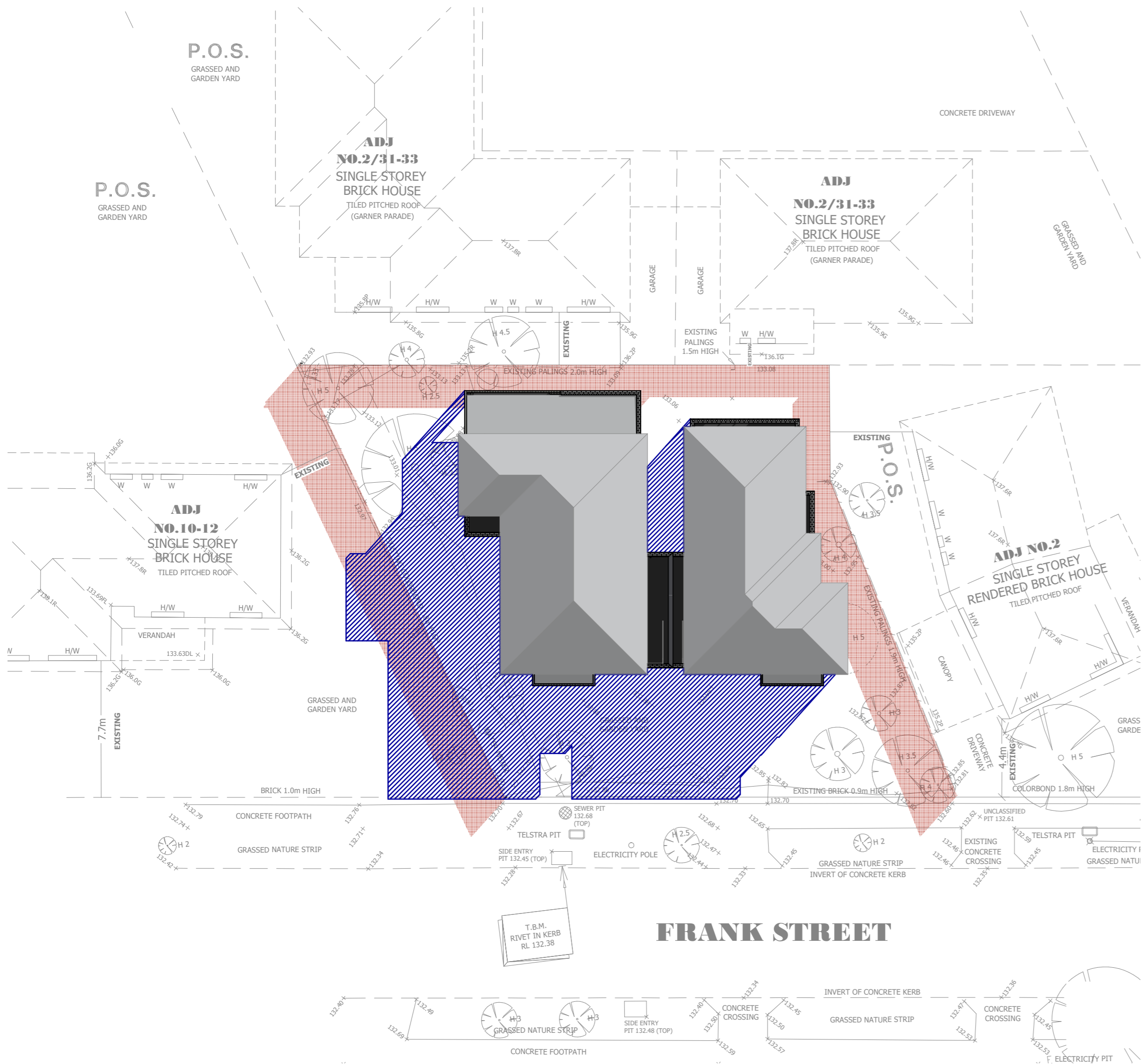


MATERIALS FINISH SCHEDULE	
ITEM	COLOURS
BRICKWORK	(A) GREY-AUSTRAL BRICKS
CLADDING	(B) HORIZONTAL TIMBER WEATHERBOARD -'SHALE GREY'
RENDER	(C) DULUX 'LIGHT GREY'
RAIN WATER TANK	COLORBOND 'SHALE GREY'
FASCIABOARDS	COLORBOND 'SURFMIST'
GUTTERS / CAPPING	COLORBOND 'SURFMIST'
COLORBOND ROOF	COLORBOND 'BASALT'
FRONT ENTRY DOORS	LIGHT GREY FINISH
GARAGE DOORS	PANELIFT DOOR COLORBOND 'SHALE GREY'
WINDOWS	COLORBOND 'SURFMIST'
DRIVEWAY	EXPOSED AGGREGATE

**OBS - DENOTES, OBSCURED WINDOW**  
**DG - DENOTES, DOUBLE GLAZED WINDOW**  
**ASD - DENOTES, ADJUSTABLE SHADING DEVICES**

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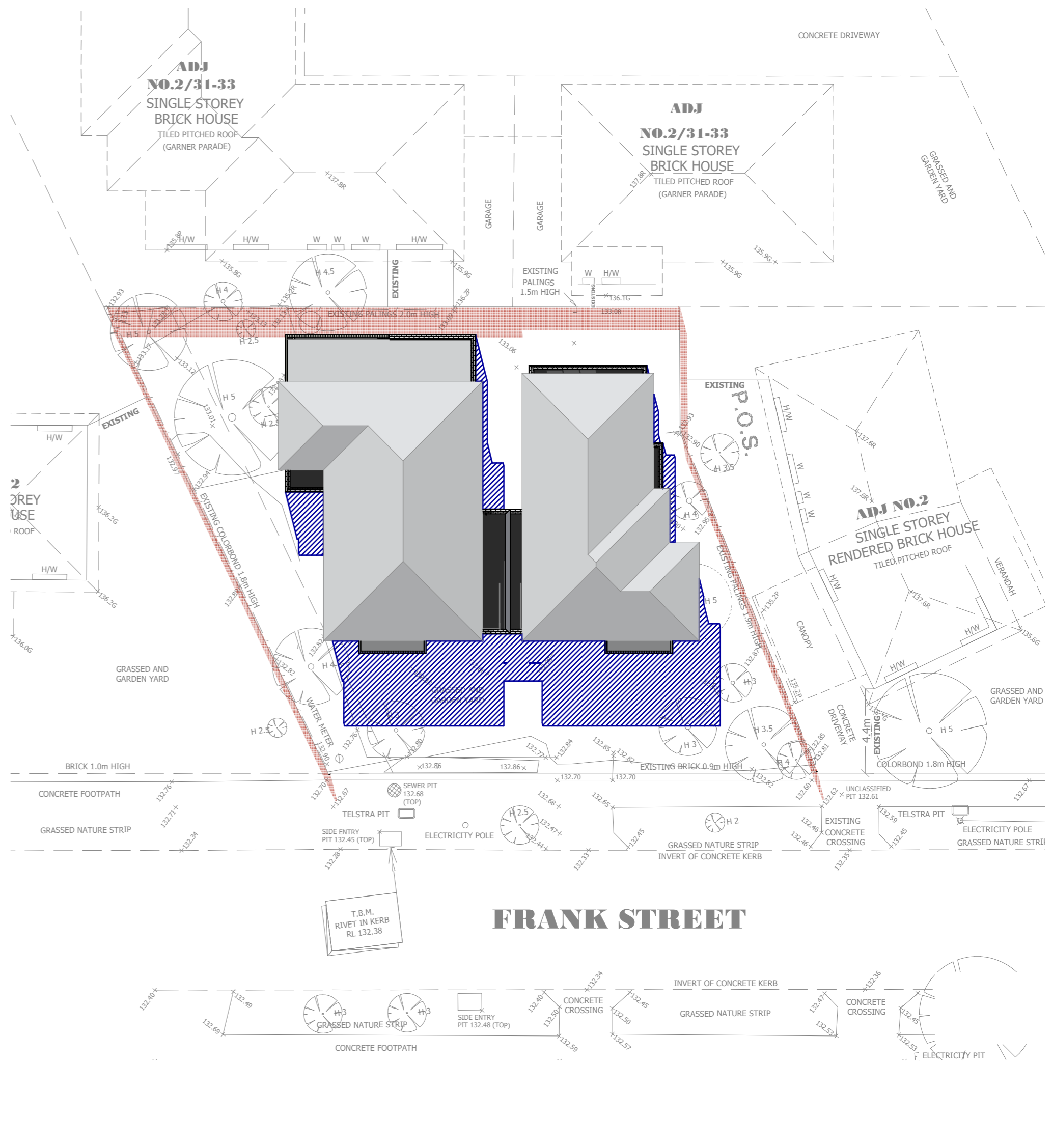
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**DATE:** 06.04.2024  
**REVISIONS:**  
**SHEET SIZE:** A2  
**JOB NO.:** 381  
**SCALE:** AS NOTED  
**DRAW:**  
**DATE:** 06.08.2024  
**DRAWING NO.:** 06



**FRANK STREET**

**SUN SHADE DIAGRAM**  
**SEMPTEMBER 22- 9AM**

SCALE 1:200  
 EXISTING FENCE SHADOW  
 PROPOSED DWELLING SHADOW



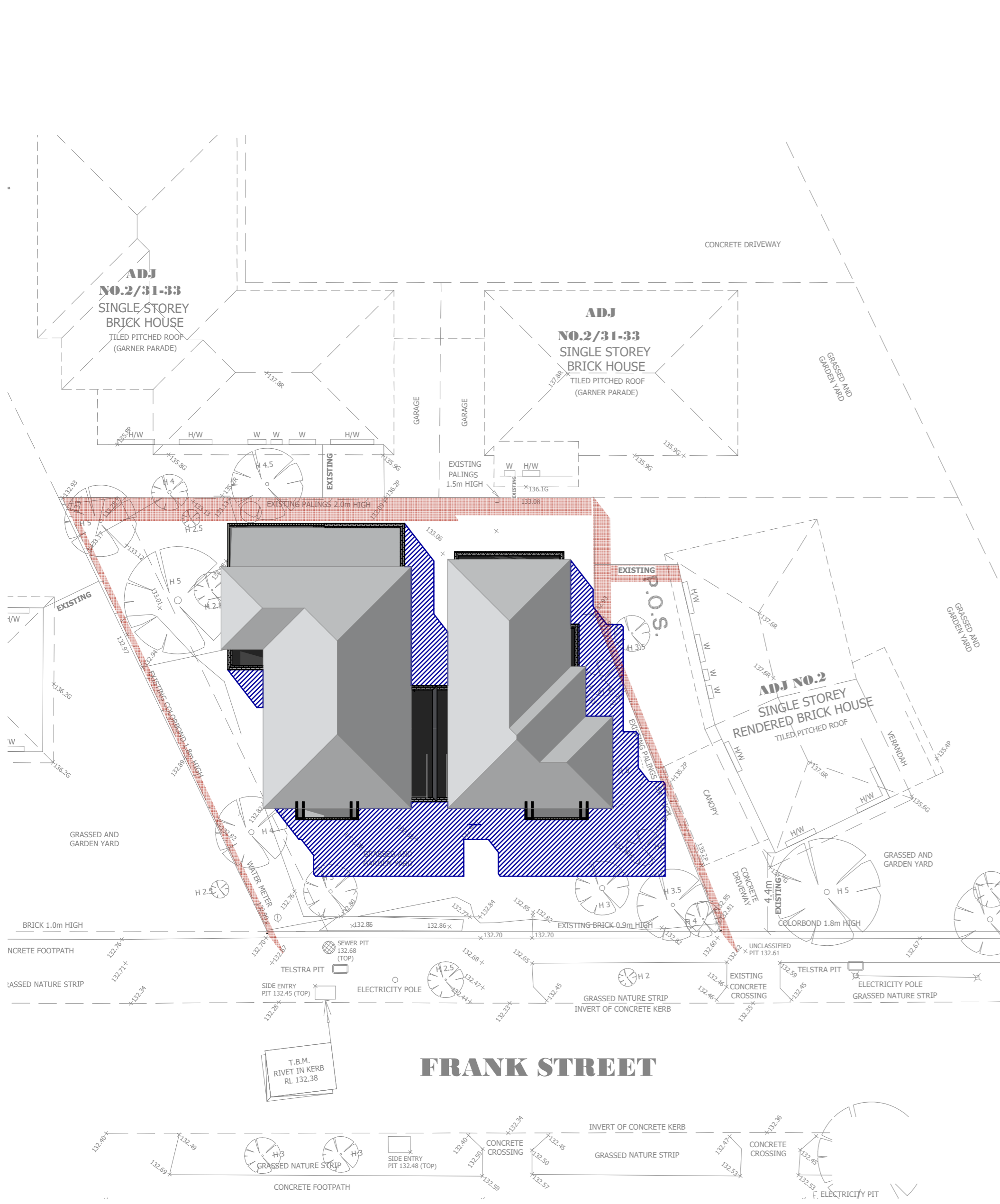
**FRANK STREET**

**SUN SHADE DIAGRAM**  
**SEMPTEMBER 22- 12PM**

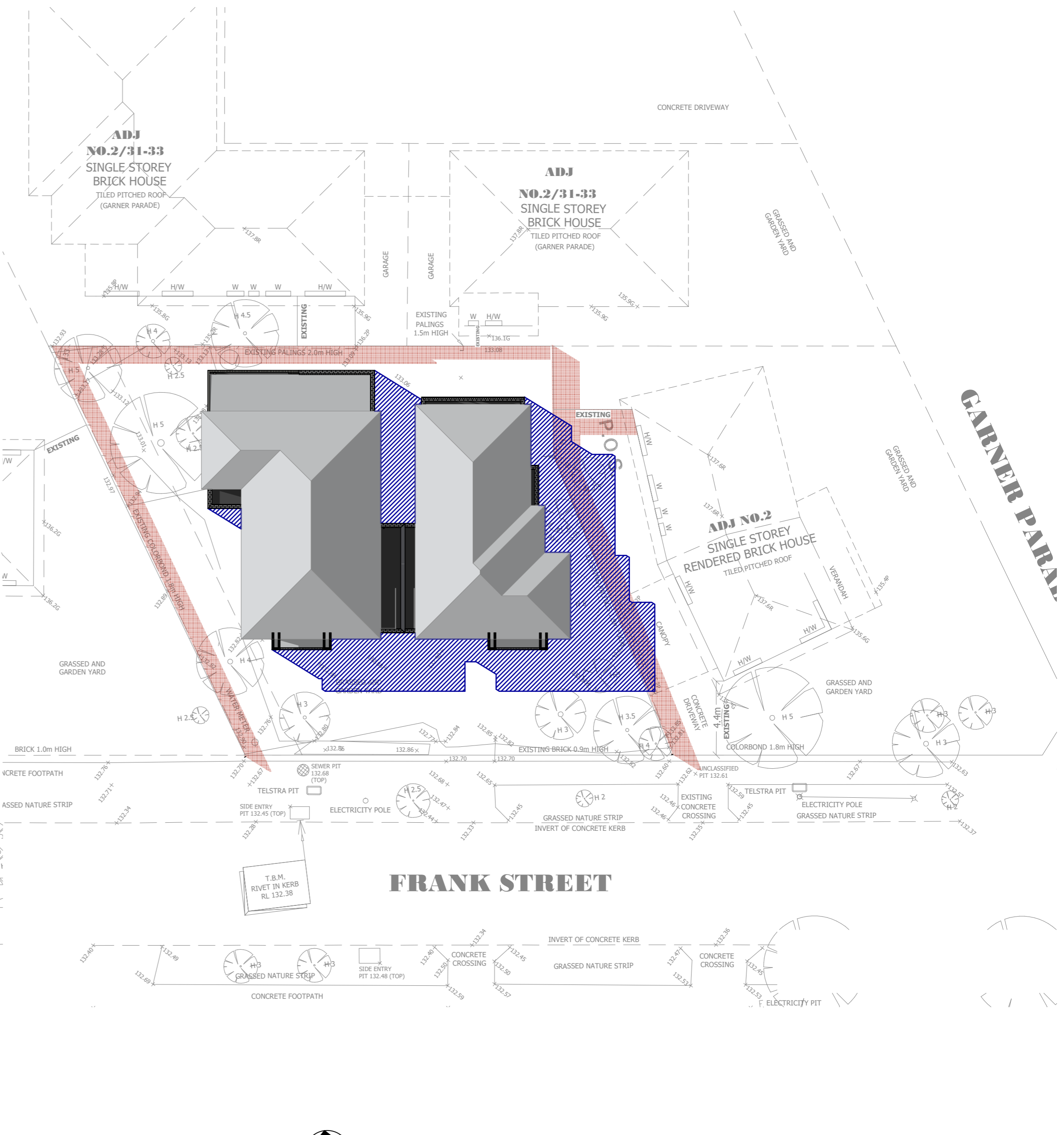
SCALE 1:200  
 EXISTING FENCE SHADOW  
 PROPOSED DWELLING SHADOW



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	4 Frank St, Dallas			JOB NO: 381
				SCALE: AS NOTED
				DRAW: [Name]
				DATE: 06.08.2024
				DRAWING NO: 07



**FRANK STREET**



**FRANK STREET**



**SUN SHADE DIAGRAM  
SEPTEMBER 22- 1PM**

SCALE 1:200

- EXISTING FENCE SHADOW
- PROPOSED DWELLING SHADOW



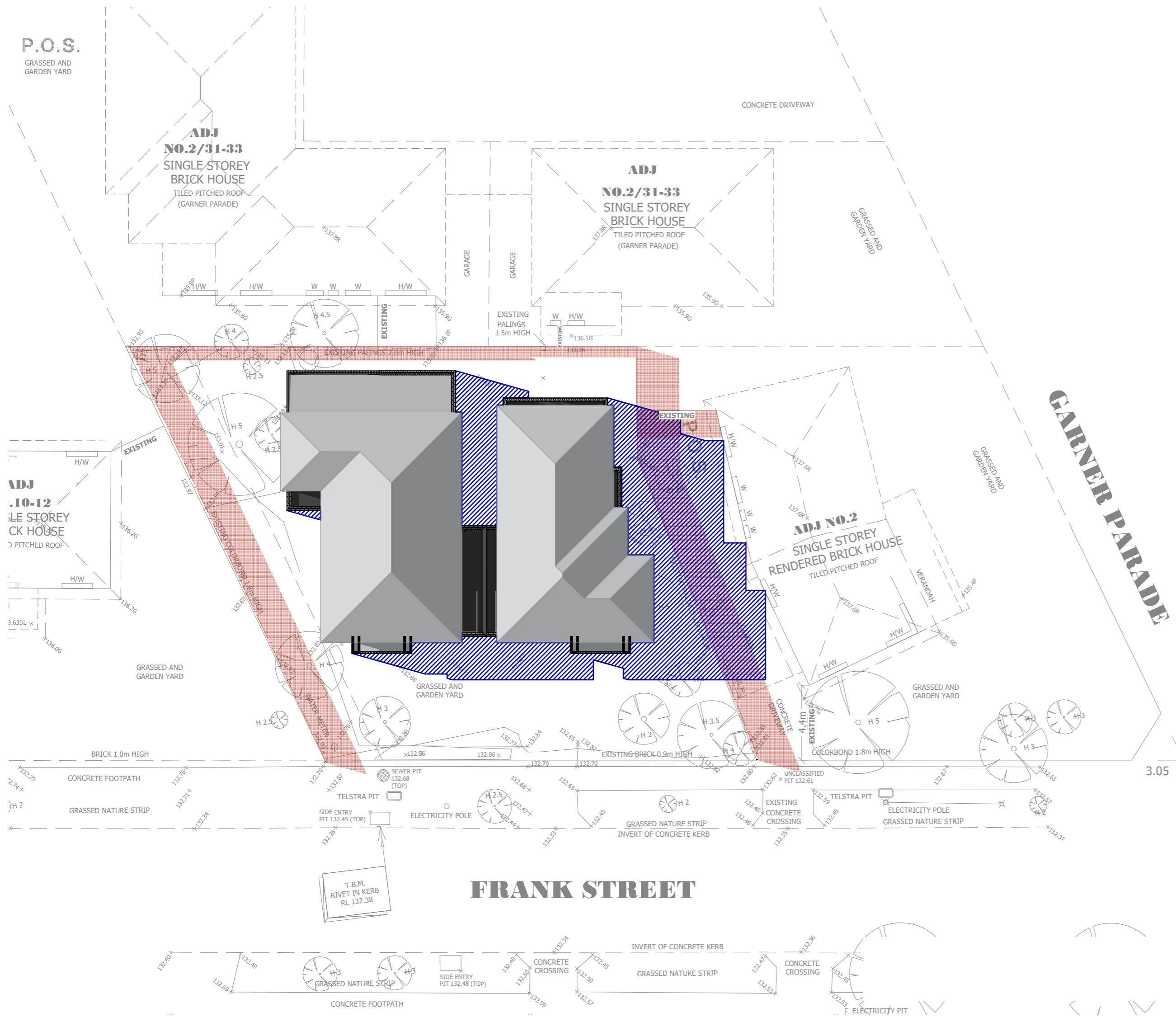
**SUN SHADE DIAGRAM  
SEPTEMBER 22- 2PM**

SCALE 1:200

- EXISTING FENCE SHADOW
- PROPOSED DWELLING SHADOW



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				JOB NO: 381
				SCALE: AS NOTED
				DRAW: [blank]
				DATE: 06.08.2024
				DRAWING NO: 08



**SUN SHADE DIAGRAM**  
**SEPTEMBER 22- 3PM**

SCALE 1:200

- EXISTING FENCE SHADOW
- PROPOSED DWELLING SHADOW



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				<b>SCALE:</b>	AS NOTED
				<b>DRAW:</b>	
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DWELLING 1		AREA ANALYSIS	
AREA:	m <sup>2</sup> sq.	SITE AREA:	646.67m <sup>2</sup>
ground floor:	102.84 11.06	BUILT UP AREA:	259.46m <sup>2</sup>
garage:	29.3 3.15	SITE COVERAGE:	40.12%
porch:	2.6 0.28	PERMEABLE AREA:	59.17M2(318.63M2)
patio:	15 1.61	GARDEN AREA 30% OF SITE AREA =194m <sup>2</sup>	
upper floor:	87 9.36	PROPOSED GARDEN AREA=(321.31m <sup>2</sup> )	
balcony:	11.46 1.23		
TOTAL:	248.2 26.71	TOTAL:	454.7m <sup>2</sup> 48.94sq

**STORM RATING NOTES**

**Proposed UNIT 1**  
The rainwater from Unit 1 roof area of 146.62m<sup>2</sup> is to be collected and discharged via a gravity fed system into a 4500L capacity rainwater tank which is to be connected to ALL toilets for toilet flushing.  
Area not to be treated is 11.96m<sup>2</sup>.

**Proposed UNIT 2**  
The rainwater from Unit 2 roof area of 112.56m<sup>2</sup> is to be collected and discharged via a gravity fed system into a 4000L capacity rainwater tank which is to be connected to ALL toilets for toilet flushing.  
Area not to be treated is 8.75m<sup>2</sup>.

**P.O.S.**  
GRASSED AND GARDEN YARD

**P.O.S.**  
GRASSED AND GARDEN YARD

**ADJ**  
**NO.2/31-33**  
SINGLE STOREY BRICK HOUSE  
TILED PITCHED ROOF  
(GARNER PARADE)

**ADJ**  
**NO.2/31-33**  
SINGLE STOREY BRICK HOUSE  
TILED PITCHED ROOF  
(GARNER PARADE)

**ADJ**  
**NO.10-12**  
SINGLE STOREY BRICK HOUSE  
TILED PITCHED ROOF

**ADJ NO.2**  
SINGLE STOREY RENDERED BRICK HOUSE  
TILED PITCHED ROOF

**GARNER PARADE**

**LEGEND**

- TREE TO BE REMOVED

**VISIBILITY SPLAY**

**LEGEND**

- LB LETTER BOX
- HWS HOT WATER SERVICE
- MB METER BOX
- RB RUBISH BIN
- REB RECYCLE BIN
- HAB HABITAT WINDOW
- NHW NON HABITAT WINDOW
- GM GAS METER
- CL CLOTHES LINE
- RWT RAIN WATER TANK
- AH AIRCONDITION / HEATING UNIT
- SP SOLAR PANELS
- SL SKY LIGHT

**NOTE:**  
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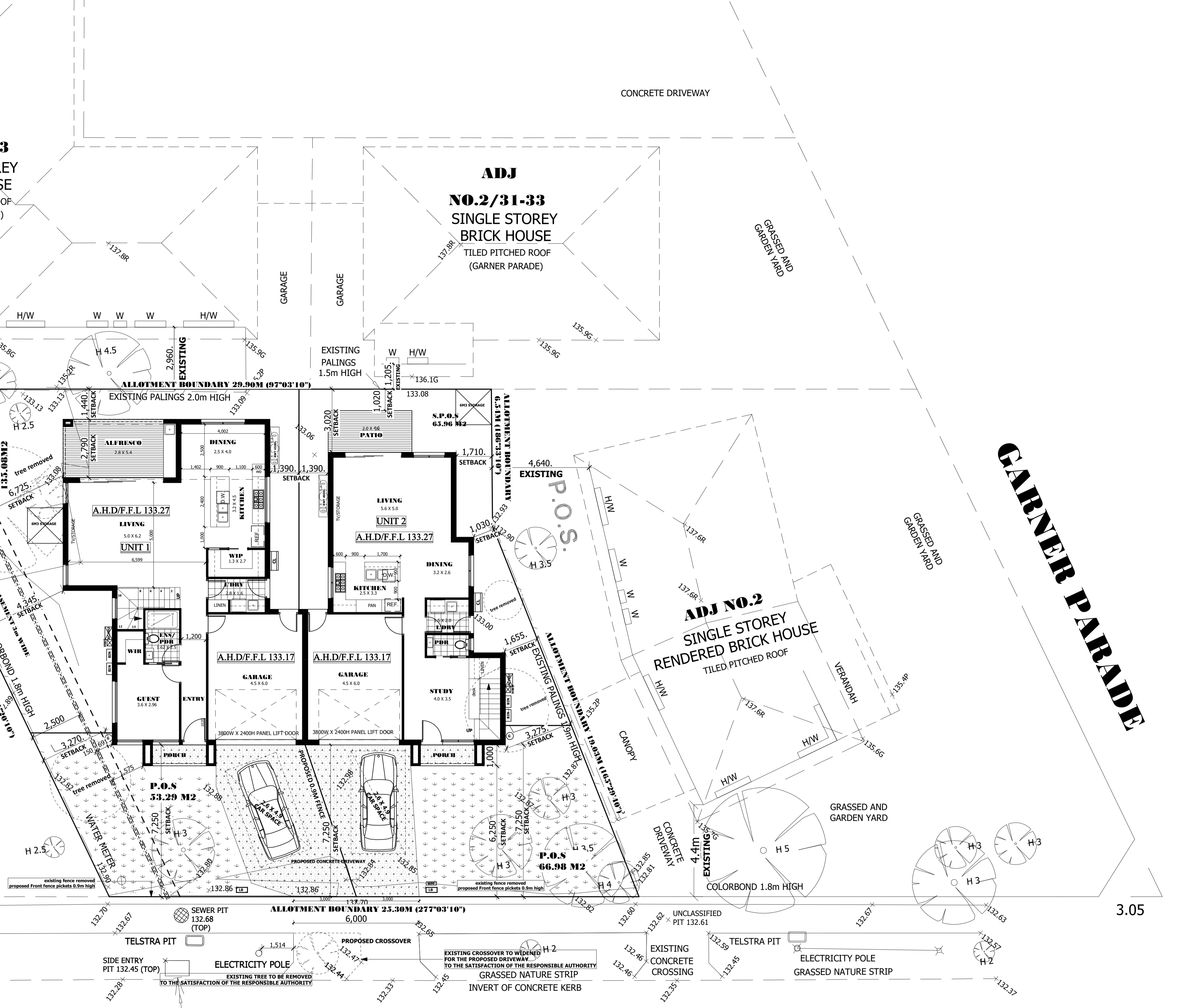
**SITE LAYOUT / GROUND FLOOR PLAN**

SCALE 1:100

**TPZ NOTE**  
Before the development starts, a tree protection barrier/fence must be installed around the Olea europaea (Common Olive) tree (tree 2) and remain in place until works on site are carried out and completed (including the construction of any new crossover).

-The fencing is to be a 1.4-metre-high temporary fence constructed using steel posts and parawebbing.

-The tree protection distance from trunk for tree 2 is 2 meters.



**FRANK STREET**

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1	25.04.2024	381	

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Muharem Ortas  
**PROPHETOR**  
AT ARCD DESIGN PTY LTD  
E: info@arcarchitecturedesign.com  
T: 9499 1212

**DRAWING NO: 02**

DWELLING 1		AREA ANALYSIS	
AREA:	m <sup>2</sup> sq.	SITE AREA:	646.67m <sup>2</sup>
ground floor:	102.84 11.06	BUILT UP AREA:	259.46m <sup>2</sup>
garage:	29.3 3.15	SITE COVERAGE:	40.12%
porch:	2.6 0.28	PERMEABLE AREA:	59.17M2(318.63M2)
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balcony:	11.46 1.23		
TOTAL:	248.2 26.71	TOTAL:	454.7m <sup>2</sup> 48.94sq

**STORM RATING NOTES**

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The rainwater from Unit 1 roof area of 146.62m<sup>2</sup> is to be collected and discharged via a gravity fed system into a 4500L capacity rainwater tank which is to be connected to ALL toilets for toilet flushing.  
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**P.O.S.**  
GRASSED AND GARDEN YARD

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**ADJ**  
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**NO.2/31-33**  
SINGLE STOREY BRICK HOUSE  
TILED PITCHED ROOF  
(GARNER PARADE)

**ADJ**  
**NO.10-12**  
SINGLE STOREY BRICK HOUSE  
TILED PITCHED ROOF

**ADJ NO.2**  
SINGLE STOREY RENDERED BRICK HOUSE  
TILED PITCHED ROOF

**GARNER PARADE**

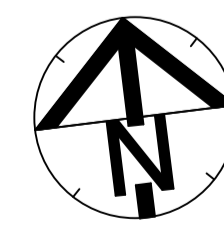
**LEGEND**

- TREE TO BE REMOVED

**VISIBILITY SPLAY**

**LEGEND**

- LB LETTER BOX
- HWS HOT WATER SERVICE
- MB METER BOX
- RB RUBISH BIN
- REB RECYCLE BIN
- HAB HABITUAL WINDOW
- NHAB NON HABITUAL WINDOW
- GM GAS METER
- CL CLOTHES LINE
- RWT RAIN WATER TANK
- AH AIR CONDITION / HEATING UNIT
- SP SOLAR PANELS
- SL SKY LIGHT



**SITE LAYOUT / GROUND FLOOR PLAN**

SCALE 1:100

**TPZ NOTE**  
Before the development starts, a tree protection barrier/fence must be installed around the Olea europaea (Common Olive) tree (tree 2) and remain in place until works on site are carried out and completed (including the construction of any new crossover).  
-The fencing is to be a 1.4-metre-high temporary fence constructed using steel posts and parawebbing.  
-The tree protection distance from trunk for tree 2 is 2 meters.

T.B.M.  
RIVET IN KERB  
RL 132.38

**FRANK STREET**

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REVISIONS	DATE	SHEET SIZE	A2
SUBMISSION DATE	25.04.2024	JOB NO:	381
		SCALE:	AS NOTED
		DATE:	06.08.2024
		DRAWING NO:	03

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E: info@atarchitecturedesign.com  
T: 9499 1212

**SPECIFICATIONS**

**SUBGRADE PREPARATION**  
 SITE PREPARATION TO BE CARRIED OUT IN ACCORDANCE WITH BEST HORTICULTURAL PRACTICE AND UNDER SUITABLE CONDITIONS. DISTURBANCE TO INDIGENOUS SOIL STRUCTURE IS TO BE MINIMISED. THE USE OF MACHINERY THAT MAY DAMAGE SOIL STRUCTURE OR PROFILE IS NOT ACCEPTABLE. SUB-GRADE TO ALL LAWN AND PLANTED AREAS IS TO BE CULTIVATED TO A MINIMUM DEPTH OF 150MM AND SHAPED TO ACHIEVE DRAINAGE FALLS PRIOR TO TOPSOILING. SUBGRADE TO BE TESTED PRIOR TO PREPARATION AND CONDITIONING TO DETERMINE PH, SALINITY AND GYPSUM REQUIREMENT. ANY GYPSUM REQUIRED IS TO BE DISTRIBUTED AT THE MANUFACTURERS RECOMMENDED RATE AND CULTIVATED INTO THE SUB-GRADE AT A MINIMUM DEPTH OF 150MM. PROPOSED TOPPING AREAS TO BE GRADED / DRAINED TO PREVENT WATER DISCHARGE INTO NEIGHBOURING PROPERTIES

**WEED CONTROL**  
 REMOVE AND DISPOSE OF ENVIRONMENTAL WEEDS OFF SITE PRIOR TO SUBGRADE PREPARATION, TOPSOILING AND PLANTING WORKS.

**SOIL PREPARATION**  
 TOPSOIL IS TO BE SPREAD IN MAXIMUM 150MM LAYERS, LIGHTLY COMPACTED BY USE OF A 150 - 200KG ROLLER, OR BY THOROUGHLY WALKING UNTIL IT ACCORDS WITH FINISHED KERB LEVELS OR TO WITHIN 75MM BELOW EDGING LEVELS TO ACCOMMODATE MULCH. IMPORTED TOPSOIL FOR GARDEN BEDS IS TO BE MEDIUM TEXTURE GENERAL PURPOSE GARDEN SOIL AND LIGHTLY COMPACTED TO MINIMUM 300MM DEPTH TO GARDEN BEDS. SOIL IS TO COMPLY WITH S.A.A. 2223-1978, AND AS FOLLOWS:  
 - FREE FROM PERENNIAL WEEDS AND THEIR ROOTS, BULBS AND RHIZOMES  
 - FREE FROM BUILDING RUBBLE AND ANY OTHER MATTER DELETERIOUS TO PLANT GROWTH  
 - PH TO BE 6.0 - 7.0  
 - TEXTURE TO BE LIGHT TO MEDIUM FRIABLE LOAM  
 - FREE FROM SILT MATERIAL  
 IMPORTED TOPSOIL FOR LAWN REJUVENATION / ESTABLISHMENT SHALL HAVE THE ABOVE CHARACTERISTICS, BUT SHALL BE A FREE DRAINING SANDY LOAM LIGHTLY COMPACTED TO MINIMUM 100MM DEPTH

**MULCH**  
 THE SPECIFIED MULCH FOR GARDEN BEDS IS TO BE AN AGED ORGANIC MATERIAL WITH 60 - 80 PERCENT OF ITS VOLUME BEING WOOD CHIPS PARTICLES IN A SIZE RANGE OF 25 - 50 MM MAXIMUM. MULCH IS TO BE SPREAD AT A CONSOLIDATED DEPTH OF 75MM

**PLANTING PROCEDURE**  
 IF SOIL TO PLANTING HOLE IS DRY - FILL WITH WATER AND ALLOW TO DRAIN COMPLETELY. TREE ROOTS ARE TO BE TEASED OUTWARDS IF MAILED OR CIRCLING OCCURS PRIOR TO BACKFILLING. PLACE TREE IN CENTRE OF HOLE ON FIRM SOIL TO PREVENT SINKING, ENSURING TOP OF THE ROOTBALL IS FLUSH WITH THE SURROUNDING SOIL SURFACE AND THE TRUNK IS VERTICAL. BACKFILL MATERIAL IS TO BE IN A LOOSE, FRIABLE STATE, WITH NO BRICKS, ROCKS OR FOREIGN MATERIAL - IF SUFFICIENT MATERIAL IS NOT AVAILABLE FORM THE ORIGINAL HOLE TO BACKFILL, A SIMILAR SOIL TYPE MUST BE SOURCED AND USED. SOIL MATERIAL MUST BE FIRMLY BACKFILLED IN LAYERS TO PREVENT LARGE AIR POCKETS FROM OCCURRING. THEN THOROUGHLY WATERED IN. TREES TO BE STAKED WITH TWO 2250MM X 70MM HARDWOOD STAKES DRIVEN FIRMLY INTO THE GROUND - STAKES MUST NOT BE PLACED THROUGH THE ROOTBALL AREA. TREES ARE TO BE SECURED TO EACH STAKE WITH A STRONG, SOFT AND FLEXIBLE MATERIAL, TIGHT ENOUGH TO SUPPORT THE TREE IN WINDY CONDITIONS - YET LOOSE ENOUGH TO STIMULATE DEVELOPMENT OF A GOOD SUPPORTIVE ROOT SYSTEM. TREE THE MATERIAL MUST NOT INJURE TREE BARK OR RESTRICT TRUNK GROWTH FOR A MINIMUM PERIOD OF THREE YEARS. SLOW RELEASE FERTILISER ( 3/6 MONTH FORMULATION) SUCH AS 'OSMOCOTE' IS TO BE APPLIED TO THE TOP OF THE ROOTBALL AREA AWAY FROM THE TRUNK / STEM TO MANUFACTURERS SPECIFICATIONS AND WATERED IN IMMEDIATELY. ALL TREES TO BE MULCHED TO A DIAMETER OF 1200MM WIDE AND TO A DEPTH OF 100MM BUT MUST NOT BE IN CONTACT WITH THE TREE TRUNK. MULCH IS TO BE AN AGED ORGANIC MATERIAL WITH 60 - 80 PERCENT OF ITS VOLUME BEING WOOD CHIP PARTICLES IN A SIZE RANGE OF 25 - 50MM MAXIMUM. MULCH IS TO BE SPREAD AT A CONSOLIDATED DEPTH OF 75MM. THE PLANTING HOLE SURFACE IS TO BE SHAPED TO MINIMISE WATERLOGGING/EXCESSIVE WATER RETENTION BUT RETAIN THE MULCH MATERIAL NEATLY. THE SITE MUST BE LEFT IN A CLEAN AND SAFE CONDITION.

**PLANT ESTABLISHMENT PERIOD**  
 THE LANDSCAPE IS TO BE MAINTAINED BY APPLYING BEST HORTICULTURAL PRACTICE TO PROMOTE HEALTHY PLANT PERFORMANCE FOR A 13 WEEK ESTABLISHMENT PERIOD FOLLOWING THE APPROVAL OF PRACTICAL COMPLETION BY THE RESPONSIBLE AUTHORITY INCLUDING (BUT NOT LIMITED TO) THE FOLLOWING TASKS - PRUNING AS NECESSARY TO MAINTAIN PLANTS IN A HEALTHY AND STRUCTURALLY SOUND MANNER, PEST AND DISEASES - VEGETATION TO BE PEST AND DISEASE FREE. MULCHING, STAKING AND TYING - 75MM MULCH DEPTH TO BE MAINTAINED AROUND TREE BASES THROUGHOUT MAINTENANCE PERIOD, WATERING - AS OFTEN AS NECESSARY TO ENSURE HEALTHY AND VIGOROUS GROWTH IN ACCORDANCE WITH CURRENT LOCAL WATERING REGULATIONS, WEEDING - MAINTAINED IN A WEED FREE STATE OVER THE ENTIRE MULCH AREA BY SPRAYING OR MECHANICAL MEAN, FERTILISING - 3/6 X MONTHLY SLOW RELEASE FERTILISER IN ACCORDANCE WITH MANUFACTURERS RECOMMENDED APPLICATION RATES, REPLACEMENT OF DECEASED, STOLEN OR VANDALISED PLANTS BEYOND REPAIR OR REGROWTH WITH THE SAME SPECIES AS SPECIFIED IN THE PLANT SCHEDULE WITHIN THE ASSIGNED MAINTENANCE PERIOD

**IRRIGATION**  
 AN IN-GROUND AUTOMATIC DRIP IRRIGATION SYSTEM TO BE INSTALLED TO ALL GARDEN AREAS AND PLANTER BOXES ( IF APPLICABLE ) IN ACCORDANCE WITH CURRENT LOCAL WATERING REGULATIONS

**TIMBER EDGING**  
 TIMBER EDGING TO BE 75MM X 25MM TREATED PINE SECURED TO 300MM LONG TREATED PINE STAKES AT NOM. MIN 1000MM SPACINGS WITH GALVANISED SCREWS AND INSTALLED TO ALL JUNCTIONS BETWEEN GARDEN BEDS, LAWN AND TOPPING / PEBBLE AREAS

**DRAINAGE**  
 LANDSCAPE AND / OR BUILDING CONTRACTOR(S) ARE RESPONSIBLE FOR CIVIL AND HYDRAULIC COMPUTATIONS FOR LANDSCAPE BUILDING WORKS INCLUDING, BUT NOT LIMITED TO SURFACE AND SUB SURFACE DRAINAGE FOR ALL LANDSCAPE AREAS PRIOR TO COMMENCEMENT OF WORKS

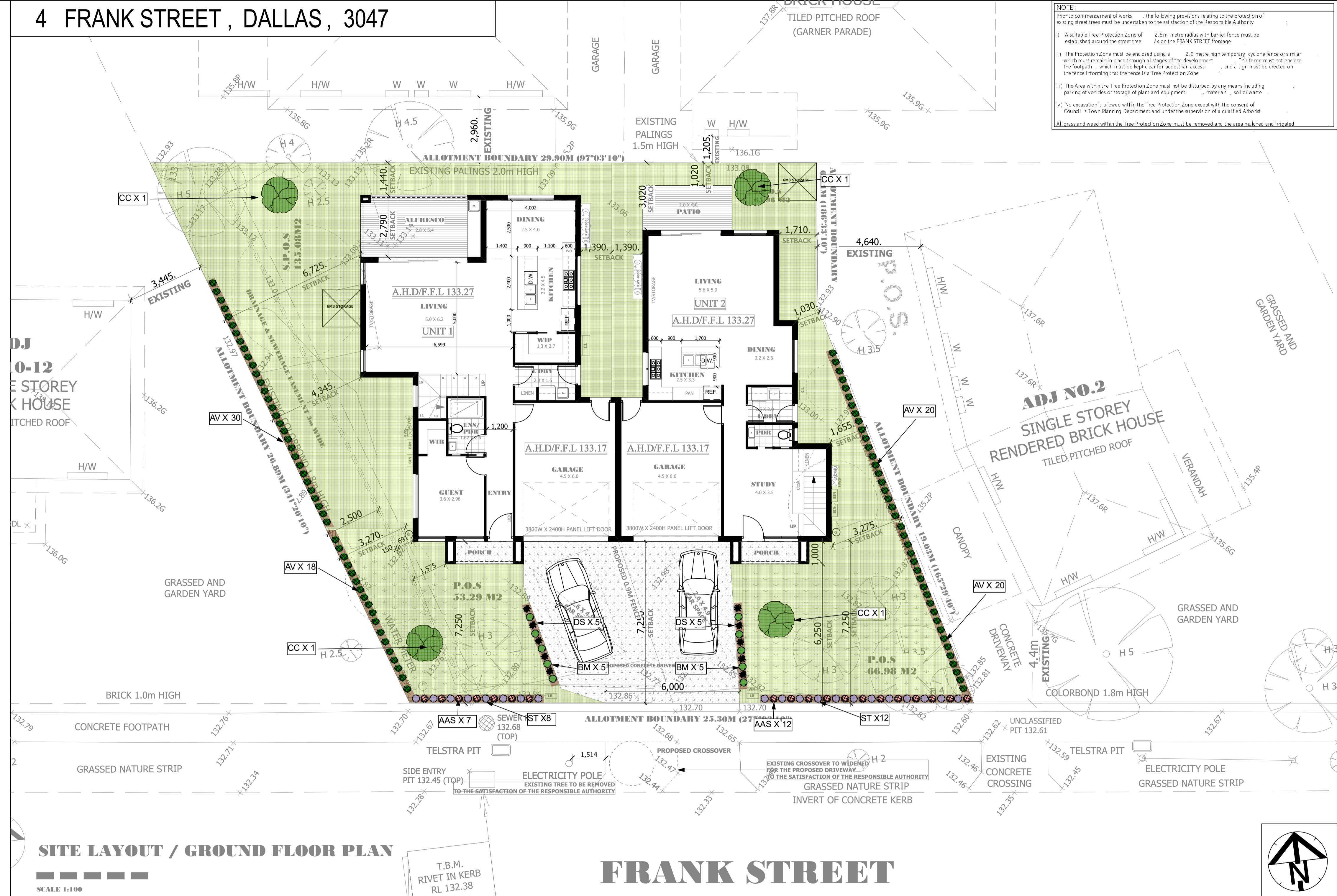
**GENERAL**  
 WHILE CARE HAS BEEN TAKEN TO SELECT TREE SPECIES WITH NON-INVASIVE ROOT SYSTEMS IT IS RECOMMENDED THAT ROOT CONTROL BARRIERS BE INSTALLED FOR ANY TREES LOCATED WITHIN TWO METRES OF ANY BUILDING LINES. CLIMBING PLANTS ( IF APPLICABLE ) ARE TO BE TRAINED TO SUPPORTIVE MESH, WIRE OR LATTICE FIXED OVER ENTIRE FENCE SECTION FROM BASE TO TOP  
 DO NOT SCALE FROM PLAN - CONTRACTOR TO VERIFY ALL DIMENSIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION

**PLANTS - QUALITY OF TREES AND SHRUBS**  
 TREES AND SHRUBS SHALL BE HEALTHY NURSERY STOCK FREE FROM INSECTS, DISEASES AND WEEDS. THE SPECIFIED PLANT HEIGHTS, AND POT SIZES ARE MINIMUMS. IF PLANT MATERIAL IS UNAVAILABLE IN THESE SIZES, LARGER STOCK MUST BE USED. PLANT SUBSTITUTION IS NOT ACCEPTABLE UNLESS CONFIRMED BY THE RESPONSIBLE AUTHORITY IN WRITING. THE CONTRACTOR IS TO SUPPLY AND INSTALL SEMI MATURE TREES WHICH MEET THE FOLLOWING CRITERIA: HAVE A MINIMUM PLANTED HEIGHT TO SIZES AS INDICATED IN THE PLANT SCHEDULE, HAVE A MINIMUM TRUNK CALLIPER OF 50MM AT GROUND LEVEL, BE UNDAMAGED AND FREE OF DISEASES AND INSECT PESTS, NOT BE ROOT BOUND OR HAVE CIRCLING OR GIRDLING ROOTS BUT HAVE ROOTS GROWN TO THE EDGE OF - THE CONTAINER, SHOULD BEAR A SINGLE STRAIGHT TRUNK, STRONG BRANCHING PATTERN, AND FULL CANOPY, SHOW HEALTHY, VIGOROUS GROWTH

**PROTECTION OF EXISTING TREES**  
 ALL EXISTING VEGETATION SHOWN ON THE ENDORSED PLAN ( SUBJECT SITE AND NEIGHBOURING PROPERTIES ) TO BE RETAINED MUST BE SUITABLY MARKED BEFORE ANY DEVELOPMENT ( INCLUDING DEMOLITION ) COMMENCES ON THE LAND AND THAT VEGETATION MUST NOT BE REMOVED, DESTROYED OR LOPPED WITHOUT THE WRITTEN CONSENT OF THE RESPONSIBLE AUTHORITY. BEFORE THE COMMENCEMENT OF WORKS ( INCLUDING DEMOLITION ) START, TREE PROTECTION BARRIERS MUST BE ERECTED AROUND TREES ( SUBJECT SITE AND NEIGHBOURING PROPERTIES ) TO FORM A DEFINED TREE PROTECTION ZONE DURING DEMOLITION AND CONSTRUCTION IN ACCORDANCE WITH TREE PROTECTION MEASURES AS PER AS 4970-2009 ( TREE PROTECTION IN DEVELOPMENT SITES ). ANY PRUNING THAT IS REQUIRED MUST BE CARRIED OUT BY A TRAINED AND COMPETENT ARBORIST WITH A THOROUGH KNOWLEDGE OF TREE PHYSIOLOGY AND PRUNING METHODS TO CARRY OUT PRUNING TO THE AUSTRALIAN STANDARD - AS 4373-2007 ( PRUNING OF AMENITY TREES ). ALL TREE PROTECTION PRACTICES MUST BE IN ACCORDANCE WITH A CONSULTING ARBORIST AND / OR TO THE SATISFACTION OF THE RESPONSIBLE AUTHORITY

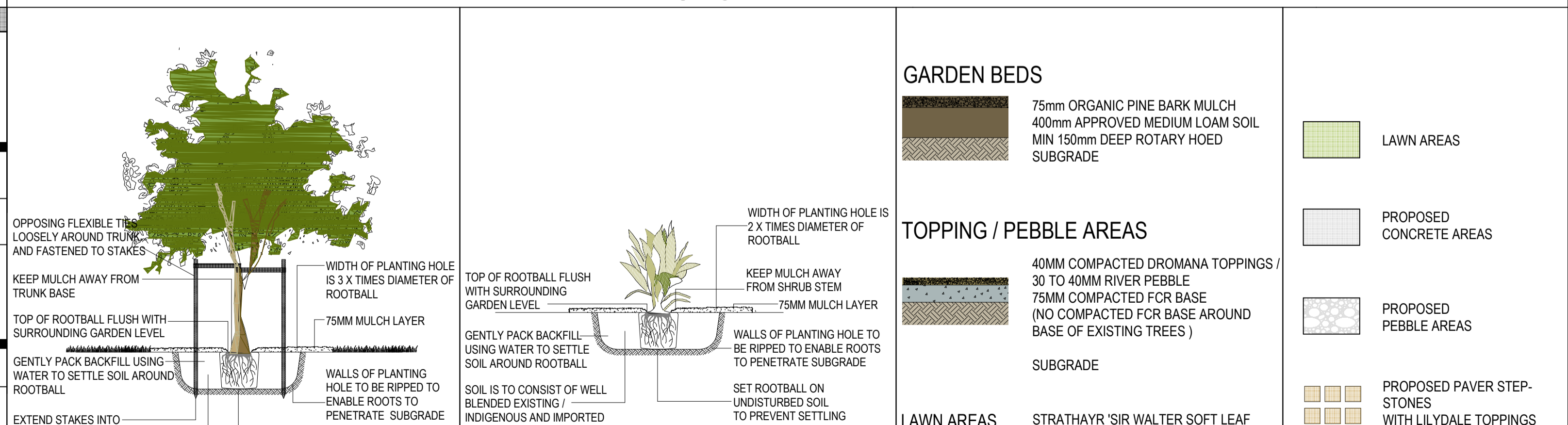
Any structure or landscaping within visibility splays of driveway (2.0m along front boundary & 2.5m into property) must be no greater than 900mm in height.

**4 FRANK STREET, DALLAS, 3047**



**PLANT SCHEDULE**

CODE	BOTANICAL NAME	COMMON NAME	HEIGHT & WIDTH	POT SIZE	QTY
CC	Callitris columellaris	Bribie Island Pine	10.0m X 2.0m	2.0M @ THE TIME OF PLANTING	4
BM	Banksia marginata	Silver Banksia	3.0m X 2.0m	20CM POT	10
AV	Agonix fl exuosa Variegata	Willow Myrtle	3.0m X 2.0m	50CM IN HEIGHT @ THE TIME OF PLANTING	88
DS	Dodonea viscosa subsp spatulata	Wedge-leaf Hop Bush	2.5m X 2.5m	50CM IN HEIGHT @ THE TIME OF PLANTING	10
ST	Dwarf Lilly Pilly	Syzygium 'Tiny Trev'	0.8m X 0.8m	14CM POT	20
AAS	Atriplex Semibaccata	Australina Saltbush	0.25m X 1.0m	14CM POT	19



PROJECT ADDRESS: 4 FRANK STREET, DALLAS, 3047  
 DATE: 26/04/2024  
 SHEET SIZE: A1  
 SCALE: 1:100  
 REV. 1

**A T Arc Design**  
 office 81 International Driv Westmeadows VIC 3049.  
 M. 03 9499 1212 E tzay@atarcdesign.com

**GARDEN BEDS**  
 75mm ORGANIC PINE BARK MULCH  
 400mm APPROVED MEDIUM LOAM SOIL  
 MIN 150mm DEEP ROTARY HOED SUBGRADE

**TOPPING / PEBBLE AREAS**  
 40MM COMPACTED DROMANA TOPPING / 30 TO 40MM RIVER PEBBLE  
 75MM COMPACTED FCR BASE (NO COMPACTED FCR BASE AROUND BASE OF EXISTING TREES)  
 SUBGRADE

**LAWN AREAS**  
 STRATHAYR 'SIR WALTER SOFT LEAF' TURF OR SIMILAR  
 75MM COMPACTED MEDIUM LOAM SOIL  
 MIN 150MM DEEP ROTARY HOED SUBGRADE

**PROPOSED PAVEMENTS**  
 PROPOSED PAVEMENT WITH LILLYDALE TOPPING

**VISIBILITY SPY**

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A T Architecture & Design

Office 8/1 International Dr  
West Meadows VIC 3049

## SDA REPORT ASSESSMENT

4 Frank Street, Dallas

2 Townhouse Development

Municipality: Hume City Council

Planning Application Number:

Applicant: A T ARC Design Pty Ltd

Dated: 5 June 2024

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*SDA Summary*

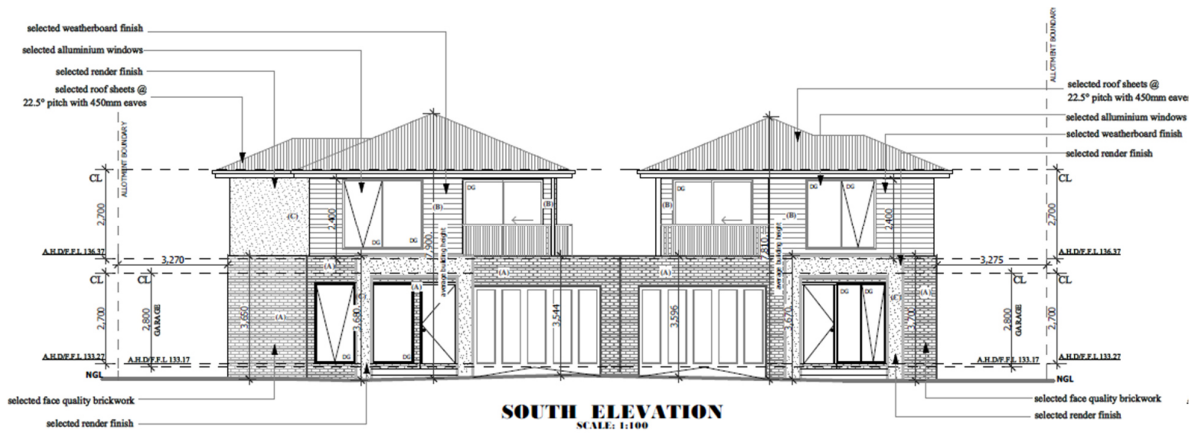
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This report identifies that the dwellings in this development achieve:

- NatHERS 6.0-star rating achieved as minimum requirement in accordance with The National Construction Code (NCC) Part 3.12. Refer HERO 3.0.1 extracts below & Summaries of Dwelling.
- The BESS assessment concludes that the proposed development achieves the minimum BESS score of 50%. See BESS Report attached
- The Melbourne Water storm calculator demonstrates the development meets the minimum 100% required water quality objective. Refer WSUD Plan attached

<b>Assessment Details:</b>	
<b>Documentation Details:</b>	
<b>Project:</b>	381
<b>Revision:</b>	
<b>Sheets:</b>	Town Planning Doc

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## Methodology

The purpose of this report is to assess the thermal performance of the new development located at **4 Frank Street, Dallas**. Energy rating software HERO 3.0.1 has been used to ascertain the heating and cooling loads (shown in  $\text{Mj/m}^2$ ) which ultimately determine a star rating.

HERO 3.0.1 is an accredited software package under The Nationwide Home Energy Rating Scheme (NatHERS) and is qualified to perform the rating as per the requirements of The National Construction Code (NCC) Part 3.12, using NatHERS accredited software to achieve the specified star rating and contribute to the *Alternative Performance Solution* as per NCC part 3.12.0 (a)(i).

The heating and cooling scores show how much heat energy must be added or removed to maintain comfortable conditions within the home. They are based on a standard set of occupancy conditions used for rating purposes only. They do not reflect actual energy consumption and are not to be used for calculating heating and cooling system requirements.

## Development Information

The proposed development involves the construction of **two double storey dwellings** (class 1). The project is Located at **4 Frank Street, Dallas**. Situated in a developed residential area and surrounded by existing homes and established vegetation, the development is in an area of *Suburban Exposure*, as per NatHERS tech note (category 3 wind-shielding).

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The aerial image below depicts the existing neighbouring buildings at the time of this rating, which along with the documentation, will be considered in the assessment as potential shading screens, as per NatHERS tech note (part 10.12).



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*Building Fabric: NCC- Part 3.12.1*

---

The basic building structural elements and components of a building including the roof, ceilings, walls and floors. These building elements are to be installed with a minimum of the added insulation values specified below:

- Refer to attached Detailed Summary of each unit

---

*External Glazing: NCC - Part 3.12.2*

---

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The following performance values need to be achieved for each window system, as specified on plans.

- Refer to attached Detailed Summary of each unit

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### *Building Sealing: NCC - Part 3.12.3*

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Building sealing procedures are to be as following:

- Mitigation of air leakage is paramount and must be considered in construction of all building elements. Unnoticed air leakage, drafts caused by poorly sealed external openings and construction gaps can affect the building occupants' sense of comfort, causing them to increase the use of artificial heating and cooling.
- All roofs, walls, floors etc are to be constructed in a manner that will minimise air leakage and all external doors and windows are to be adequately sealed by foam or rubber materials to prevent any air infiltration,
- Exhaust fans, Rangehoods must have an inbuilt draught seal or dampers, which must be self-close when the fan is not in operation. A chimney or flue serving an open solid fuel burning appliance is required to have a damper or flap fitted that can be closed (may be operated by the occupants)
- External door seals - for an effective seal, compression seals or bulb seals must be fitted to the door jamb, at the head and sides. (refer to general notes and NCC 2019: Volume 2: Part 3.12.3 Building Sealing, for strategies that may be employed).
- Weather-strips can be factory fitted or installed on site.
- Recessed downlights - All internal recessed downlights to be sealed and **IC-4 Rated**. The IC or insulation contact rating, is a measure used to determine whether a recessed downlight is suitable to come in contact with building insulation. Consequently, there is no need to cut clearance around the downlights and therefore the insulation is not compromised.

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### *Air Movement: NCC - Part 3.12.4*

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Air movement has been assessed as part of HERO 3.0.1 assessment and has been taken into consideration as part of this star rating.

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### *Services: NCC - Part 3.12.5*

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No heating or cooling services have been considered as part of this HERO 3.0.1 assessment. It is assumed any mechanical ventilation systems requiring compliance to NCC will be addressed by the projects mechanical engineer.

Artificial lighting and power is to be limited throughout the building, a sufficient electrical design has been provided on plans and shows compliance to the NCC, table below indicating the required maximum wattages to be adhered to.

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All external perimeter lighting must be installed as per the following specifications;

(i) be controlled by—

- (A) a daylight sensor; or
- (B) a time switch that is capable of switching on and off electric power to the system at variable pre-programmed times and on variable pre-programmed days; and
- (C) have an average light source efficacy of not less than 60 Lumens/W; or
- (D) be controlled by a motion detector

Artificial lighting and power is to be limited throughout the unit townhouses, table below indicating the required maximum wattages to be adhered to.

Zones	Maximum W/m <sup>2</sup>
Residence (Class 1)	4.0W/m <sup>2</sup> (a 20% reduction from The NCC allowance)
Garage (Class 10)	2.4W/m <sup>2</sup> (a 20% reduction from The NCC allowance)
Outdoor zones	3.2W/m <sup>2</sup> (a 20% reduction from The NCC allowance)

---

### *NatHERS Assessment - Results*

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The following table represents the results of the NatHERS energy assessments completed for the dwellings using HERO 3.0.1 software. This report identifies that the dwelling achieves the minimum 6-star rating required in accordance with The National Construction Code (NCC) Part 3.

Dwelling	Star Rating	Heating MJ/m <sup>2</sup>	Cooling MJ/m <sup>2</sup>	Total Energy MJ/m <sup>2</sup>
U1	6.1 ☆	113.8	18.2	132.0
U2	6.1 ☆	116.9	16.4	133.3

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## NATHERS ENERGY REPORT

### ADDRESS

4 FRANK STREET,  
Dallas 3047

ABSTRKT SUSTAINABILITY

M: 0477 173 330

E: [Info@Abstrktsustainability.com](mailto:Info@Abstrktsustainability.com)

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## REPORT DETAILS

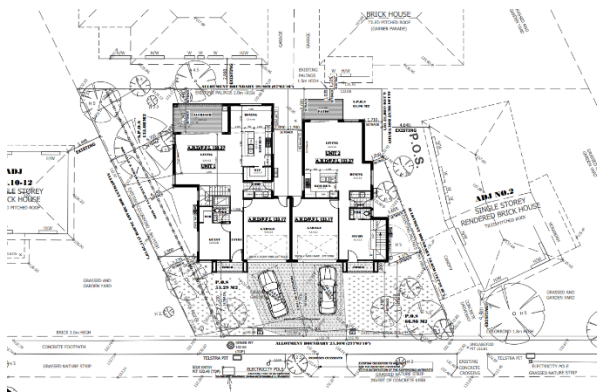
The purpose of this report is to assess the thermal performance of the development located at 4 Frank Street, Dallas. NatHERS Accredited Energy rating software has been used to ascertain the heating and cooling loads (shown in Mj/m<sup>2</sup>) which ultimately determine a star rating.

HERO is an accredited software package under The Nationwide Home Energy Rating Scheme (NatHERS) and is qualified to perform the rating as per the requirements of The National Construction Code (NCC) Part 3.12, using NatHERS accredited software to achieve the specified star rating and contribute to the Alternative Performance Solution as per NCC part 3.12.0 (a)(i).

The heating and cooling scores show how much heat energy must be added or removed to maintain comfortable conditions within the home. They are based on a standard set of occupancy conditions used for rating purposes only. They do not reflect actual energy consumption and should not be used for calculating heating and cooling system requirements.

## DEVELOPMENT INFORMATION

The proposed development involves the construction of two Double-Storey Class 1a dwellings to be located at 4 Frank Street, Dallas. Located in an established suburban area surrounded by Single-Storey dwellings to the north, east and west of the property and street access from the south. the development is in an area of Suburban Exposure, as per NatHERS tech note (category 3 wind-shielding).





### BUILDING FABRIC: NCC- Part 3.12.1

The roof, ceilings, walls and floors are the essential structural elements and parts of the building. These constructional components must be installed with at least the following additional insulation values:

- Refer to Building Fabric Specification Below

### EXTERNAL GLAZING: NCC - Part 3.12.2

As specified on plans, each window system must reach the following performance metrics:

- Refer to Building Fabric Specification Below

### BUILDING SEALING: NCC - Part 3.12.3

Building sealing procedures are to be as following:

- Air leakage mitigation is crucial and must be considered while constructing all building components. Building occupants' sense of comfort can be impacted by unnoticed air leakage, draughts from improperly sealed external openings, and construction gaps, which can lead to an increase in the need for artificial heating and cooling.
- All roofs, walls, floors etc must be built to avoid air leakage, and all external doors and windows must be adequately sealed with foam or rubber materials to stop air infiltration.
- Exhaust fans and Rangehoods should include draught seals or dampers that automatically close when the fan is not in use. It is necessary to install a damper or flap that can be closed in a chimney or flue that serves an open solid fuel burning appliance (which may be operated by the inhabitants)
- External door seals: To ensure a tight seal, compression seals or bulb seals should be installed at the head and sides of the door jamb. (Refer to general notes and NCC 2019: Volume 2: Part 3.12.3 Building sealing, for strategies that may be employed).
- Weather strips: can be factory fitted or installed on site.
- Recessed downlights: All internal recessed downlights to be sealed.

### AIR MOVEMENT: NCC - Part 3.12.4

- Air movement was evaluated as part of the NatHERS evaluation and was taken into account when determining the star rating.

### SERVICES: NCC - Part 3.12.5

No heating or cooling services have been considered as part of this NatHERS assessment. It is believed that the project's mechanical engineer will address any mechanical ventilation systems requiring compliance to NCC.

All throughout the building, artificial lighting and power must be kept to a minimum. A adequate electrical design has been shown on the plans and complies with the NCC.

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## RAINWATER TANKS AND SOLAR HOT WATER HEATER SYSTEMS

All new Class 1 buildings require:

- A rainwater tank (minimum capacity of 2000 litres) connected to all toilets in the building for the purpose of sanitary flushing;

Or

- A solar water heater system installed in accordance with the Plumbing Regulations 2008 (the Plumbing Regulations)

## Project Heating & Cooling Loads

	<b>STAR RATING ACHIEVED</b>	<b>CALCULATED HEATING</b>	<b>CALCULATED COOLING</b>	<b>TOTAL HEATING &amp; COOLING mj/m<sup>2</sup></b>
AVG	6.1 ☆	115.3	17.3	132.6
U1	6.1 ☆	113.8	18.2	132.0
U2	6.1 ☆	116.9	16.4	133.3

**TABLE MUST NOW BE COPIED ONTO PLANS PRIOR TO CERTIFICATION**  
**PLEASE REVIEW BEFORE COPYING**

Heating & Cooling Loads				
	STAR RATING ACHIEVED	CALCULATED HEATING	CALCULATED COOLING	TOTAL HEATING & COOLING mj/m <sup>2</sup>
<b>AVG</b>	6.1 ☆	115.3	17.3	132.6
<b>U1</b>	6.1 ☆	113.8	18.2	132.0
<b>U2</b>	6.1 ☆	116.9	16.4	133.3
BUILDING THERMAL PROPERTY DETAILS				
<b>Floor Type:</b>	MIN. INSULATION REQUIRED (Excl. Class 10a Areas)			
Waffle Pod:	R0.62 – 300mm Waffle Pod Insulation			U1, U2
Suspended Timber Floor:	R2.5 Bulk Insulation			U1, U2
<b>Wall Construction Type:</b>	MIN. INSULATION REQUIRED (Excl. Class 10a Areas)	Wall Wrap:		
External Walls:	R2.5 Bulk Insulation	Reflective (E=0.10)		U1, U2
Internal Walls:(Garage, PDR, Bath, L'DRY)	R2.5 Bulk Insulation	None		U1, U2
<b>Roof and/or Ceiling Type:</b>	MIN. INSULATION REQUIRED (Excl. Class 10a Areas)	Roof Foil/Sarking/Blanket:		
Ceiling under Pitched/Attic Roof:	R4.0 Bulk Insulation	Reflective Foil/Sarking R2.5 Blanket		U1, U2
Window Operability & I.D	Max U-Value, SHGC (+/- 5%), WERS Code & Window Details			
<b>Awning</b>	4.30 & 0.47   ALM-003-03A; Alum, DG Air Fill High Solar Gain low-E Clear			U1, U2
<b>Fixed &amp; Sliding Door</b>	4.30 & 0.53   ALM-004-03A; Alum, DG Air Fill High Solar Gain low-E Clear			U1, U2

ADDITIONAL DETAILS & CLAUSES
<ul style="list-style-type: none"> <li>• Downlights are sealed (If present)</li> <li>• Exhaust fans - sealed</li> <li>• Air infiltration seals to external residence and garage internal doors</li> <li>• Additional details – refer to NatHERS Certificate</li> </ul>

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# Nationwide House Energy Rating Scheme — Class 1 Summary

## NatHERS Certificate No. #

Generated on 04 Jun 2024 using Hero 4.0

### Property

**Address** 4 Frank Street, Dallas, VIC, 3047

**Lot/DP**

**NatHERS climate zone** 60 - Tullamarine

### Accredited assessor



Ertugrul Memili

Abstrkt sustainability

izzy@abstrktsustainability.com

+61 412221814

**Accreditation No.** 10230

**Assessor Accrediting Organisation** HERA



The rating above is the minimum of all dwellings in this summary.

### Verification

DRAFT PREVIEW ISSUE - NOT TO BE USED FOR CERTIFICATION

### Summary of all dwellings

Certificate number and link	Unit Number	Heating load (MJ/m <sup>2</sup> )	Cooling load (MJ/m <sup>2</sup> )	Total load (MJ/m <sup>2</sup> )	Star rating
	Unit 01	113.8 (126)	18.2 (31)	132.0	6.1
	Unit 02	116.9 (126)	16.4 (31)	133.3	6.1
Maximum Loads and Minimum Rating		116.9	18.2	133.3	6.1
Average	2x (Total)	115.3	17.3	132.6	6.1

### National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal break requirements, thermal mass requirements, and thermal mass limits. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at [www.abcb.gov.au](http://www.abcb.gov.au).

State and territory variations and additions to the NCC may also apply.

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## Explanatory Notes

### About this report

This summary rating is the ratings of all NCC Class 1 dwellings in a development. The individual dwellings' ratings are a comprehensive, dynamic computer modelling evaluation of a home, using the floorplans, elevations and specifications to estimate the energy load. It addresses the building layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings), but does not cover the water or energy use of appliances, or energy production of solar panels. For more details about an individual dwelling's assessment, refer to the individual dwelling's NatHERS Certificate (accessible via link).

### Accredited Assessors

To ensure the NatHERS Certificate is of a high quality, always use an accredited or licenced assessor. NatHERS accredited assessors are members of a professional body called an Assessor Accrediting Organisation (AAO). AAOs have specific quality assurance processes in place, and continuing professional development requirements, to maintain a high and consistent standard of assessments across the country.

Any questions or concerns about this report should be directed to the assessor in the first instance. If the assessor is unable to address these questions or concerns, the AAO specified on the front of this certificate should be contacted.

### Disclaimer

The format of the NatHERS Certificate was developed by the NatHERS Administrator. However the content, input and creation of the NatHERS Certificate is by the assessor. It is the responsibility of the assessor who prepared this certificate to use NatHERS accredited software correctly and follow the NatHERS Technical Notes to produce a NatHERS Certificate.

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# Nationwide House Energy Rating Scheme NatHERS Certificate No. #

Generated on 04 Jun 2024 using Hero 4.0 (Chenath v3.21)

## Property

**Address** Unit 01, 4 Frank Street, Dallas, VIC, 3047  
**Lot/DP**  
**NCC Class\*** 1a  
**Type** New

## Plans

**Main Plan** 381 - TP-A1- 03.06.24  
**Prepared by** A T ARCDESIGN

## Construction and environment

Assessed floor area (m <sup>2</sup> )*	Exposure Type
<b>Conditioned*</b> 157.2	Suburban
<b>Unconditioned*</b> 10.2	<b>NatHERS climate zone</b>
<b>Total</b> 194.4	60 - Tullamarine
<b>Garage</b> 27.0	



## Accredited assessor

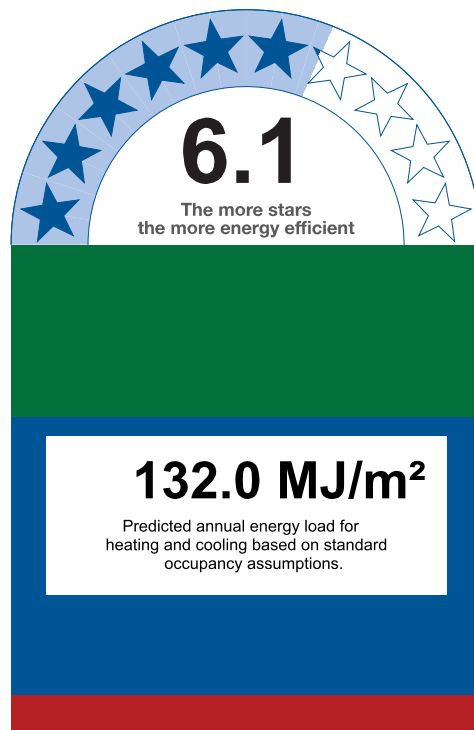
**Name** Ertugrul Memili  
**Business name** Abstrkt sustainability  
**Email** izzy@abstrktsustainability.com  
**Phone** +61 412221814  
**Accreditation No.** 10230  
**Assessor Accrediting Organisation** HERA  
**Declaration of interest** No Conflict of Interest

## National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at [www.abcb.gov.au](http://www.abcb.gov.au).

State and territory variations and additions to the NCC may also apply.



## Thermal Performance

Heating	Cooling
<b>113.8</b>	<b>18.2</b>
MJ/m <sup>2</sup>	MJ/m <sup>2</sup>

### About the rating

NatHERS software models the expected thermal energy loads using information about the design and construction, climate and common patterns of household use. The software does not take into account appliances, apart from the airflow impacts from ceiling fans.

## Verification

DRAFT PREVIEW ISSUE - NOT TO BE USED FOR CERTIFICATION

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\* Refer to glossary.

## Certificate Check

Ensure the dwelling is designed and then built as per the NatHERS Certificate. While you need to check the accuracy of the whole Certificate, the following spot check covers some important items impacting the dwelling’s rating.

### Genuine certificate

Does this Certificate match the one available at the web address or QR code in the verification box on the front page? Does the set of NatHERS-stamped plans for the dwelling have a Certificate number on the stamp that matches this Certificate?

### Ceiling penetrations\*

Does the ‘number’ and ‘type’ of ceiling penetrations (e.g. downlights, exhaust fans, etc) shown on the stamped plans or installed, match what is shown in this Certificate?

### Windows

Does the installed window meet the substitution tolerances (SHGC and U-value) and window type, of the window shown on this Certificate? Substituted values must be based on the Australian Fenestration Rating Council (AFRC) protocol.

### Apartment entrance doors

Does the ‘External Door Schedule’ show apartment entrance doors? Please note that an “external door” between the modelled dwelling and a shared space, such as an enclosed corridor or foyer, should not be included in the assessment (because it overstates the possible ventilation) and would invalidate the Certificate.

### Exposure\*

Has the appropriate exposure level (terrain) been applied? For example, it is unlikely that a ground-floor apartment is “exposed” or a top floor high-rise apartment is “protected”.

### Provisional\* values

Have provisional values been used in the assessment and, if so, noted in “additional notes” below?

## Window and glazed door type and performance

### Default\* windows

Window ID	Window Description	Maximum U-value*	SHGC*	SHGC substitution tolerance ranges	
				lower limit	upper limit
ALM-003-03 A	Aluminium A DG Air Fill High Solar Gain low-E -Clear	4.30	0.47	0.45	0.49
ALM-004-03 A	Aluminium B DG Air Fill High Solar Gain low-E -Clear	4.30	0.53	0.50	0.56

### Custom\* windows

Window ID	Window Description	Maximum U-value*	SHGC*	SHGC substitution tolerance ranges	
				lower limit	upper limit
None					

## Window and glazed door schedule

Location	Window ID	Window no.	Height (mm)	Width (mm)	Window type	Opening %	Orient-ation	Shading device*
BATH	ALM-003-03 A	W11	500	1200	Awning	90	E	None

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\* Refer to glossary.

### Window and glazed door *schedule*

Location	Window ID	Window no.	Height (mm)	Width (mm)	Window type	Opening %	Orient-ation	Shading device*
BED 3	ALM-004-03 A	W13 - A	1800	1050	Fixed	0	N	None
BED 3	ALM-003-03 A	W13 - B	1800	1050	Awning	90	N	None
BED 3	ALM-003-03 A	W14	500	2100	Awning	45	W	None
BED 4	ALM-003-03 A	W12 - A	1500	900	Awning	90	N	None
BED 4	ALM-004-03 A	W12 - B	1500	900	Fixed	0	N	None
GUEST	ALM-003-03 A	W01	2400	1250	Awning	60	S	None
GUEST	ALM-004-03 A	W02	2400	1250	Fixed	0	S	None
GUEST	ALM-003-03 A	W08	600	2000	Awning	45	W	None
KITCHEN/LIVING	ALM-004-03 A	W07 - A	500	1000	Fixed	0	W	None
KITCHEN/LIVING	ALM-003-03 A	W05	2100	1000	Awning	60	W	None
KITCHEN/LIVING	ALM-003-03 A	W06	2100	1000	Awning	60	W	None
KITCHEN/LIVING	ALM-004-03 A	D05	2400	4000	Sliding Door	60	N	None
KITCHEN/LIVING	ALM-003-03 A	W04 - A	2100	1050	Awning	60	N	None
KITCHEN/LIVING	ALM-004-03 A	W04 - B	2100	1050	Fixed	0	N	None
KITCHEN/LIVING	ALM-004-03 A	W03	750	2200	Fixed	0	E	None
MASTER	ALM-003-03 A	W09 - A	2100	1200	Awning	60	S	None
MASTER	ALM-004-03 A	W09 - B	2100	1200	Fixed	0	S	None
MASTER	ALM-003-03 A	W15	500	1800	Awning	45	W	None
RUMPUS	ALM-003-03 A	W10	500	1500	Awning	45	E	None
RUMPUS	ALM-004-03 A	D06	2400	2400	Sliding Door	45	S	None
RUMPUS	ALM-004-03 A	W07 - B	2100	1000	Fixed	0	W	None

### Roof window *type and performance value*

#### Default\* roof windows

Window ID	Window Description	Maximum U-value*	SHGC*	SHGC substitution tolerance ranges	
				lower limit	upper limit
None					

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\* Refer to glossary.



Custom\* roof windows

Window ID	Window Description	Maximum U-value*	SHGC*	SHGC substitution tolerance ranges	
				lower limit	upper limit

None

Roof window schedule

Location	Window ID	Window no.	Opening %	Height (mm)	Width (mm)	Orientation	Outdoor shade	Indoor shade
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None

Skylight type and performance

Skylight ID	Skylight description
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None

Skylight schedule

Location	Skylight ID	Skylight No.	Skylight shaft length (mm)	Area (m <sup>2</sup> )	Orientation	Outdoor shade	Diffuser	Shaft Reflectance
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None

External door schedule

Location	Height (mm)	Width (mm)	Opening %	Orientation
ENTRY	2400	1020	90	S
GARAGE	2400	3800	90	S
GARAGE	2400	820	90	N
L'DRY	2400	820	90	E

External wall type

Wall ID	Wall Type	Solar absorptance	Wall Colour	Bulk insulation (R-value)	Reflective wall wrap*
AAC-50-REFL-CAV	AAC (50mm) Clad (Refl Cavity) Stud Wall	0.50	Medium	2.50	Yes
BV-REFL-CAV-A	Brick Veneer Stud Wall with Reflective Sarking	0.50	Medium	0.00	Yes
BV-REFL-CAV-B	Brick Veneer Stud Wall with Reflective Sarking	0.50	Medium	2.50	Yes
WB-REFL-CAV	Weatherboard Battened (Refl Cavity) Stud Wall	0.50	Medium	2.50	Yes

External wall schedule

Location	Wall ID	Height (mm)	Width (mm)	Orientation	Horizontal shading feature* Projection (mm)	Vertical shading feature
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\* Refer to glossary.

**External wall schedule**

Location	Wall ID	Height (mm)	Width (mm)	Orient-ation	Horizontal shading feature* projection (mm)	Vertical shading feature
BATH	AAC-50-REFL-CAV	2700	1799	E	450	Yes
BED 3	AAC-50-REFL-CAV	2700	3440	N	450	Yes
BED 3	AAC-50-REFL-CAV	2700	3391	W	450	No
BED 3	AAC-50-REFL-CAV	2700	2352	S	9274	Yes
BED 4	AAC-50-REFL-CAV	2700	3292	N	450	Yes
BED 4	AAC-50-REFL-CAV	2700	3391	E	450	Yes
ENTRY	BV-REFL-CAV-B	2700	1200	S	990	Yes
GARAGE	BV-REFL-CAV-A	2800	4500	S		Yes
GARAGE	BV-REFL-CAV-A	2800	1800	N		Yes
GUEST	BV-REFL-CAV-B	2700	2970	S	990	Yes
GUEST	BV-REFL-CAV-B	2700	3600	W		Yes
KITCHEN/LIVING	BV-REFL-CAV-B	2700	2090	W		Yes
KITCHEN/LIVING	BV-REFL-CAV-B	2700	2352	S		Yes
KITCHEN/LIVING	BV-REFL-CAV-B	2700	4900	W		Yes
KITCHEN/LIVING	BV-REFL-CAV-B	2700	5400	N	2789	Yes
KITCHEN/LIVING	BV-REFL-CAV-B	2700	2800	W	5377	Yes
KITCHEN/LIVING	BV-REFL-CAV-B	2700	4000	N		Yes
KITCHEN/LIVING	BV-REFL-CAV-B	2700	5900	E		Yes
L'DRY	BV-REFL-CAV-B	2700	1600	E		Yes
MASTER	WB-REFL-CAV	2700	3600	E	3289	Yes
MASTER	WB-REFL-CAV	2700	4260	S	450	No
MASTER	WB-REFL-CAV	2700	3600	W	501	Yes
RUMPUS	AAC-50-REFL-CAV	2700	3206	E	450	Yes
RUMPUS	WB-REFL-CAV	2700	2788	S	4138	Yes
RUMPUS	AAC-50-REFL-CAV	2700	2000	W	450	Yes

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## External wall schedule

Location	Wall ID	Height (mm)	Width (mm)	Orientation	Horizontal shading feature* projection (mm)	Vertical shading feature
WIL	AAC-50-REFL-CAV	2700	1420	W	2802	Yes
WIP	BV-REFL-CAV-B	2700	1299	E		Yes
WIR	BV-REFL-CAV-B	2700	1499	W		Yes
WIR	AAC-50-REFL-CAV	2700	1499	W	450	Yes
WIR	AAC-50-REFL-CAV	2700	1198	N	450	Yes
WIR	AAC-50-REFL-CAV	2700	1198	N	450	Yes

## Internal wall type

Wall ID	Wall Type	Area (m <sup>2</sup> )	Bulk insulation
CSR 360 Party Wall	CSR 360 Party wall	16.8	0.00
INT-PB	Internal Plasterboard Stud Wall	53.2	2.50
INT-PB	Internal Plasterboard Stud Wall	96.3	0.00

## Floor type

Location	Construction	Area (m <sup>2</sup> )	Sub-floor ventilation	Added insulation (R-value)	Covering
BATH	TIMB-001: Suspended Timber Floor	5.9	N/A	2.50	Tile (8mm)
BED 3	TIMB-001: Suspended Timber Floor	12.5	N/A	2.50	Carpet
BED 4	TIMB-001: Suspended Timber Floor	11.2	N/A	2.50	Carpet
ENS/PDR	WAFFLE-85: Concrete Waffle Pod Slab on Ground (85mm)	4.1	N/A	0.62	Tile (8mm)
ENTRY	WAFFLE-85: Concrete Waffle Pod Slab on Ground (85mm)	7.2	N/A	0.62	Timber (12mm)
GARAGE	WAFFLE-85: Concrete Waffle Pod Slab on Ground (85mm)	27.0	N/A	0.62	Exposed
GUEST	WAFFLE-85: Concrete Waffle Pod Slab on Ground (85mm)	10.7	N/A	0.62	Carpet
KITCHEN/LIVING	WAFFLE-85: Concrete Waffle Pod Slab on Ground (85mm)	58.4	N/A	0.62	Timber (12mm)
L'DRY	WAFFLE-85: Concrete Waffle Pod Slab on Ground (85mm)	4.3	N/A	0.62	Tile (8mm)
MASTER	TIMB-001: Suspended Timber Floor	15.3	N/A	2.50	Carpet
RUMPUS	TIMB-001: Suspended Timber Floor	23.8	N/A	2.50	Carpet

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## Floor type

Location	Construction	Area (m <sup>2</sup> )	Sub-floor ventilation	Added insulation (R-value)	Covering
WIL	TIMB-001: Suspended Timber Floor	2.6	N/A	2.50	Carpet
WIP	WAFFLE-85: Concrete Waffle Pod Slab on Ground (85mm)	3.5	N/A	0.62	Timber (12mm)
WIR	WAFFLE-85: Concrete Waffle Pod Slab on Ground (85mm)	1.9	N/A	0.62	Carpet
WIR	TIMB-001: Suspended Timber Floor	9.6	N/A	2.50	Carpet

## Ceiling type

Location	Construction	Bulk insulation (R-value)	Reflective wrap*
BATH	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	4.00	Yes
BED 3	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	4.00	Yes
BED 4	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	4.00	Yes
GARAGE	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	4.00	Yes
KITCHEN/LIVING	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	4.00	Yes
MASTER	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	4.00	Yes
RUMPUS	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	4.00	Yes
WIL	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	4.00	Yes
WIR	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	4.00	Yes

## Ceiling penetrations\*

Location	Quantity	Type	Diameter (mm)	Sealed /unsealed
BATH	1	Downlight	200	Sealed
BED 3	2	Downlight	200	Sealed
BED 4	2	Downlight	200	Sealed
ENS/PDR	1	Downlight	200	Sealed
ENTRY	1	Downlight	200	Sealed
GUEST	2	Downlight	200	Sealed
KITCHEN/LIVING	1	Downlight	200	Sealed

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### Ceiling penetrations\*

Location	Quantity	Type	Diameter (mm)	Sealed /unsealed
KITCHEN/LIVING	1	Exhaust Fan	350	Sealed
L'DRY	1	Downlight	200	Sealed
MASTER	2	Downlight	200	Sealed
RUMPUS	3	Downlight	200	Sealed
WIL	1	Downlight	200	Sealed
WIP	1	Downlight	200	Sealed
WIR	4	Downlight	200	Sealed

### Ceiling fans

Location	Quantity	Diameter (mm)
None		

### Roof type

Construction	Added insulation (R-value)	Solar absorptance	Roof Colour
ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	2.50	0.67	Dark (Basalt)

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## Explanatory Notes

### About this report

A NatHERS rating is a comprehensive, dynamic computer modelling evaluation of a home, using the floorplans, elevations and specifications to estimate an energy load. It addresses the building layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings), but does not cover the water or energy use of appliances or energy production of solar panels.

Ratings are based on a unique climate zone where the home is located and are generated using standard assumptions, including occupancy patterns and thermostat settings. The actual energy consumption of a home may vary significantly from the predicted energy load, as the assumptions used in the rating will not match actual usage patterns. For example, the number of occupants and personal heating or cooling preferences will vary.

While the figures are an indicative guide to energy use, they can be used as a reliable guide for comparing different dwelling designs and to demonstrate that the design meets the energy efficiency requirements in the National Construction Code. Homes that are energy efficient use less energy, are warmer on cool days, cooler on hot days and cost less to run. The higher the star rating the more thermally efficient the dwelling is.

### Accredited assessors

To ensure the NatHERS Certificate is of a high quality, always use an accredited or licenced assessor. NatHERS accredited assessors are members of a professional body called an Assessor Accrediting Organisation (AAO).

Australian Capital Territory (ACT) licenced assessors may only produce assessments for regulatory purposes using software for which they have a licence endorsement. Licence endorsements can be confirmed on the ACT licensing register

AAOs have specific quality assurance processes in place, and continuing professional development requirements, to maintain a high and consistent standard of assessments across the country. Non-accredited assessors do not have this level of quality assurance or any ongoing training requirements.

Any questions or concerns about this report should be directed to the assessor in the first instance. If the assessor is unable to address these questions or concerns, the AAO specified on the front of this certificate should be contacted.

### Disclaimer

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The predicted annual energy load in this NatHERS Certificate is an estimate based on an assessment of the building by the assessor. It is not a prediction of actual energy use, but may be used to compare how other buildings are likely to perform when used in a similar way.

Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, indoor air temperature and local climate.

Not all assumptions that may have been made by the assessor while using the NatHERS accredited software tool are presented in this report and further details or data files may be available from the assessor.

## Glossary

<b>Annual energy load</b>	the predicted amount of energy required for heating and cooling, based on standard occupancy assumptions.
<b>Assessed floor area</b>	the floor area modelled in the software for the purpose of the NatHERS assessment. Note, this may not be consistent with the floor area in the design documents.
<b>Ceiling penetrations</b>	features that require a penetration to the ceiling, including downlights, vents, exhaust fans, rangehoods, chimneys and flues. Excludes fixtures attached to the ceiling with small holes through the ceiling for wiring, e.g. ceiling fans; pendant lights, and heating and cooling ducts.
<b>Conditioned</b>	a zone within a dwelling that is expected to require heating and cooling based on standard occupancy assumptions. In some circumstances it will include garages.
<b>Custom windows</b>	windows listed in NatHERS software that are available on the market in Australia and have a WERS (Window Energy Rating Scheme) rating.
<b>Default windows</b>	windows that are representative of a specific type of window product and whose properties have been derived by statistical methods.
<b>Entrance door</b>	these signify ventilation benefits in the modelling software and must not be modelled as a door when opening to a minimally ventilated corridor in a Class 2 building.
<b>Exposure category - exposed</b>	terrain with no obstructions e.g. flat grazing land, ocean-frontage, desert, exposed high-rise unit (usually above 10 floors).
<b>Exposure category - open</b>	terrain with few obstructions at a similar height e.g. grasslands with few well scattered obstructions below 10m, farmland with scattered sheds, lightly vegetated bush blocks, elevated units (e.g. above 3 floors).
<b>Exposure category - suburban</b>	terrain with numerous, closely spaced obstructions below 10m e.g. suburban housing, heavily vegetated bushland areas.
<b>Exposure category - protected</b>	terrain with numerous, closely spaced obstructions over 10 m e.g. city and industrial areas.
<b>Horizontal shading feature</b>	provides shading to the building in the horizontal plane, e.g. eaves, verandahs, pergolas, carports, or overhangs or balconies from upper levels.
<b>National Construction Code (NCC) Class</b>	the NCC groups buildings by their function and use, and assigns a classification code. NatHERS software models NCC Class 1, 2 or 4 buildings and attached Class 10a buildings. Definitions can be found at <a href="http://www.abcb.gov.au">www.abcb.gov.au</a> .
<b>Opening percentage</b>	the openability percentage or operable (moveable) area of doors or windows that is used in ventilation calculations.
<b>Provisional value</b>	an assumed value that does not represent an actual value. For example, if the wall colour is unspecified in the documentation, a provisional value of 'medium' must be modelled. Acceptable provisional values are outlined in the NatHERS Technical Note and can be found at <a href="http://www.nathers.gov.au">www.nathers.gov.au</a>
<b>Reflective wrap (also known as foil)</b>	can be applied to walls, roofs and ceilings. When combined with an appropriate airgap and emissivity value, it provides insulative properties.
<b>Roof window</b>	for NatHERS this is typically an operable window (i.e. can be opened), will have a plaster or similar light well if there is an attic space, and generally does not have a diffuser.
<b>Shading device</b>	a device fixed to windows that provides shading e.g. window awnings or screens but excludes eaves.
<b>Shading features</b>	includes neighbouring buildings, fences, and wing walls, but excludes eaves.
<b>Solar heat gain coefficient (SHGC)</b>	the fraction of incident solar radiation admitted through a window, both directly transmitted as well as absorbed and subsequently released inward. SHGC is expressed as a number between 0 and 1. The lower a window's SHGC, the less solar heat it transmits.
<b>Skylight (also known as roof lights)</b>	for NatHERS this is typically a moulded unit with flexible reflective tubing (light well) and a diffuser at ceiling level.
<b>U-value</b>	the rate of heat transfer through a window. The lower the U-value, the better the insulating ability.
<b>Unconditioned</b>	a zone within a dwelling that is assumed to
<b>Vertical shading features</b>	provides shading to the building in the vertical plane and can be parallel or perpendicular to the subject wall/window. Includes privacy screens, other walls in the building (wing walls), fences, other buildings, vegetation (protected or listed heritage trees).

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# Nationwide House Energy Rating Scheme NatHERS Certificate No. #

Generated on 04 Jun 2024 using Hero 4.0 (Chenath v3.21)

## Property

**Address** Unit 02, 4 Frank Street, Dallas, VIC, 3047  
**Lot/DP**  
**NCC Class\*** 1a  
**Type** New

## Plans

**Main Plan** 381 - TP-A1- 03.06.24  
**Prepared by** A T ARCDDESIGN

## Construction and environment

Assessed floor area (m <sup>2</sup> )*		Exposure Type
Conditioned*	124.5	Suburban
Unconditioned*	9.7	<b>NatHERS climate zone</b>
Total	161.3	60 - Tullamarine
Garage	27.0	



## Accredited assessor

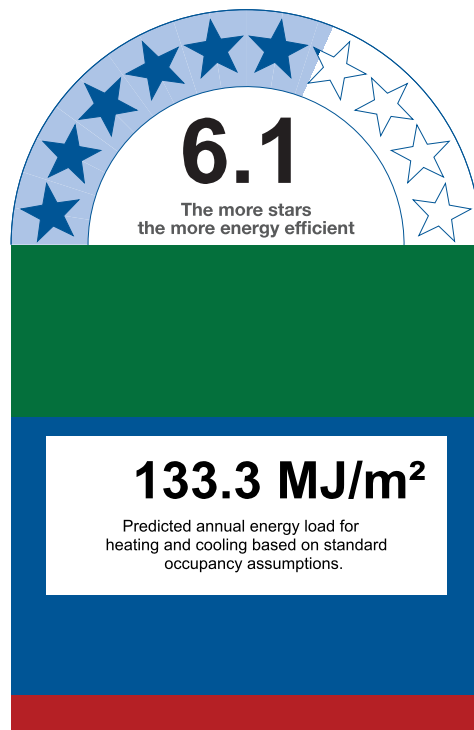
**Name** Ertugrul Memili  
**Business name** Abstrkt sustainability  
**Email** izzy@abstrktsustainability.com  
**Phone** +61 412221814  
**Accreditation No.** 10230  
**Assessor Accrediting Organisation** HERA  
**Declaration of interest** No Conflict of Interest

## National Construction Code (NCC) requirements

The NCC's requirements for NatHERS-rated houses are detailed in 3.12.0(a)(i) and 3.12.5 of the NCC Volume Two. For apartments the requirements are detailed in J0.2 and J5 to J8 of the NCC Volume One.

In NCC 2019, these requirements include minimum star ratings and separate heating and cooling load limits that need to be met by buildings and apartments through the NatHERS assessment. Requirements additional to the NatHERS assessment that must also be satisfied include, but are not limited to: insulation installation methods, thermal breaks, building sealing, water heating and pumping, and artificial lighting requirements. The NCC and NatHERS Heating and Cooling Load Limits (Australian Building Codes Board Standard) are available at [www.abcb.gov.au](http://www.abcb.gov.au).

State and territory variations and additions to the NCC may also apply.



## Thermal Performance

Heating	Cooling
<b>116.9</b>	<b>16.4</b>
MJ/m <sup>2</sup>	MJ/m <sup>2</sup>

### About the rating

NatHERS software models the expected thermal energy loads using information about the design and construction, climate and common patterns of household use. The software does not take into account appliances, apart from the airflow impacts from ceiling fans.

## Verification

DRAFT PREVIEW ISSUE - NOT TO BE USED FOR CERTIFICATION

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\* Refer to glossary.

## Certificate Check

Ensure the dwelling is designed and then built as per the NatHERS Certificate. While you need to check the accuracy of the whole Certificate, the following spot check covers some important items impacting the dwelling’s rating.

### Genuine certificate

Does this Certificate match the one available at the web address or QR code in the verification box on the front page? Does the set of NatHERS-stamped plans for the dwelling have a Certificate number on the stamp that matches this Certificate?

### Ceiling penetrations\*

Does the ‘number’ and ‘type’ of ceiling penetrations (e.g. downlights, exhaust fans, etc) shown on the stamped plans or installed, match what is shown in this Certificate?

### Windows

Does the installed window meet the substitution tolerances (SHGC and U-value) and window type, of the window shown on this Certificate? Substituted values must be based on the Australian Fenestration Rating Council (AFRC) protocol.

### Apartment entrance doors

Does the ‘External Door Schedule’ show apartment entrance doors? Please note that an “external door” between the modelled dwelling and a shared space, such as an enclosed corridor or foyer, should not be included in the assessment (because it overstates the possible ventilation) and would invalidate the Certificate.

### Exposure\*

Has the appropriate exposure level (terrain) been applied? For example, it is unlikely that a ground-floor apartment is “exposed” or a top floor high-rise apartment is “protected”.

### Provisional\* values

Have provisional values been used in the assessment and, if so, noted in “additional notes” below?

## Window and glazed door type and performance

### Default\* windows

Window ID	Window Description	Maximum U-value*	SHGC*	SHGC substitution tolerance ranges	
				lower limit	upper limit
ALM-003-03 A	Aluminium A DG Air Fill High Solar Gain low-E -Clear	4.30	0.47	0.45	0.49
ALM-004-03 A	Aluminium B DG Air Fill High Solar Gain low-E -Clear	4.30	0.53	0.50	0.56

### Custom\* windows

Window ID	Window Description	Maximum U-value*	SHGC*	SHGC substitution tolerance ranges	
				lower limit	upper limit
None					

## Window and glazed door schedule

Location	Window ID	Window no.	Height (mm)	Width (mm)	Window type	Opening %	Orient-ation	Shading device*
BATH	ALM-003-03 A	W08	1200	600	Awning	90	E	None

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\* Refer to glossary.



## Window and glazed door *schedule*

Location	Window ID	Window no.	Height (mm)	Width (mm)	Window type	Opening %	Orientation	Shading device*
BED 1	ALM-004-03 A	W06 - A	2100	1050	Fixed	0	S	None
BED 1	ALM-003-03 A	W06 - B	2100	1050	Awning	60	S	None
BED 2	ALM-004-03 A	W12 - A	2100	900	Fixed	0	W	None
BED 2	ALM-003-03 A	W12 - B	2100	900	Awning	60	W	None
BED 2	ALM-004-03 A	D06	2400	2400	Sliding Door	45	S	None
BED 3	ALM-004-03 A	W11 - A	2100	900	Fixed	0	W	None
BED 3	ALM-003-03 A	W11 - B	2100	900	Awning	60	W	None
ENS	ALM-003-03 A	W10	1200	600	Awning	90	N	None
ENTRY/STUDY	ALM-004-03 A	W01 - A	2400	750	Fixed	0	S	None
ENTRY/STUDY	ALM-003-03 A	W01 - B	2400	750	Awning	60	S	None
HALL	ALM-004-03 A	W07	1500	1000	Fixed	0	E	None
KITCHEN/LIVING	ALM-004-03 A	W05	750	1500	Fixed	0	W	None
KITCHEN/LIVING	ALM-004-03 A	D05	2400	2700	Sliding Door	45	N	None
KITCHEN/LIVING	ALM-003-03 A	W04 - A	2100	750	Awning	60	N	None
KITCHEN/LIVING	ALM-004-03 A	W04 - B	2100	750	Fixed	0	N	None
KITCHEN/LIVING	ALM-004-03 A	W03 - A	1800	750	Fixed	0	E	None
KITCHEN/LIVING	ALM-003-03 A	W03 - B	1800	750	Awning	90	E	None
MASTER	ALM-004-03 A	W09 - A	1800	1050	Fixed	0	N	None
MASTER	ALM-003-03 A	W09 - B	1800	1050	Awning	90	N	None
PDR	ALM-003-03 A	W02	900	600	Awning	90	E	None

## Roof window type and performance value

### Default\* roof windows

Window ID	Window Description	Maximum U-value*	SHGC*	SHGC substitution tolerance ranges	
				lower limit	upper limit
None					

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\* Refer to glossary.

Custom\* roof windows

Window ID	Window Description	Maximum U-value*	SHGC*	SHGC substitution tolerance ranges	
				lower limit	upper limit
None					

Roof window schedule

Location	Window ID	Window no.	Opening %	Height (mm)	Width (mm)	Orientation	Outdoor shade	Indoor shade
None								

Skylight type and performance

Skylight ID	Skylight description
None	

Skylight schedule

Location	Skylight ID	Skylight No.	Skylight shaft length (mm)	Area (m <sup>2</sup> )	Orientation	Outdoor shade	Diffuser	Shaft Reflectance
None								

External door schedule

Location	Height (mm)	Width (mm)	Opening %	Orientation
ENTRY/STUDY	2400	920	90	S
GARAGE	2400	820	90	N
GARAGE	2400	3800	90	S
L'DRY	2400	720	90	E

External wall type

Wall ID	Wall Type	Solar absorptance	Wall Colour	Bulk insulation (R-value)	Reflective wall wrap*
AAC-50-REFL-CAV	AAC (50mm) Clad (Refl Cavity) Stud Wall	0.50	Medium	2.50	Yes
BV-REFL-CAV-A	Brick Veneer Stud Wall with Reflective Sarking	0.50	Medium	0.00	Yes
BV-REFL-CAV-B	Brick Veneer Stud Wall with Reflective Sarking	0.50	Medium	2.50	Yes
WB-REFL-CAV	Weatherboard Battened (Refl Cavity) Stud Wall	0.50	Medium	2.50	Yes

External wall schedule

Location	Wall ID	Height (mm)	Width (mm)	Orientation	Horizontal shading feature* Projection (mm)	Vertical shading feature
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\* Refer to glossary.

**External wall schedule**

Location	Wall ID	Height (mm)	Width (mm)	Orientation	Horizontal shading feature* projection (mm)	Vertical shading feature
BATH	AAC-50-REFL-CAV	2700	2688	E	1908	Yes
BATH	AAC-50-REFL-CAV	2700	839	N	450	Yes
BED 1	WB-REFL-CAV	2700	3506	S	450	No
BED 1	WB-REFL-CAV	2700	2829	W	3879	Yes
BED 2	AAC-50-REFL-CAV	2700	3362	W	450	Yes
BED 2	WB-REFL-CAV	2700	3378	S	3364	Yes
BED 3	AAC-50-REFL-CAV	2700	3103	W	450	Yes
ENS	AAC-50-REFL-CAV	2700	2083	N	450	No
ENS	AAC-50-REFL-CAV	2700	1770	W	450	Yes
ENTRY/STUDY	BV-REFL-CAV-B	2700	3916	E		Yes
ENTRY/STUDY	BV-REFL-CAV-B	2700	4600	S	990	Yes
ENTRY/STUDY	BV-REFL-CAV-B	2700	1509	N		Yes
GARAGE	BV-REFL-CAV-A	2800	1211	N		Yes
GARAGE	BV-REFL-CAV-A	2800	4500	S		Yes
HALL	AAC-50-REFL-CAV	2700	2155	E	1289	Yes
HALL	WB-REFL-CAV	2700	3916	E	450	No
HALL	WB-REFL-CAV	2700	1000	S	450	No
HALL	WB-REFL-CAV	2700	1509	N	3283	Yes
KITCHEN/LIVING	BV-REFL-CAV-B	2700	7400	W		Yes
KITCHEN/LIVING	BV-REFL-CAV-B	2700	5630	N		Yes
KITCHEN/LIVING	BV-REFL-CAV-B	2700	4050	E		Yes
KITCHEN/LIVING	BV-REFL-CAV-B	2700	840	N		Yes
KITCHEN/LIVING	BV-REFL-CAV-B	2700	2650	E		Yes
L'DRY	BV-REFL-CAV-B	2700	1600	E		Yes
MASTER	AAC-50-REFL-CAV	2700	3458	N	450	No

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## External wall schedule

Location	Wall ID	Height (mm)	Width (mm)	Orientation	Horizontal shading feature* projection (mm)	Vertical shading feature
MASTER	AAC-50-REFL-CAV	2700	3653	E	450	Yes
PDR	BV-REFL-CAV-B	2700	1000	E		Yes
WIR	AAC-50-REFL-CAV	2700	1300	W	450	Yes

## Internal wall type

Wall ID	Wall Type	Area (m <sup>2</sup> )	Bulk insulation
CSR 360 Party Wall	CSR 360 Party wall	16.8	0.00
INT-PB	Internal Plasterboard Stud Wall	57.3	2.50
INT-PB	Internal Plasterboard Stud Wall	63.7	0.00

## Floor type

Location	Construction	Area (m <sup>2</sup> )	Sub-floor ventilation	Added insulation (R-value)	Covering
BATH	TIMB-001: Suspended Timber Floor	4.5	N/A	2.50	Tile (8mm)
BED 1	TIMB-001: Suspended Timber Floor	9.9	N/A	2.50	Carpet
BED 2	TIMB-001: Suspended Timber Floor	12.1	N/A	2.50	Carpet
BED 3	TIMB-001: Suspended Timber Floor	11.2	N/A	2.50	Carpet
ENS	TIMB-001: Suspended Timber Floor	3.7	N/A	2.50	Tile (8mm)
ENTRY/STUDY	WAFFLE-85: Concrete Waffle Pod Slab on Ground (85mm)	20.1	N/A	0.62	Timber (12mm)
GARAGE	WAFFLE-85: Concrete Waffle Pod Slab on Ground (85mm)	27.0	N/A	0.62	Exposed
HALL	TIMB-001: Suspended Timber Floor	14.3	N/A	2.50	Carpet
KITCHEN/LIVING	WAFFLE-85: Concrete Waffle Pod Slab on Ground (85mm)	43.0	N/A	0.62	Timber (12mm)
L'DRY	WAFFLE-85: Concrete Waffle Pod Slab on Ground (85mm)	3.2	N/A	0.62	Tile (8mm)
MASTER	TIMB-001: Suspended Timber Floor	11.9	N/A	2.50	Carpet
PDR	WAFFLE-85: Concrete Waffle Pod Slab on Ground (85mm)	2.0	N/A	0.62	Tile (8mm)
WIR	TIMB-001: Suspended Timber Floor	2.7	N/A	2.50	Carpet

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### Ceiling type

Location	Construction	Bulk insulation (R-value)	Reflective wrap*
BATH	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	4.00	Yes
BED 1	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	4.00	Yes
BED 2	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	4.00	Yes
BED 3	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	4.00	Yes
ENS	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	4.00	Yes
GARAGE	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	4.00	Yes
HALL	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	4.00	Yes
KITCHEN/LIVING	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	4.00	Yes
MASTER	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	4.00	Yes
WIR	ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	4.00	Yes

### Ceiling penetrations\*

Location	Quantity	Type	Diameter (mm)	Sealed /unsealed
BATH	1	Downlight	200	Sealed
BED 1	1	Downlight	200	Sealed
BED 2	2	Downlight	200	Sealed
BED 3	2	Downlight	200	Sealed
ENS	1	Downlight	200	Sealed
ENTRY/STUDY	3	Downlight	200	Sealed
HALL	2	Downlight	200	Sealed
KITCHEN/LIVING	1	Downlight	200	Sealed
KITCHEN/LIVING	1	Exhaust Fan	350	Sealed
L'DRY	1	Downlight	200	Sealed
MASTER	2	Downlight	200	Sealed
PDR	1	Downlight	200	Sealed
WIR	1	Downlight	200	Sealed

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\* Refer to glossary.

### Ceiling fans

Location	Quantity	Diameter (mm)
None		

### Roof type

Construction	Added insulation (R-value)	Solar absorptance	Roof Colour
ATTIC-METAL-01: Pitched / Attic Metal Roof (Roofspace) & Flat PB Ceiling	2.50	0.67	Dark (Basalt)

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## Explanatory Notes

### About this report

A NatHERS rating is a comprehensive, dynamic computer modelling evaluation of a home, using the floorplans, elevations and specifications to estimate an energy load. It addresses the building layout, orientation and fabric (i.e. walls, windows, floors, roofs and ceilings), but does not cover the water or energy use of appliances or energy production of solar panels.

Ratings are based on a unique climate zone where the home is located and are generated using standard assumptions, including occupancy patterns and thermostat settings. The actual energy consumption of a home may vary significantly from the predicted energy load, as the assumptions used in the rating will not match actual usage patterns. For example, the number of occupants and personal heating or cooling preferences will vary.

While the figures are an indicative guide to energy use, they can be used as a reliable guide for comparing different dwelling designs and to demonstrate that the design meets the energy efficiency requirements in the National Construction Code. Homes that are energy efficient use less energy, are warmer on cool days, cooler on hot days and cost less to run. The higher the star rating the more thermally efficient the dwelling is.

### Accredited assessors

To ensure the NatHERS Certificate is of a high quality, always use an accredited or licenced assessor. NatHERS accredited assessors are members of a professional body called an Assessor Accrediting Organisation (AAO).

Australian Capital Territory (ACT) licenced assessors may only produce assessments for regulatory purposes using software for which they have a licence endorsement. Licence endorsements can be confirmed on the ACT licensing register

AAOs have specific quality assurance processes in place, and continuing professional development requirements, to maintain a high and consistent standard of assessments across the country. Non-accredited assessors do not have this level of quality assurance or any ongoing training requirements.

Any questions or concerns about this report should be directed to the assessor in the first instance. If the assessor is unable to address these questions or concerns, the AAO specified on the front of this certificate should be contacted.

### Disclaimer

The format of the NatHERS Certificate was developed by the NatHERS Administrator. However the content of each individual certificate is entered and created by the assessor to create a NatHERS Certificate. It is the responsibility of the assessor who prepared this certificate to use NatHERS accredited software correctly and follow the NatHERS Technical Notes to produce a NatHERS Certificate.

The predicted annual energy load in this NatHERS Certificate is an estimate based on an assessment of the building by the assessor. It is not a prediction of actual energy use, but may be used to compare how other buildings are likely to perform when used in a similar way.

Information presented in this report relies on a range of standard assumptions (both embedded in NatHERS accredited software and made by the assessor who prepared this report), including assumptions about occupancy, indoor air temperature and local climate.

Not all assumptions that may have been made by the assessor while using the NatHERS accredited software tool are presented in this report and further details or data files may be available from the assessor.

## Glossary

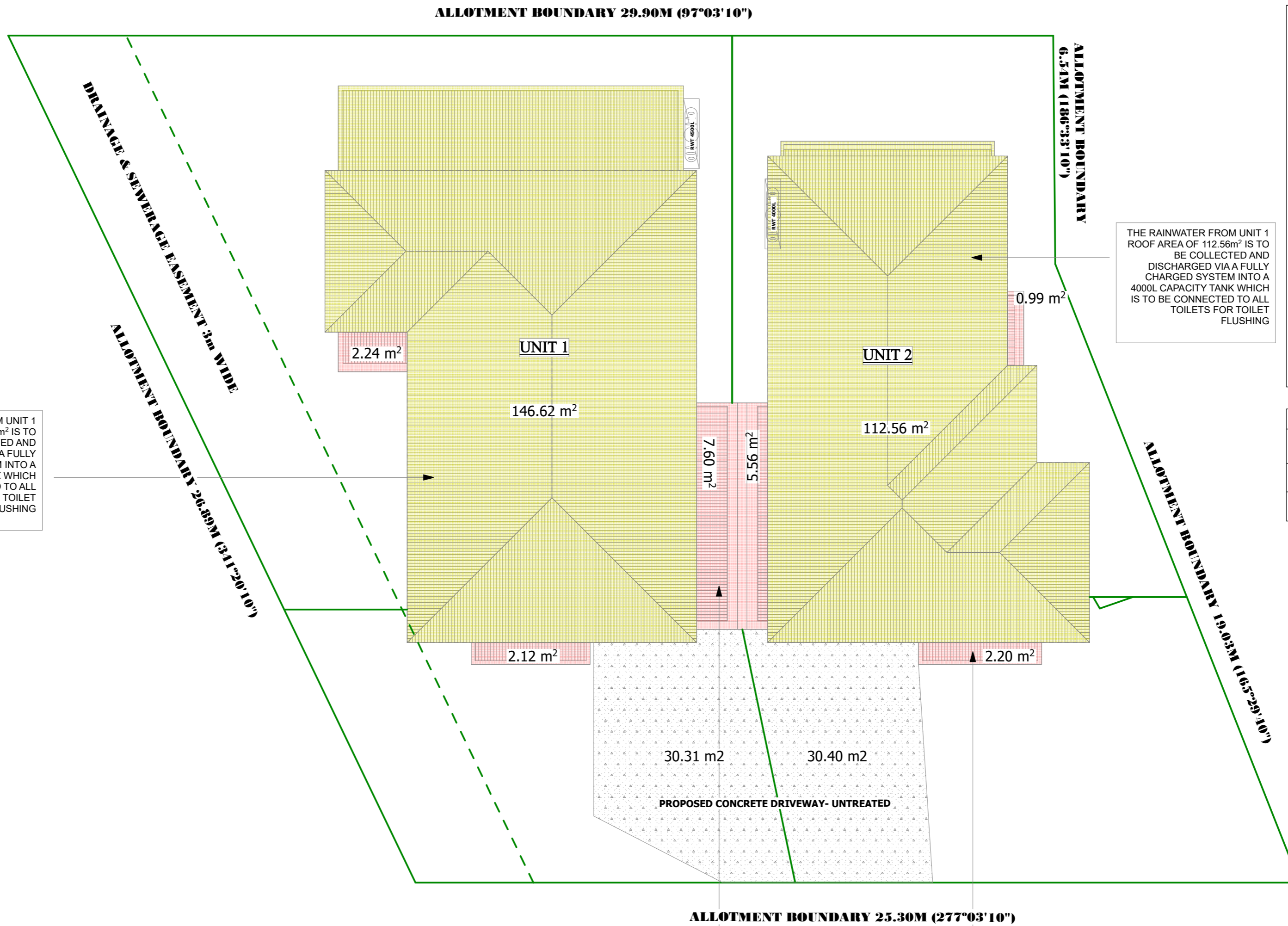
<b>Annual energy load</b>	the predicted amount of energy required for heating and cooling, based on standard occupancy assumptions.
<b>Assessed floor area</b>	the floor area modelled in the software for the purpose of the NatHERS assessment. Note, this may not be consistent with the floor area in the design documents.
<b>Ceiling penetrations</b>	features that require a penetration to the ceiling, including downlights, vents, exhaust fans, rangehoods, chimneys and flues. Excludes fixtures attached to the ceiling with small holes through the ceiling for wiring, e.g. ceiling fans; pendant lights, and heating and cooling ducts.
<b>Conditioned</b>	a zone within a dwelling that is expected to require heating and cooling based on standard occupancy assumptions. In some circumstances it will include garages.
<b>Custom windows</b>	windows listed in NatHERS software that are available on the market in Australia and have a WERS (Window Energy Rating Scheme) rating.
<b>Default windows</b>	windows that are representative of a specific type of window product and whose properties have been derived by statistical methods.
<b>Entrance door</b>	these signify ventilation benefits in the modelling software and must not be modelled as a door when opening to a minimally ventilated corridor in a Class 2 building.
<b>Exposure category - exposed</b>	terrain with no obstructions e.g. flat grazing land, ocean-frontage, desert, exposed high-rise unit (usually above 10 floors).
<b>Exposure category - open</b>	terrain with few obstructions at a similar height e.g. grasslands with few well scattered obstructions below 10m, farmland with scattered sheds, lightly vegetated bush blocks, elevated units (e.g. above 3 floors).
<b>Exposure category - suburban</b>	terrain with numerous, closely spaced obstructions below 10m e.g. suburban housing, heavily vegetated bushland areas.
<b>Exposure category - protected</b>	terrain with numerous, closely spaced obstructions over 10 m e.g. city and industrial areas.
<b>Horizontal shading feature</b>	provides shading to the building in the horizontal plane, e.g. eaves, verandahs, pergolas, carports, or overhangs or balconies from upper levels.
<b>National Construction Code (NCC) Class</b>	the NCC groups buildings by their function and use, and assigns a classification code. NatHERS software models NCC Class 1, 2 or 4 buildings and attached Class 10a buildings. Definitions can be found at <a href="http://www.abcb.gov.au">www.abcb.gov.au</a> .
<b>Opening percentage</b>	the openability percentage or operable (moveable) area of doors or windows that is used in ventilation calculations.
<b>Provisional value</b>	an assumed value that does not represent an actual value. For example, if the wall colour is unspecified in the documentation, a provisional value of 'medium' must be modelled. Acceptable provisional values are outlined in the NatHERS Technical Note and can be found at <a href="http://www.nathers.gov.au">www.nathers.gov.au</a>
<b>Reflective wrap (also known as foil)</b>	can be applied to walls, roofs and ceilings. When combined with an appropriate airgap and emissivity value, it provides insulative properties.
<b>Roof window</b>	for NatHERS this is typically an operable window (i.e. can be opened), will have a plaster or similar light well if there is an attic space, and generally does not have a diffuser.
<b>Shading device</b>	a device fixed to windows that provides shading e.g. window awnings or screens but excludes eaves.
<b>Shading features</b>	includes neighbouring buildings, fences, and wing walls, but excludes eaves.
<b>Solar heat gain coefficient (SHGC)</b>	the fraction of incident solar radiation admitted through a window, both directly transmitted as well as absorbed and subsequently released inward. SHGC is expressed as a number between 0 and 1. The lower a window's SHGC, the less solar heat it transmits.
<b>Skylight (also known as roof lights)</b>	for NatHERS this is typically a moulded unit with flexible reflective tubing (light well) and a diffuser at ceiling level.
<b>U-value</b>	the rate of heat transfer through a window. The lower the U-value, the better the insulating ability.
<b>Unconditioned</b>	a zone within a dwelling that is assumed to
<b>Vertical shading features</b>	provides shading to the building in the vertical plane and can be parallel or perpendicular to the subject wall/window. Includes privacy screens, other walls in the building (wing walls), fences, other buildings, vegetation (protected or listed heritage trees).

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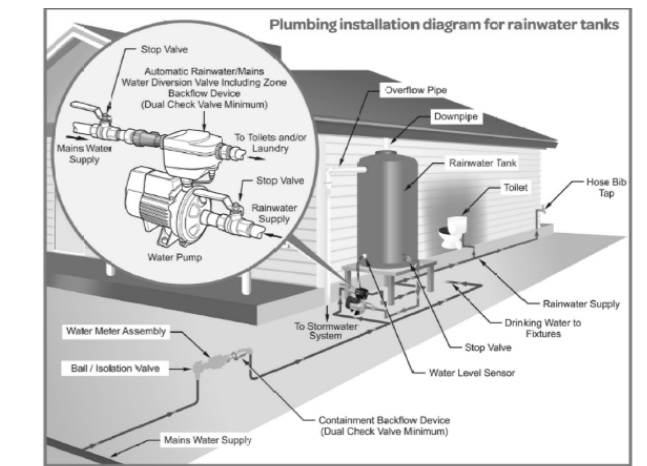
DWELLING 1			AREA ANALYSIS		
AREA:	m <sup>2</sup>	sq.	SITE AREA:	646.67m <sup>2</sup>	
ground floor:	102.84	11.06	BUILT UP AREA:	259.46m <sup>2</sup>	
garage:	29.3	3.15	SITE COVERAGE:	40.12%	
porch:	2.6	0.28	PERMEABLE AREA	59.17M2(318.63M2): 50.72%	
patio:	15	1.61			
upper floor:	87	9.36	GARDEN AREA 30% OF		
balcony:	11.46	1.23	SITE AREA =194m <sup>2</sup>		
TOTAL:	248.2	26.71	PROPOSED GARDEN	AREA= (321.31m <sup>2</sup> )	

DWELLING 2			TOTAL: 454.7m <sup>2</sup> 48.94sq		
AREA:	m <sup>2</sup>	sq.			
ground floor:	78.12	8.4			
garage:	29	3.12			
porch:	2.6	0.28			
patio:	8	0.90			
upper floor:	76.24	8.21			
balcony:	12.54	1.35			
TOTAL:	206.5	22.22			



**WATER SENSITIVE URBAN DESIGN NOTES:**  
 ALL DRAINAGE TO BE DESIGNED AND CERTIFIED BY AUTHORIZED DRAINAGE ENGINEER  
 EACH RAINWATER TANK IS TO BE CONNECTED TO ALL TOILETS IN EACH DWELLING  
 GRAVITY FED OR FULLY CHARGED SYSTEM IS NECESSARY TO ACHIEVE THE MINIMUM ROOF CATCHMENT AREA IN ACCORDANCE WITH STORM REQUIREMENTS  
 THE OVERFLOW SYSTEMS FOR ALL RAINWATER TANKS MUST BE GRAVITY FED TO THE LEGAL POINT OF DISCHARGE AND NOT SERVICED BY OVERFLOW PUMPS  
 THE TANKS MUST BE USED ONLY FOR REUSE WITHIN THE DWELLINGS, AND ARE COMPLETELY INDEPENDENT OF ANY DETENTION REQUIREMENTS (THROUGH THE LEGAL POINT OF DISCHARGE PROCESS)  
 IN NO CASE WILL RAINWATER PIPES BE CHARGED UNDER THE SLAB  
 GRAVITY FED SYSTEM TO BE USED WHEN HARVESTING STORMWATER FROM ROOF TO RAINGARDENS.  
 RAINGARDENS TO BE BUILT MINIMUM 300MM FROM ADJOINING FOOTINGS  
 BUILD THE RAINGARDEN CLOSE TO THE WATER SOURCE. THIS WILL HELP MINIMISE THE ADDITIONAL PLUMBING NEEDED TO BRING WATER TO THE RAINGARDEN  
 RAINGARDEN MUST BE FULLY LINED AND HAVE OVERFLOW PLUMBED INTO THE STORMWATER SYSTEM.  
 FOR EXCAVATION AND CLEARANCE REFER TO BUILDING A RAINGARDEN INSTRUCTION SHEET. RAINGARDENS MUST BE BUILT TO MELBOURNE WATER REQUIREMENTS  
 MAINTENANCE OF RAINGARDENS ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.  
 THE FINAL DESIGN OF THE STORMWATER SYSTEM WILL MEET COUNCIL DRAINAGE ENGINEERS REQUIREMENTS. THE DESIGNED SYSTEM COMPLIES WITH MELBOURNE WATER STORM REQUIREMENTS THAT MEETS VICTORIAN BEST PRACTICE STORMWATER GUIDELINES

MAINTENANCE GUIDELINES (EVERY 3-6 MONTHS)	
RAINWATER TANKS:	TO BE INSPECTED, INLET TO BE CLEANED REGULARLY. IF SLUDGE IS PRESENT, TANKS MUST BE DRAINED BY PROFESSIONAL PLUMBER AND CLEANED
GUTTERS AND DOWNPIPES:	TO BE INSPECTED AND CLEANED REGULARLY.
FIRST FLUSH DEVICES:	IF APPLICABLE, TO BE INSPECTED AND CLEANED REGULARLY.



### Melbourne Water STORM Rating Report

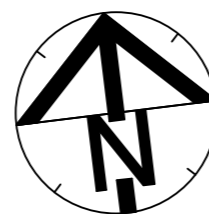
TransactionID: 0  
 Municipality: HUME  
 Rainfall Station: HUME  
 Address: 4 Frank Street  
 Dallas VIC 3047  
 Assessor: 1227  
 Development Type: Residential - Multunit  
 Allotment Site (m2): 646.67  
 STORM Rating %: 100

Description	Impervious Area (m <sup>2</sup> )	Treatment Type	Treatment Area/Volume (m <sup>2</sup> or L)	Occupants / Number of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
U1 Roof - Tank	146.62	Rainwater Tank	4,500.00	4	131.00	94.90
U1 Roof - Untreated	11.96	None	0.00	0	0.00	0.00
U2 Roof-Tank	112.56	Rainwater Tank	4,000.00	3	131.00	94.90
U2 Roof-Untreated	8.75	None	0.00	0	0.00	0.00
Driveway - Untreated	60.71	None	0.00	0	0.00	0.00

Date Generated: 03-Jun-2024 Program Version: 1.0.0

## LEGEND

- ROOF AREA TO RAINWATER LPOD
- ROOF AREA TO RAINWATER TANK
- WATERTANK TO TREAT SELECTED ROOF AREA. CONNECT WATER TANK TO ALL SANITARY FLUSHING
- CONCRETE SURFACE - UNTREATED
- PARAPET WALLS



## WSUD LAYOUT PLAN

SCALE 1:100



NOTES:	PROJECT/ADDRESS	REVISIONS	DATE:	SHEET SIZE:
Do not use this copied document for any other purpose. This document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The copy must not be used for any other purpose. Please note that the plan may not be to scale.	4 Frank St, Dallas VIC 3047			A2
				JOB NO: 381
				SCALE: AS NOTED
				DRAW: [Signature]
				DATE: 25.04.2024
				DRAWING NO: 05

Copyright 2024. These drawings are not to be copied in part or in whole without the written consent of the author.  
 AT ARCD DESIGN PTY LTD E: info@atarchitecturedesign.com T: 9499 1212





# STORM Rating Report

TransactionID: 0  
Municipality: HUME  
Rainfall Station: HUME  
Address: 4 Frank Street

Dallas  
VIC 3047

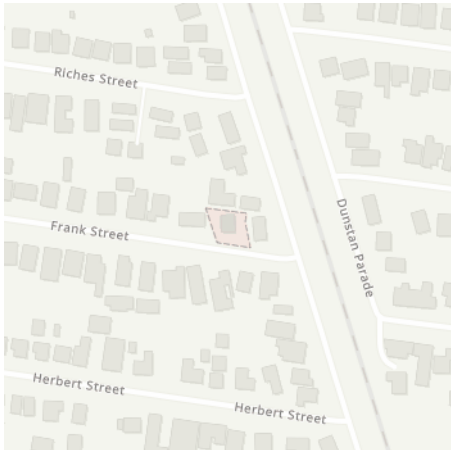
Assessor: Izzy  
Development Type: Residential - Multiunit  
Allotment Site (m2): 646.67  
STORM Rating %: 100

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
U1 Roof - Tank	146.62	Rainwater Tank	4,500.00	4	131.00	94.90
U1 Roof - Untreated	11.96	None	0.00	0	0.00	0.00
U2 Roof-Tank	112.56	Rainwater Tank	4,000.00	3	131.00	94.90
U2 Roof-Untreated	8.75	None	0.00	0	0.00	0.00
Driveway - Untreated	60.71	None	0.00	0	0.00	0.00

Date Generated: 03-Jun-2024

Program Version: 1.00  
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[Review responses online](#) ↗



Received 4 of 7 responses  
**Waiting for more**

4 Frank St, Dallas VIC 3047

Job dates  
20/11/2024 → 29/11/2025

These plans expire on  
4 Sep 2024

Lodged by  
Adem turer

Authority	Status	Page
✉ BYDA Confirmation		2
🏢 AusNet Gas Services Pty Ltd	Waiting	-
🏢 Hume City Council	Received	4
🏢 Jemena Electricity Networks (VIC)	Received	7
🏢 NBN Co VicTas	Waiting	-
🏢 Optus and or Uecomm Vic	Received	17
🏢 Telstra VICTAS	Waiting	-
🏢 Yarra Valley Water Ltd	Received	32

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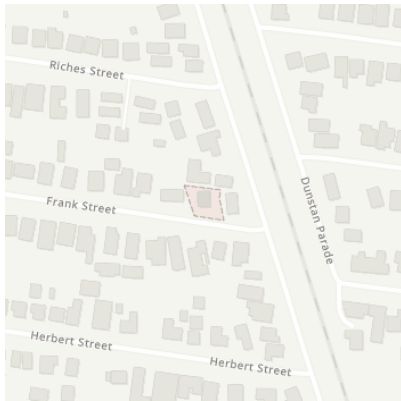
### Contact Details

<b>Contact</b> Adem turer	<b>Contact number</b> (03) 9499 1212	<b>Company</b> AT ARCDDESIGN PTY LTD	<b>Enquirer ID</b> 3308694
<b>Email</b> adem@atarchitecturedesign.com		<b>Address</b> 8/ 1 international drive west meadows VIC 3049	

### Job Site and Enquiry Details

**WARNING:** The map below only displays the location of the proposed job site and does not display any asset owners' pipe or cables. The area highlighted has been used only to identify the participating asset owners, who will send information to you directly.

<b>Enquiry date</b> 07/08/2024	<b>Start date</b> 20/11/2024	<b>End date</b> 29/11/2025	<b>On behalf of</b> Private	<b>Job purpose</b> Design	<b>Locations</b> Both Nature Strip, Footpath	<b>Onsite activities</b> Planning & Design
-----------------------------------	---------------------------------	-------------------------------	--------------------------------	------------------------------	--	---



Check that the location of the job site is correct. If not, you must submit a new enquiry.

If the scope of works change or plan validity dates expire, you must submit a new enquiry.

Do NOT dig without plans. Safe excavation is your responsibility. If you don't understand the plans or how to proceed safely, please contact the relevant asset owners.

<b>User Reference</b> 4 Frank St	<b>Address</b> 4 Frank St Dallas VIC 3047	<b>Notes/description</b> -
-------------------------------------	---	-------------------------------

### Your Responsibility and Duty of Care

- **Lodging an enquiry does not authorise project commencement.** Before starting work, you must obtain all necessary information from all affected asset owners.
- If you don't receive plans within 2 business days, contact the asset owner & quote their sequence number.
- Always follow the 5Ps of Safe Excavation (page 2), and locate assets before commencing work.
- Ensure you comply with State legislative requirements for Duty of Care and safe digging.
- If you damage an underground asset, you MUST advise the asset owner immediately.
- By using the BYDA service, you agree to the [Privacy Policy](#) and [Term of Use](#).
- For more information on safe digging practices, visit [www.byda.com.au](http://www.byda.com.au)

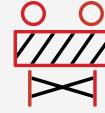
### Asset Owner Details

Below is a list of asset owners with underground infrastructure in and around your job site. It is your responsibility to identify the presence of these assets. Plans issued by Members are indicative only unless specified otherwise. Note: not all asset owners are registered with BYDA. You must contact asset owners not listed here directly.

Referral ID (Seq. no)	Authority Name	Phone	Status
242941504	AusNet Gas Services Pty Ltd	1800 088 208	NOTIFIED
242941500	Hume City Council	(03) 9205 2424	NOTIFIED
242941501	Jemena Electricity Networks (VIC)	1300 825 469	NOTIFIED
242941506	NBN Co VicTas	1800 687 626	NOTIFIED
242941502	Optus and or Uecomm Vic	1800 505 777	NOTIFIED
242941505	Telstra VICTAS	1800 653 935	NOTIFIED
242941503	Yarra Valley Water Ltd	1300 853 811	NOTIFIED

END OF UTILITIES LIST

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## Plan

Plan your job. Use the BYDA service at least one day before your job is due to begin, and ensure you have the correct plans and information required to carry out a safe project.

## Prepare

Prepare by communicating with asset owners if you need assistance. Look for clues onsite. Engage a skilled Locator.

## Pothole

Potholing is physically sighting the asset by hand digging or hydro vacuum extraction.

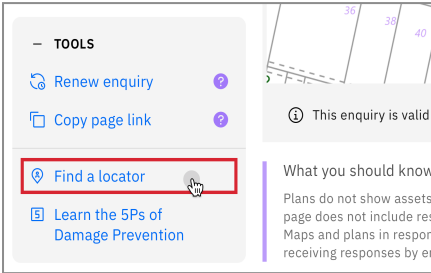
## Protect

Protecting and supporting the exposed infrastructure is the responsibility of the excavator. Always erect safety barriers in areas of risk and enforce exclusion zones.

## Proceed

Only proceed with your excavation work after planning, preparing, potholing (unless prohibited), and having protective measures in place.

## Engage a skilled Locator



When you lodge an enquiry you will see skilled Locators to contact

Visit the Certified Locator website directly and search for a locator near you

[dbydlocator.com/certified-locating-organisation](http://dbydlocator.com/certified-locating-organisation)

## Book a FREE BYDA Session



BYDA offers two different sessions to suit you and your organisation's needs. The free sessions are offered in two different formats - online and face-to-face:

1. **Awareness Session:** Understand the role of BYDA, safe excavation practices, complying with asset-owner instructions, and the consequences of damages. Learn how to mitigate and avoid potential damage and harm and ensure a safe work environment.
2. **Plan Reading Session:** Develop the skills to interpret asset owners' plans, legends, and symbols effectively. Understand the complexities of plan interpretation to ensure smooth project execution.

To book a session, visit:

[byda.com.au/contact/education-awareness-enquiry-form/](http://byda.com.au/contact/education-awareness-enquiry-form/)

**BOOK NOW**

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**Referral**  
242941500

**Member Phone**  
(03) 9205 2424

## Responses from this member

**Response received** Wed 7 Aug 2024 10.42am

File name	Page
Response Body	5
ASSET 242941500.pdf	6

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**Attention: Adem turer**

Thank you for your Before You Dig (BYDA) enquiry.

**Job Number:** 37303509  
**Sequence Number:** 242941500  
**Dig Site Location:** 4 Frank St Dallas  
VIC 3047

According to our records your enquiry with the above details **impacts our infrastructure**. Please review other documents included with this response for additional details:

**If you require further information or assistance with interpretation of plans, please contact the Hume City Council Civil Design Dept on (03) 9205 2424 or send email attn: Civil Design to [contactus@hume.vic.gov.au](mailto:contactus@hume.vic.gov.au).**

**For size, depth & offset of Council's Stormwater drain, please submit an application via Council's online portal <https://ehume.hume.vic.gov.au/>.**

**If you require information on Building Permits or have any other general queries, please contact Hume City Council Building Dept on (03) 9205 2200 or [contactus@hume.vic.gov.au](mailto:contactus@hume.vic.gov.au).**

**If you require information on Council's 'Application form for Consent to Work in a Road Reserve', please contact Council's Technical Services Dept on (03) 9205 2577.**

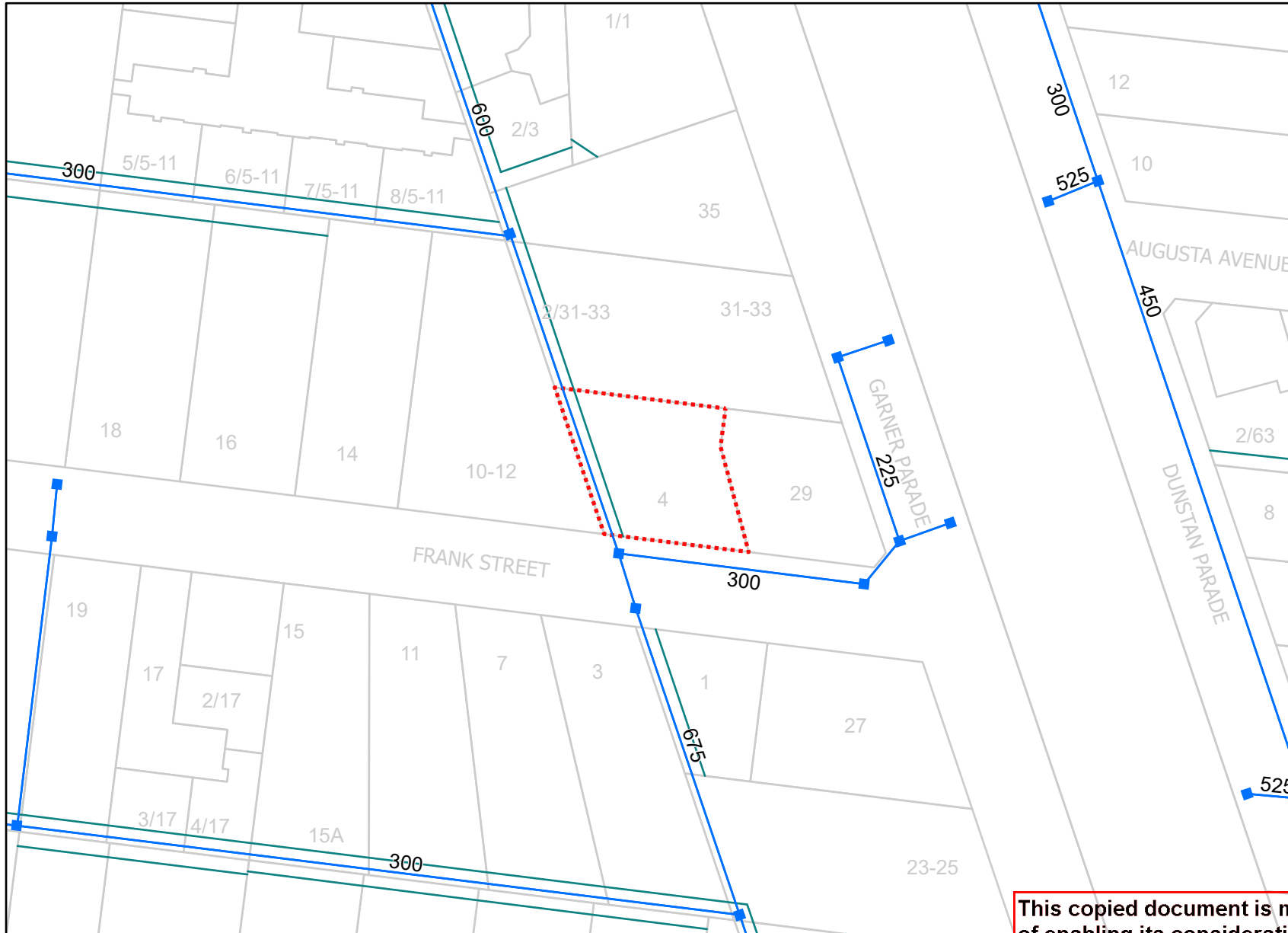
**This enquiry is valid for 30 days from the enquiry date.**

**Important Notice:** This enquiry response, including any associated documentation, has been assessed and compiled from the information detailed within the BYDA enquiry outlined above. **Please ensure that the BYDA enquiry details and this response accurately reflect your proposed works.**

**Please note: When working in the vicinity of Hume City Council assets you have a legal 'Duty of Care' that must be observed. Please note you are required to obtain consent from Council prior to undertaking any works unless you are a body or persons that are exempt from such a requirement.**

[View web map](#)

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**Legend**

-  BYDA Enquiry
-  Stormwater Pits
-  Stormwater Pipes
-  Easements

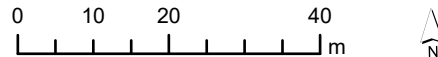
Disclaimer: The Plan is provided in response to a Before You Dig request. While all reasonable care has been taken to ensure the accuracy of the information on this plan, its purpose is to provide a general indication of the location of Hume City Council infrastructure. The information provided may contain errors or omissions and the accuracy may not suit all users. A site inspection and investigation is recommended before commencement of any project based on this data.

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In an emergency contact Hume City Council on 03 9205 2200

07/08/24 (valid for 30 days)

Plans generated by SmarterWX™ Automate



## Jemena Electricity Networks (VIC)

Referral  
242941501

Member Phone  
1300 825 469

### Responses from this member

Response received Wed 7 Aug 2024 10.43am

File name	Page
Response Body	8
PBA275_A.pdf	9
CDA120799_A.pdf	10
242941501 JEN Letter.pdf	11
242941501 JEN Plan.pdf	15
JDQ091_A.pdf	16

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ATTENTION: Adem turer

Please DO NOT SEND A REPLY to this email as it has been automatically generated and replies are not monitored.

Thank you for your DBYD enquiry.

Job No: 37303509  
Sequence No: 242941501  
Enquiry location:  
4 Frank St  
Dallas  
VIC 3047

Attached are the files containing information relating to your recent DBYD request. Please read and understand all the attached documentation. If you require further information in relation to Jemena Electricity Network (JEN) cables, please contact Jemena on 1300 825469.

DISCLAIMER: The location of underground assets and services is approximate and their exact position and existence should be proven on site by careful hand excavation.

This reply relates only to the location indicated above and is valid for 28 days from the Date of Issue in the attached letter. Where additional works are planned that have not been specified within this reply, Jemena require that an additional enquiry be submitted to Dial Before You Dig enquiry service - <http://1100.com.au>

Note: If you have received this email in error, please advise by calling 1300 825 469 and quote the Sequence Number listed above.

If you are unable to launch any of the files for viewing and printing, you may need to download and install free viewing and printing software such as:

Adobe Acrobat Reader (for PDF files) - <http://get.adobe.com/reader>

\*\*\*\*\*

This is a confidential message intended for the named recipient(s) only. The contents herein are privileged to the sender and the use thereof is restricted to the intended purpose. If you have received this e-mail in error, please do not use, disclose, distribute, copy, print or relay on this email. If receipt is in error, please advise the sender by reply email. Thank you.

\*\*\*\*\*

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### Underground Service Cable

www.jemena.com.au

Please install Underground Service Cable (Pole to Pit) as per below sketch in accordance with Jemena Electricity Networks (Vic) Ltd (JEN) Drawing SP5/2620 or SP5/2626/5, or SP5/2626A.

NOTE : All U/G cables are 16mm<sup>2</sup> lv 4/c c. x. in 63mm conduit 600mm deep unless otherwise stated.

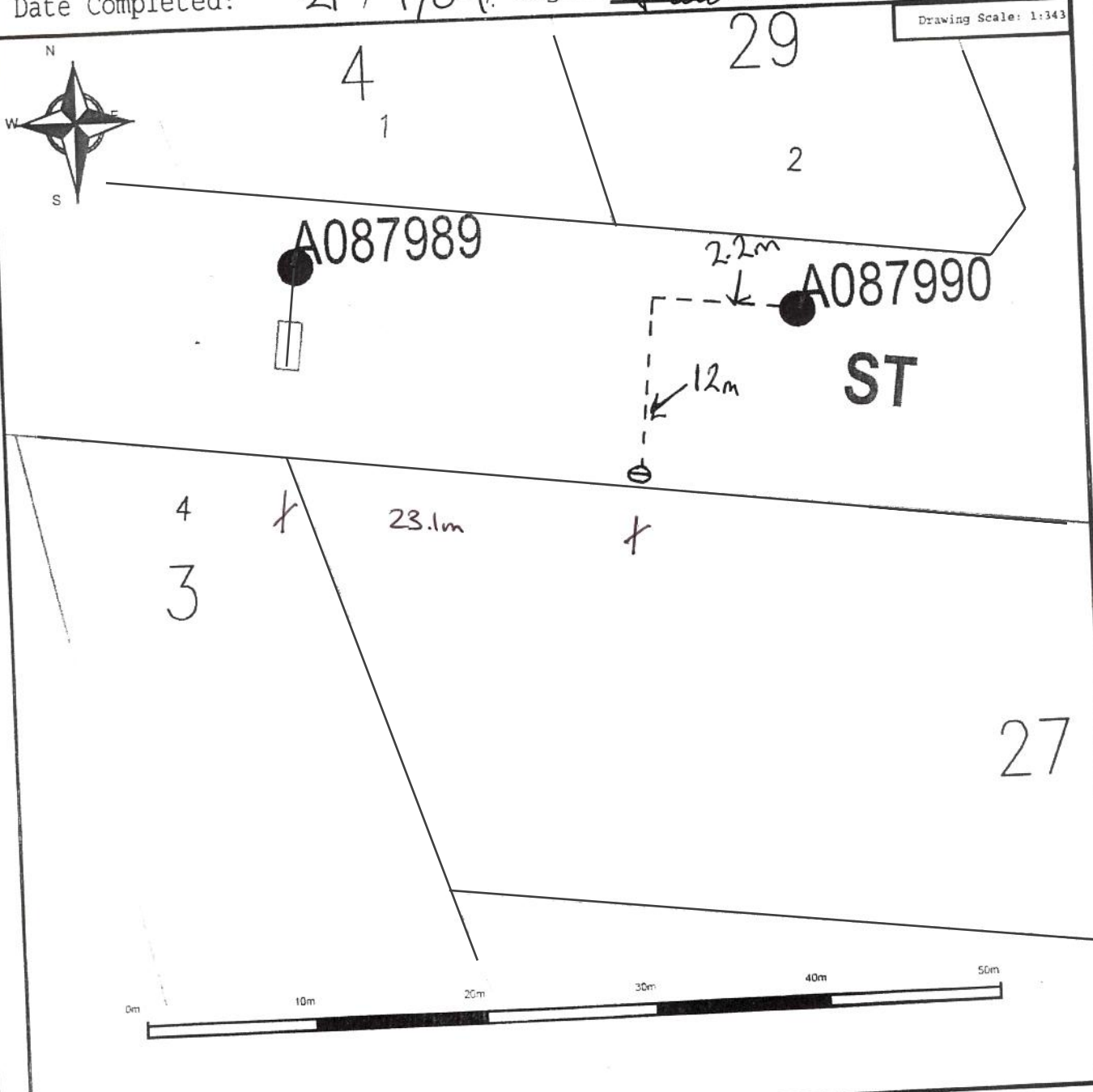
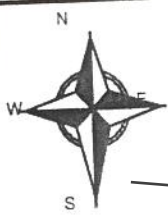
Job Address: 1 Frank St, Broadmeadows 3047  
 Contractor's Name: Transfield/Adaban PM Order No: 2964579344  
 Melways: 705 Issue Date: 20 Aug 09 Target Date: 8 Sep 09

(To be filled in by contractor when assets are measured as per Jemena Electricity Networks (Vic) Ltd (JEN) Standards after installation.)

Box must be ticked when Installation is to Jemena Electricity Networks (Vic) Ltd (JEN) Drawings Standards

Date Completed: 21/9/09 Signed: [Signature]

Drawing Scale: 1:343



27

Date Plotted : 20/08/2009

Plotted by : Claire Ingham (Transfield CITRIX)

PBA275

FRANK ST - 1 (A)





7/08/2024

Adem turer  
AT ARCD DESIGN PTY LTD  
8/ 1 international drive,  
west meadows, VIC 3049

Jemena Electricity Networks (Vic) Ltd  
ABN 82 064 651 083

Level 16, 567 Collins St,  
Melbourne, Vic 3000  
[www.jemena.com.au](http://www.jemena.com.au)

1300 825 469

## Dial Before You Dig Enquiry Response

Job Number: 37303509  
Sequence Number: 242941501  
Authority Name: Private  
Enquiry Date: 7/08/2024  
Enquiry Location: 4 Frank St  
Dallas, VIC 3047

## Underground Electricity - Assets Affected

Please find attached plans and drawings of electricity underground assets nearest to the vicinity of your enquiry.  
This information is only valid for 28 days from the date of issue.

Attached to this response are the following documents and comments:

Jemena Assets Affected Cover Letter and Conditions  
Dig site plan(s)  
Drawings:  
CDA120799\_A.pdf, JDQ091\_A.pdf, PBA275\_A.pdf

### For Your Safety

If you observe obvious underground electrical cables and they appear to be additional to the information supplied, please call 1300 825 469 for further assistance.

**DO NOT PROCEED UNTIL YOU HAVE READ THIS NOTICE IN FULL**

DBYD Enquiries 1300 825 469

Faults & Emergencies 131 626

[www.jemena.com.au](http://www.jemena.com.au)



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Page 1 of 4

## CONDITIONS FOR WORKING IN THE VICINITY OF UNDERGROUND CABLES

SEQUENCE NUMBER : 242941501

DATE OF ISSUE : 7/08/2024

**NOTE:** Other Utilities may have electrical assets in the vicinity of your work about which we have no information. This office does not usually have plans of privately owned cables on private property. Your attention is expressly drawn to the information and disclaimers below and **'The Conditions for Working in the Vicinity of Underground Cables' attached.**

Your attention is expressly drawn to the information and disclaimers below.

1. Jemena Electricity Networks (Vic) Ltd. takes all reasonable care in providing details of its cables, however, due to the nature of underground cables and the age of some cables and records, it is impossible to conclusively ascertain the location of all cables. The accuracy and/or completeness of the information cannot be guaranteed and, accordingly, is intended to be indicative only. Information should not be solely relied upon when undertaking underground works.
2. Due to the inherent dangers associated with excavation in the vicinity of underground cables, precautions should be taken in the undertaking of any underground works, including (but not limited to) the following:
  - All excavation sites should be examined visually for underground cables by careful hand excavation. Cable cover slabs if present must not be disturbed;
  - Particular attention should be paid to areas surrounding all High Voltage Switches and distribution substations (e.g. Pole type Substations, Kiosk Substations, Indoor and Ground type Substations) as there are often unrecorded earth wires buried in the vicinity;
  - If any undisclosed underground cables are located, Jemena Electricity Networks (Vic) Ltd. should be notified immediately on telephone 131 626;
  - All personnel must be properly briefed, particularly those associated with the use of earthmoving equipment, trenching, boring and pneumatic equipment;
  - All work must be undertaken in accordance with the Electricity Safety Act 1998 and the Electricity Safety Installation Regulations 2009.
3. Except to the extent that liability may not be capable of lawful exclusion, Jemena Electricity Networks (Vic) Ltd. and its servants and agents shall be under no liability whatsoever to any person for loss or damage (including indirect or consequential loss or damage) however caused (including, without limitation, breach of contract negligence and/or breach of statute) which may be suffered or incurred from or in connection with this information sheet or any Plans attached hereto. For the purposes of this condition, Jemena Electricity Networks (Vic) Ltd. has contracted on behalf of its servants and agents.
4. Except as expressly provided to the contrary in this information sheet or the attached Plans, all terms, conditions, warranties, undertakings or representations (whether expressed or implied) are excluded to the fullest extent permitted by law.
5. Any information provided is valid only for 28 days from the date of issue.

### **NO GO ZONES**

If any **overhead** or **underground** powerlines are near your proposed work, will your equipment intrude into a NO GO Zone?

If the answer is YES, or you are NOT SURE, then please phone **131 626** for No Go Zone matters.

Further information concerning No Go Zones may be obtained from:

[www.worksafe.vic.gov.au](http://www.worksafe.vic.gov.au)  
<http://www.esv.vic.gov.au>

Before work commences, you must follow the NO GO ZONE safety procedures

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Page 2 of 4



### **Protective Covers**

Our electrical cables usually have protective covers of;

1. Concrete or PVC cover slabs;
2. PVC, A.C. or galvanised iron pipe;
3. Concrete encased PVC pipe;
4. Thin Plastic marker tape; or
5. Wooden troughing;

Note: Some cables are known to be buried without protection.

To assist in the identification of an underground cable, some installations have marker tape installed above the cover slab or conduit protecting the cable. You must not rely on marker tape as a test for existence of underground cables.

### **Location of Cable(s)**

All reasonable care is taken to ensure that the location and level of cable(s) shown on our office drawing/s are correct at the time of installation, however, reference points may change and therefore proving of the cable(s) is essential when working in close proximity to them.

### **Excavating parallel to Cable(s)**

Generally there is no restriction to excavating parallel to our cable(s) to a depth not exceeding that of the cable. When proposed excavations are within 500mm of our cable(s), trial holes shall be hand dug at regular intervals to prove the actual locations of the cable(s).

If excavation is to exceed the depth of the cable(s) and it is likely that the protective covers or the bedding material around the cable(s) may be disturbed, or within 500mm, please phone **131 626** for No Go Zone matters

### **Excavating across Cable(s)**

It is essential that the location of cable(s) is proven by careful hand digging before using mechanical excavating machinery within 500mm of the cable(s).

A Minimum clearance of 300mm above from a cable shall be maintained.

In no case shall a cable protective cover be removed without approval.

If the width or depth of the excavation is such that the cable(s) will be exposed, our office shall be contacted to determine whether the cable(s) should be taken out of service, or whether they need to be protected or supported.

### **Heavy Machinery Operating over Cable(s)**

Where heavy "Crawler" or "Vibration" type machinery is operated over the top of cable(s), a minimum cover of 1000mm to the cable protective cover must be maintained whilst the machinery is in operation.

### **Boring**

Where it is required to bore across the line of the cable(s), the actual location of the cable(s) shall be first proven by hand digging.

A trench shall be dug one metre from the side of the cable(s) which the auger will approach, to ensure a minimum clearance of 150mm can be maintained.

### **Explosives**

The use of explosives within 3.0 metres of a cable(s) is not allowed.

### **Regulations**

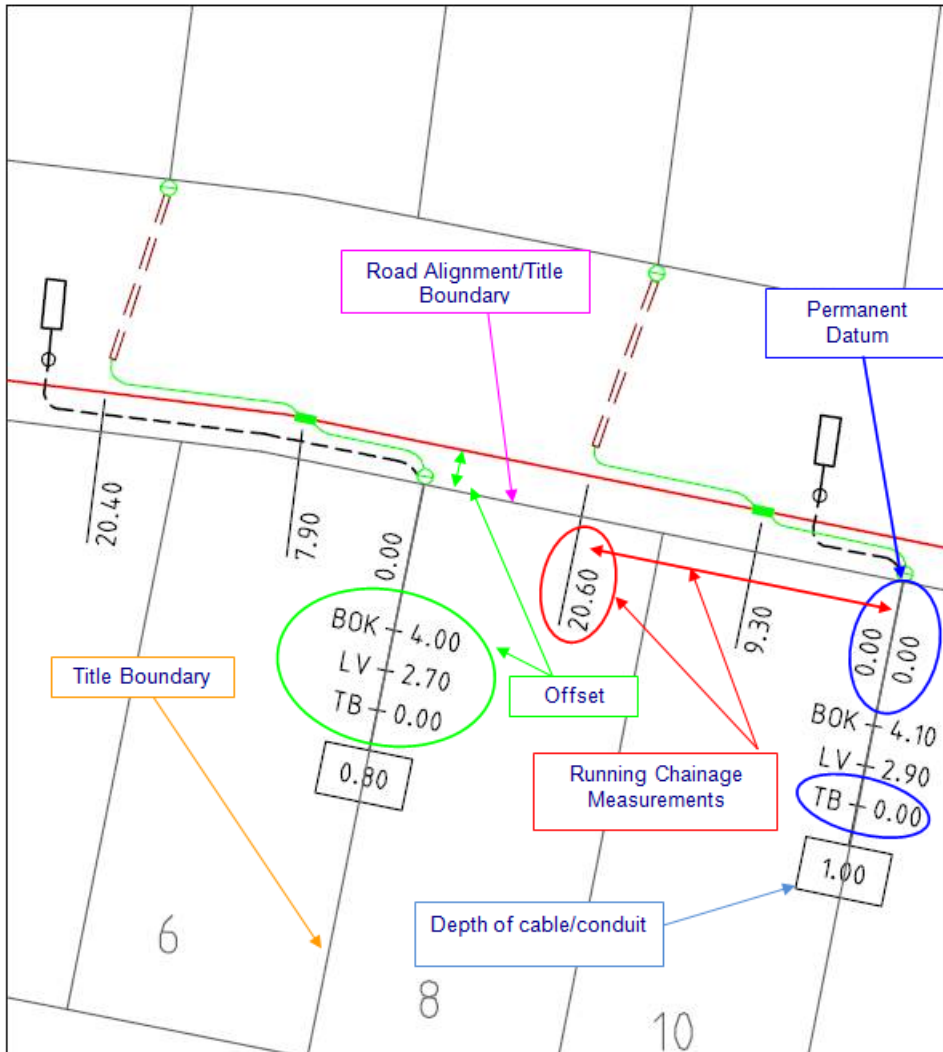
All work must be undertaken in accordance with the Electricity Safety Installation Regulations 2009.

### **Alteration of Levels**

If it is desired to increase or decrease ground levels above our cables, please contact our office before the project commences to seek our approval.

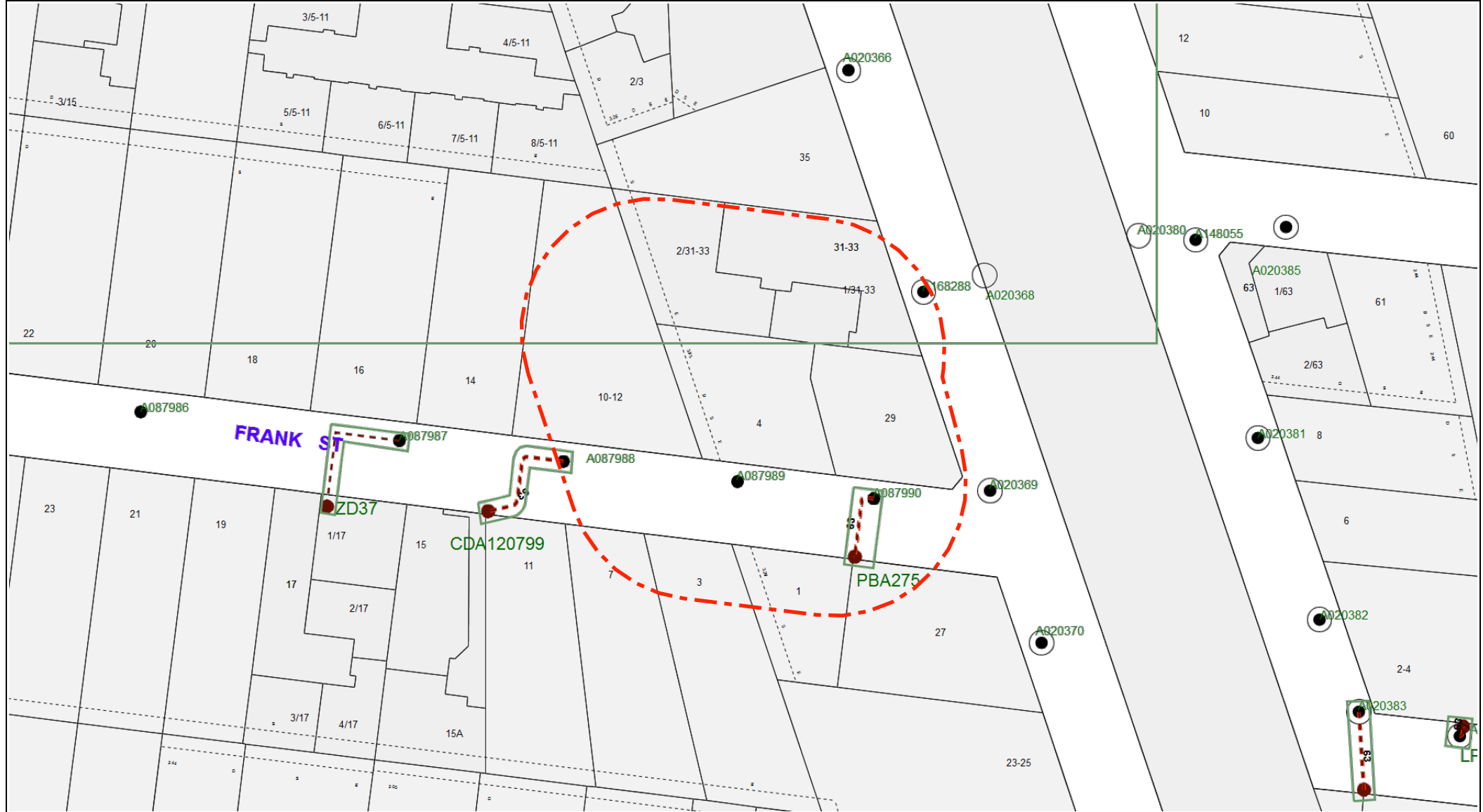
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### How to read Jemena Electricity plans



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Legend		
LV Cable	Conduit	Drawing Boundary
HV Cable	Asbestos Conduit	Zone Sub. / Terminal Station
Subtransmission Cable	DBYD Search Area	Distribution Substation
Fibre Optic / Auxiliary Cable	Connection	LV / Lighting Pole
		LV / HV Pole
		HV Pole
		LV / Subtrans. Pole
		LV / HV / Subtrans. Pole
		HV / Subtrans. Pole
		Subtrans. Pole

**Issue Date:** 07/08/2024

**DBYD Seq. No:** 242941501

**DBYD Job No:** 37303509

**WARNING:** This is a representation of Jemena Electricity Networks underground assets only and may not indicate all assets in the area. It must not be used for the purpose of exact asset location in order to undertake any type of excavation. Please read all conditions and information on the attached information sheet. This extract is subject to those conditions. The information contained on this plan is only valid for 28 days from the Date of Issue.

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## Optus and or Uecomm Vic

Referral  
242941502

Member Phone  
1800 505 777

### Responses from this member

Response received Wed 7 Aug 2024 10.44am

File name	Page
Response Body	18
242941502 - Optus Response Letter.pdf	19
242941502 - Optus Plan.pdf	31

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Optus - Before You Dig Australia - REFERRAL NOTIFICATION

This referral has been successfully processed by Optus and the results are contained in the attached files.

Notice: Please DO NOT REPLY TO THIS EMAIL as it has been automatically generated and replies are not monitored.

If you have any queries or attachments missing please contact:

Network Operations Centre  
1 Lyonpark Road,  
Macquarie Park, NSW 2113  
Ph: 1800 505 777  
Fax: 1300 307 035

You will require Adobe Reader to view attachments.

<http://www.adobe.com/downloads/>

We thank you for your enquiry and appreciate your continued use of the “Before You Dig Australia Service” Asset Analysis Service. If you require further information in relation to Optus and/or Uemcomm cables please contact Optus on above.

This reply relates only to the location indicated above and is valid for 30 days from the sent date. Where additional works are planned that have not been specified within this reply, Optus require that an additional enquiry be submitted to Before You Dig Australia enquiry Service: <http://www.byda.com.au>

In the case of no additional location request being submitted, Optus will hold the relevant party responsible for any damage to Optus and/or Uecomm plant and all expenses incurred by Optus as a result of asset damage.

This e-mail may contain confidential information. If you are not the intended recipient, please notify Network Operations Centre immediately and delete this e-mail from your system. You must not disclose this e-mail to anyone without express permission from the sender. The contents of all e-mails sent to and received from Optus may be scanned, stored, or disclosed to others at Optus' discretion.

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Date: 07 Aug 2024  
To: Adem turer  
Company: AT ARCDDESIGN PTY LTD  
Address: 8/ 1 international drive  
west meadows, VIC 3049

## ENQUIRY DETAILS

Location: 4 Frank St, Dallas, VIC 3047  
Sequence No.: 242941502  
BYDA Reference: 37303509

In relation to your enquiry concerning the above location, Optus advises as follows:

**Optus records indicate that there ARE underground Optus FIBRE OPTIC TELECOMMUNICATIONS ASSETS in the vicinity of the above location as per the attached drawing(s).**

**PLEASE NOTE that any interference with these assets may be considered an offence under the Criminal Code Act 1995 (Cth). Optus reserves the right to seek compensation for loss or damage to its assets including consequential loss.**

**This reply is valid for a period of 30 days from the date above.**

## IMPORTANT INFORMATION

Asset location drawings provided by Optus are reference diagrams and are provided as a guide only. The completeness of the information in these drawings cannot be guaranteed. Exact ground cover and alignments cannot be provided with any certainty as these may have altered over time. Depths of telecommunications assets vary considerably as do alignments. It is essential to identify the location of any Optus assets in the vicinity prior to engaging in any works.

**All Optus assets in the vicinity of any planned works will need to be electronically located to ascertain their general location. Depending on the scope of planned works in the vicinity, the assets may also need to be physically located.**

**YOU MUST ENGAGE THE SERVICES OF ONE OF THE OPTUS ASSET ACCREDITED LOCATORS TO CARRY OUT ASSET LOCATION (REFER LIST OF ACCREDITED LOCATORS AT THE END OF THIS OPTUS RESPONSE).**

**Unless otherwise agreed with Optus, where an on-site asset location is required, the requestor is responsible for all costs associated with the locating service including (where required) physically exposing the Optus asset.**

## DUTY OF CARE

When working in the vicinity of telecommunications assets you have a legal "Duty of Care" and non-interference that must be observed.

It is your responsibility as the requesting party (as a landowner or any other party involved in the planned works) to design for minimal impact to any existing Optus asset. Optus can assist at the design stage through consultation.

It is also your, as the requesting party (or your representative's), responsibility to:

- Obtain location drawings (through the Before You Dig Australia process) of any existing Optus assets at a reasonable time before any planned works begin;
- Have an Optus Accredited Asset Locator identify the general location of the Optus asset and physically locate the asset where planned works may encroach on its alignment, and
- Contact Optus for further advice where requested to do so by this letter.

**DAMAGE TO ANY OPTUS ASSET MUST BE REPORTED TO 1800 505 777 IMMEDIATELY**

You, your head contractor, and any relevant subcontractor are all responsible for any Optus asset damage as a result of planned activities in the vicinity of Optus assets.

This applies where works commence prior to obtaining Optus drawings, where there is failure to follow instructions or during any construction activities.

**Optus reserves the right to recover compensation for loss or damage to its assets including consequential loss. Also, you, your head contractor and any relevant subcontractor may also be liable for prosecution under the Criminal Code Act 1995 (Cth).**

**ASSET RELOCATIONS**

You are not permitted by law to relocate, alter or interfere with any Optus asset under any circumstance. Any unauthorised interference with an Optus asset may lead to prosecution under the Criminal Code Act 1995 (Cth). Enquiries relating to the relocation of Optus assets must be referred to the relevant Optus Damages and Relocations Team (refer to "FURTHER ASSISTANCE").

**APPROACH DISTANCES**

On receipt of Optus asset location drawings and prior to commencing any planned works near an Optus asset, engage an Optus Accredited Locator to undertake a general location of the Optus asset.

Physical location of the Optus asset by an Optus Accredited Locator will also be required where planned works are within the following approach distances of the general location of the Optus asset:

- a) In built up metropolitan areas where road and footpaths are well defined by kerbs or other features a minimum clear distance of 1 meter must be maintained from the general location of the Optus asset.
- b) In non-established or unformed metropolitan areas, a minimum clear distance of 3 meters must be maintained from the general location of the Optus asset.
- c) In country or rural areas where wider variations may exist between the general and actual location of an Optus asset may exist, then a minimum clear distance of 5 meters must be maintained from the general location of the Optus asset.

If planned works are parallel to the Optus asset, then the Optus asset must be physically located by an Optus Accredited Locator at a minimum of 5 meter intervals along the length of the parallel works prior to work commencing.

Under no circumstances is crossing of any Optus asset permitted without physical location of the asset being carried out by an Optus Accredited Locator. Depending on the asset involved an Optus representative may be required onsite.

The minimum clearances to the physical location of Optus assets for the following specific types of works must be maintained at all times.

**Note: Where the clearances in the following table cannot be maintained or where the type of work differs from those listed then advice must be sought from the relevant Optus Damages and Relocations Team (refer to "FURTHER ASSISTANCE").**

Type of Works	Clearance to Physical Location of Optus Asset
Jackhammers / Pneumatic Breakers	Not within 1 meter.
Light duty Vibrating Plate or Wacker Packer type compactors (not heavy road construction vibrating rollers etc.)	500mm compact clearance cover before a light duty compactor can be used over any Optus conduit.  No compaction permitted over Optus direct buried cable without prior approval from Optus.
Boring Equipment (in-line, horizontal and vertical)	Not within 5 meters parallel of the Optus asset location without an Accredited Optus Asset Locator physically exposing the Optus asset and with an Optus representative onsite.  Not to cross the Optus asset without an Accredited Optus Asset Locator physically exposing the Optus asset and with an Optus representative onsite.

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Type of Works	Clearance to Physical Location of Optus Asset
Heavy vehicle Traffic (over 3 tonnes)	<p>Not to be driven across Optus conduits with less than 600mm of cover.</p> <p>Not to be driven across Optus direct buried cable with less than 1.2 meters of cover.</p> <p>Once off crossings permitted, multiple crossing (e.g. road construction or logging) will require Optus approval.</p> <p>Accredited Optus Asset Locator to physically expose the Optus asset to verify actual depth.</p>
Mechanical Excavators, Farm Ploughing, Vertical Hole installation for water bore or fencing etc.	<p>Not within 1 meter.</p> <p>Accredited Optus Asset Locator to physically expose the Optus asset to verify actual location.</p>

**ASSET CLEARANCES AFTER COMPLETION OF WORKS**

All Optus pits and manholes must be a minimum of 1 meter from the back of any kerb, 3.5 meters of the road surface without a kerb or not within 15 meters of street intersection.

In urban areas Optus conduit must have the following minimum depth of cover:

- Footway 600mm;
- Roadway 1 meter at drain invert and at road centre crown.

In rural areas Optus conduit must have a minimum depth of cover of 1 meter and direct buried cable 1.2 meters.

In cases where it is considered that the above clearances cannot be maintained at the completion of works, advice must be sought from the relevant Optus Damages and Relocations Team (refer "Further Assistance").

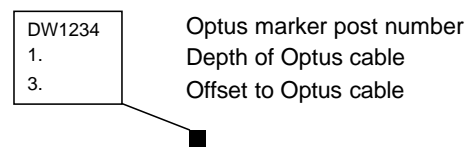
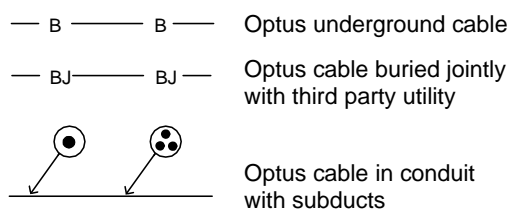
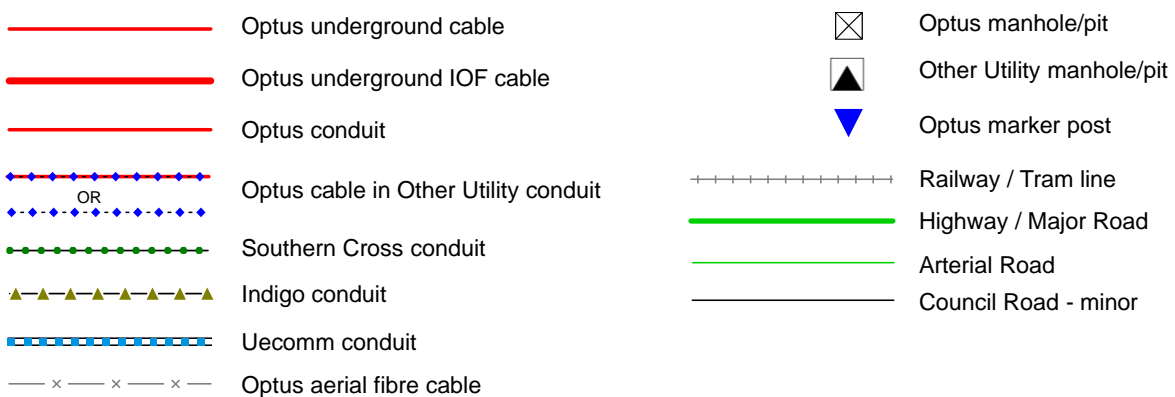
**FURTHER ASSISTANCE**

Further assistance on asset clearances, protection works, or relocation requirements can be obtained by contacting the relevant Optus Damages and Relocations Team on the following email address:

[NFODamages&RelocationsDropbox@optus.com.au](mailto:NFODamages&RelocationsDropbox@optus.com.au)

Further assistance relating to asset location drawings etc. can be obtained by contacting the Optus Network Operations Asset Analysis Team on 1800 505 777.

**OPTUS ENGINEERING DRAWING SYMBOLS**



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## Optus Accredited Asset Locators

Name	Company Name	Phone	Email	State	Region/Service Area
Drew Misko	Australian Subsurface Pty Ltd	0427 879 600	<a href="mailto:admin@australiansubsurface.com">admin@australiansubsurface.com</a>	ALL	ALL
Andrew Watson	Subsurface Mapping Solutions Pty Ltd	0408 839 723	<a href="mailto:admin@subsurfacems.com.au">admin@subsurfacems.com.au</a>	ALL (Not TAS)	South East QLD + Aus wide
Chris Gordon	Heavy Construction Solutions	1300 859 027	<a href="mailto:chris.gordon@heavycs.com.au">chris.gordon@heavycs.com.au</a>	VIC,NSW,QLD,SA TAS	All
Alan Cordner	Alcom Fibre Services Pty Ltd	0400 300 337	<a href="mailto:alcomfibre@bigpond.com">alcomfibre@bigpond.com</a>	NSW	Sydney, NSW
Brad McCorkindale	Bradmac Locating Services	0434 157 409	<a href="mailto:info@bradmaclocating.com.au">info@bradmaclocating.com.au</a>	NSW	NSW
Shane Buckley	Cable & Pipe Locations Pty Ltd	0408730430	<a href="mailto:shane@cableandpipelocations.com.au">shane@cableandpipelocations.com.au</a>	NSW	North Coast , Mid North Coast, Central West, Northern Rivers
Annabelle Pegler	Down Under Detection Services (DUDS)	0418 267 964	<a href="mailto:apegler@duds.net.au">apegler@duds.net.au</a>	NSW	All
Bruce Whittaker	Optical Fibre Technologies	0402 354 322	<a href="mailto:opticaltek1@aol.com">opticaltek1@aol.com</a>	NSW	Sydney/Wollongong
George Koenig	Downunder Locations	0438243856	<a href="mailto:downunderlocations@gmail.com">downunderlocations@gmail.com</a>	NSW	Tweed Heads/Gold Coast
Michael Grant	M&K Grant Bega Bobcats Pty Ltd	0427 260 423	<a href="mailto:zzbobcat@bigpond.net.au">zzbobcat@bigpond.net.au</a>	NSW	Bega, Far South Coast
Antony Critcher	Geotrace Australia Pty Ltd	0417 147 945	<a href="mailto:antony@geotrace.com.au">antony@geotrace.com.au</a>	NSW	All Areas, Sydney, Wollongong, Newcastle, ACT
Sarah Martin	Hydro Digga	0447 774 000	<a href="mailto:admin@hydrodigga.com">admin@hydrodigga.com</a>	NSW	Mid North Coast
Nathan Ellis	Utility Locating Services	0404 087 555	<a href="mailto:nathan@uls.com.au">nathan@uls.com.au</a>	NSW	Sydney
Scott O'Malley	Coastal Cable Locators Pty Ltd	0427 975 777	<a href="mailto:skomalley@bigpond.com">skomalley@bigpond.com</a>	NSW	South Coast- Snowy Mountains- Southern Highlands
Liam Bolger	Brandon Construction Services	0438 044 008	<a href="mailto:liam.bolger@hotmail.com">liam.bolger@hotmail.com</a>	NSW	Sydney
Laura Elvery	Durkin Construction Pty Ltd	02 9712 0308	<a href="mailto:info@durkin.au">info@durkin.au</a>	NSW	NSW

Shireen Sidhu	Locate & Map	(02) 8753 0049	<a href="mailto:admin@locateandmap.com.au">admin@locateandmap.com.au</a>	NSW	Sydney & Regional NSW only
Ken Browne	Riteway Traffic Control Pty Ltd	0419 212 969	<a href="mailto:kbrowne@ritewaytc.com.au">kbrowne@ritewaytc.com.au</a>	NSW	Central Coast, Hunter
Jean-Max Monty	Civilscan	1300 575 488	<a href="mailto:john@civilscan.com.au">john@civilscan.com.au</a>	NSW	Sydney, Central Coast, Newcastle, Wollongong, Hunter Valley, Blue Mountains
Scott Hunter	Hunter Ground Search	0409327345	<a href="mailto:admin@hunter-groundsearch.net.au">admin@hunter-groundsearch.net.au</a>	NSW	Hunter, Upper Hunter, Central Coast, Newcastle
Damien Black	Mid North Coast Hydro Digging & Service Locating P/L	0418 409 465	<a href="mailto:djblack1@bigpond.com">djblack1@bigpond.com</a>	NSW	Mid North Coast
Michael Nicholls	Utility Mapping NSW	1300 627 746	<a href="mailto:sydney@utilitymapping.com.au">sydney@utilitymapping.com.au</a>	NSW	All NSW
Joseph Restuccia	ProLocate	0415 633 393	<a href="mailto:joe.restuccia@prolocate.com.au">joe.restuccia@prolocate.com.au</a>	NSW	NSW Wide
Barry Maloney	Online Pipe & Cable Locating	1300 665 384	<a href="mailto:Office@onlinepipe.com.au">Office@onlinepipe.com.au</a>	NSW	Sydney, Central Coast, Canberra, Wollongong, Newcastle
Sam Romano	Locating Services	0403 065 510	<a href="mailto:sam.romano@locatingservices.com.au">sam.romano@locatingservices.com.au</a>	NSW	NSW All
Scott Allison	Crux Surveying Australia	02 9540 9940	<a href="mailto:sydneyoffice@cruxsurveying.com.au">sydneyoffice@cruxsurveying.com.au</a>	NSW	Sydney Metro & Surrounding Areas
Donna Wullaert	Commence Communications Pty Ltd	02 6226 3869	<a href="mailto:admin@commencecomms.com.au">admin@commencecomms.com.au</a>	NSW	Canberra/ Yass / Bungendore/ Goulburn and surrounding regional areas
Grant Pearson	Warrabinya Services	0423 651 615	<a href="mailto:sales@warrabinya.com.au">sales@warrabinya.com.au</a>	NSW	Sydney Metro & Surrounding Areas
Stephen Fraser	Advanced Ground Locations	(02) 4930 3195	<a href="mailto:steve_agl@hotmail.com">steve_agl@hotmail.com</a>	NSW	Newcastle, Hunter Valley, Central Coast, Taree & Surrounding Areas
Andrew Findlay/ Anthony Hart	LiveLocates	0429 899 777	<a href="mailto:info@livelocates.com.au">info@livelocates.com.au</a>	NSW	South Coast/ACT, Snowy Mountains
Graeme Teege	Armidale Electrical	02 6772 3702	<a href="mailto:office@armidale-electrical.com.au">office@armidale-electrical.com.au</a>	NSW	Armidale
Samantha Guptill	Australian Locating Services	1300 761 545	<a href="mailto:admin@locating.com.au">admin@locating.com.au</a>	NSW	Sydney / Central Coast
Clay Laneyrie	Laneyrie Electrical	0411142627	<a href="mailto:bindy@laneyrieelectrical.com.au">bindy@laneyrieelectrical.com.au</a>	NSW	Illawarra, South Coast, Shoalhaven, Southern Highlands



Reece Gainsford	East Coast Locating Services	0431 193 111	<a href="mailto:eastcoastlocating@hotmail.com">eastcoastlocating@hotmail.com</a>	NSW	Sydney, Maitland, Newcastle, Hunter, Port Stephens, Central Coast
Craig Vallely	Aqua Freeze & Locate Pty Ltd	0458 774 440	<a href="mailto:service@aquafreeze.com.au">service@aquafreeze.com.au</a>	NSW	Sydney only
Jason Vane	Smartscan Locators PTY Ltd	1300 778 923	<a href="mailto:Admin@sslocators.com.au">Admin@sslocators.com.au</a>	NSW	Sydney
Alex Farcash	Newcastle Locating Services Pty Ltd	0410698599	<a href="mailto:Admin@newcastlelocatings-services.com.au">Admin@newcastlelocatings-services.com.au</a>	NSW	Newcastle, Hunter Valley, Central Coast, Taree & Surrounding Areas
Amer El Chami	Site Scan Pty Ltd	0449 992 520	<a href="mailto:office@sitescan.net.au">office@sitescan.net.au</a>	NSW	All NSW
Ian Brown	A1 Locate Services	0400 484 828	<a href="mailto:Ian.brown@a1locate.com.au">Ian.brown@a1locate.com.au</a>	NSW	All NSW
Paul Wallis	Beveridge Williams	0431 458 878	<a href="mailto:wallisp@bevwill.com.au">wallisp@bevwill.com.au</a>	NSW	Newcastle Sydney Wollongong
Cameron Handley	Wombat Underground Services	0407477038	<a href="mailto:accounts@wombatunderground-services.com.au">accounts@wombatunderground-services.com.au</a>	NSW	ALL
Samantha Cupi-ado	Geoscope Utility Detection Services Pty Ltd	1300 750 350	<a href="mailto:info@geoscopelocating.com.au">info@geoscopelocating.com.au</a>	NSW	All regions
Laurence Mead	Astrea Pty Ltd	1300 009 346	<a href="mailto:admin@astrea.com.au">admin@astrea.com.au</a>	NSW	Sydney Only
Braydon Greenwood	City Coast Services	0422432813	<a href="mailto:braydon.greenwood@live.com.au">braydon.greenwood@live.com.au</a>	NSW	NSW
Jim Morrison	Absolute Utilities Pty Ltd	0429 496 375	<a href="mailto:jim@absoluteutilities.com.au">jim@absoluteutilities.com.au</a>	NSW	Mid North Coast
Declan Dowd	Dowds Pipe And Cable Locating	0434 635 134	<a href="mailto:accounts@pipeandcable.com.au">accounts@pipeandcable.com.au</a>	NSW	Sydney/Wollongong/South Coast / Highlands/Soth west Sydney
Nicholas Schneider	Subsurface Utility Solutions	0421157372	<a href="mailto:nick@subsurf.com.au">nick@subsurf.com.au</a>	NSW	Sydney only
Ricky Evans	Riverina Cable Locating	0411444980	<a href="mailto:ricky@riverinacablelocating.com.au">ricky@riverinacablelocating.com.au</a>	NSW	Riverina, Murray
Adrian Ruane	Road and Rail Excavations Pty Ltd	0414 594 063	<a href="mailto:cody@roadandrailexcavations.com.au">cody@roadandrailexcavations.com.au</a>	NSW	Sydney only
Billy Cameron	Locate Down Under Pty Ltd	0431275034	<a href="mailto:info@locatedownunder.com.au">info@locatedownunder.com.au</a>	NSW	Central Coast/ Sydney
Daniel Hudson	Geosurv Locating Pty Ltd	1300 554 675	<a href="mailto:dan@geosurv.com.au">dan@geosurv.com.au</a>	NSW	Sydney only
Roneel Chand	JDG Civil	0416506891	<a href="mailto:sadhunaam@gmail.com">sadhunaam@gmail.com</a>	NSW	Sydney only

Tim Briggs	Deetect Locating Services	0414630852	<a href="mailto:deetect.locating@outlook.com">deetect.locating@outlook.com</a>	NSW	ACT / NSW
Sean Ferriter	Utech Solutions Pty Ltd	1300 427 614	<a href="mailto:seanf@vaughancivil.com.au">seanf@vaughancivil.com.au</a>	NSW	Sydney only
Mark Restuccia	Direct Connect Locating PTY LTD	0400507690	<a href="mailto:info@dclocating.com.au">info@dclocating.com.au</a>	NSW	NSW only
Ali Chahine	Underground Industries	0406906787	<a href="mailto:info@undergroundindustries.com.au">info@undergroundindustries.com.au</a>	NSW	Sydney only
Scott Copetti	Metiri	0435 710 399	<a href="mailto:scott@metiri.com.au">scott@metiri.com.au</a>	NSW	Newcastle & Hunter Region
Blake Richardson	VFT	0409 210 502	<a href="mailto:b.richardson@vfes.com">b.richardson@vfes.com</a>	NSW	NSW
Brett Pickup	BAP Services Pty Ltd	0434006009	<a href="mailto:Brett@bapservices.com.au">Brett@bapservices.com.au</a>	NSW	All Areas, Sydney, Illawarra, Newcastle, ACT
Patrick Billingham	OzDetect Pty Ltd	0497700667	<a href="mailto:patrick@ozdetect.com.au">patrick@ozdetect.com.au</a>	NSW	NSW
Euan Gow	Jurovich Surveying	1300 750 000	<a href="mailto:egow@jurovichsurveying.com.au">egow@jurovichsurveying.com.au</a>	WA/NSW/SA	All state
Jason Steger	Steger & Associates Registered Land Surveyors	0400 008 641	<a href="mailto:jason.steger@steger.com.au">jason.steger@steger.com.au</a>	ACT/NSW	ACT & Surrounds
Samuel Hathaway	Landmark Surveys	02 6280 9608	<a href="mailto:admin@landmarksurveys.com.au">admin@landmarksurveys.com.au</a>	NSW/ACT	ACT & Sourthen NSW
Kaisar sefian	Australian Utility Search Pty Ltd	0424 841 888	<a href="mailto:kaisar@aususearch.com.au">kaisar@aususearch.com.au</a>	NSW/ACT	All NSW, ACT
Daniel Fox	Epoca Environmental Pty Ltd	1300 376 220	<a href="mailto:daniel@epocaenvironmental.com.au">daniel@epocaenvironmental.com.au</a>	NSW & ACT	All NSW & ACT
Scott Tancred	SureSearch Underground Services	1300 884 520	<a href="mailto:Scott.Tancred@suresearch.com.au">Scott.Tancred@suresearch.com.au</a>	NSW/ACT QLD	NSW, Sydney, Northern NSW, Canberra, QLD, South East QLD.
Justin Martinez	LCG GLOBAL PTY LTD	0401749007	<a href="mailto:J.martinez@lcsolutions.com.au">J.martinez@lcsolutions.com.au</a>	NSW, ACT, QLD, VIC	All regions
Troy Redden	On Point Utility Locating	1300 66 76 46	<a href="mailto:Troy@onpointlocating.com.au">Troy@onpointlocating.com.au</a>	NSW/QLD	Throughout both states
Geoff Campbell	CLS Locating	0450759497	<a href="mailto:geoffrey@campbellslocating.com.au">geoffrey@campbellslocating.com.au</a>	NSW/QLD	All QLD, Northern Rivers, NSW
Alexander Bogdanoff	Expert Service Locating	0420346477	<a href="mailto:info@expertservicelocating.com.au">info@expertservicelocating.com.au</a>	NSW/QLD	Brisbane, Gold Coast, Sunshine Coast Northern Rivers NSW
Patrick Popovic	Site And See Pty Ltd	0479 162 692	<a href="mailto:patrick@siteandsee.com.au">patrick@siteandsee.com.au</a>	QLD/NSW	South East QLD & Northern NSW

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Rhys Lambert	Provac / one find cables	1300 734 772	<a href="mailto:rhys@provac.net.au">rhys@provac.net.au</a>	QLD	South East QLD
Paul Beaton	Cairns Asset Locations	0448 157 227	<a href="mailto:paul.beaton@clarketrenching.com.au">paul.beaton@clarketrenching.com.au</a>	QLD	FNQ to NT Border
Chris Hall	D C Locators Pty Ltd	0419 679 741	<a href="mailto:dcloc@powerup.com.au">dcloc@powerup.com.au</a>	QLD	Brisbane, Ipswich
Benji Lee	LADS	0478 915 237	<a href="mailto:benji@ladsqld.com.au">benji@ladsqld.com.au</a>	QLD	South East QLD
Ian Lambert	Lambert Locations Pty Ltd	07 5562 8400	<a href="mailto:admin@lambertlocations.com.au">admin@lambertlocations.com.au</a>	QLD	South East QLD & Northern NSW
Ross Clarke	FNQ Cable Locators Pty Ltd	0428 775 655	<a href="mailto:onlineco@bigpond.net.au">onlineco@bigpond.net.au</a>	QLD	QLD REGION
Col Greville	Bsure Locators	0488 520 688	<a href="mailto:admin@bsurelocators.com.au">admin@bsurelocators.com.au</a>	QLD	Wide Bay & Burnett; Central and Western QLD; Western Downs
Matthew Carr	Pensar	0405609739	<a href="mailto:matty.carr@pensar.com.au">matty.carr@pensar.com.au</a>	QLD	Brisbane
Jimmy Wilkins	GeoRadar Asutrialia Pty Ltd	0425057722	<a href="mailto:jimmy@georadar.net.au">jimmy@georadar.net.au</a>	QLD	Emerald, Bundeaberg
Craig Waite	C Locate	0437 808 444	<a href="mailto:clocate@bigpond.com">clocate@bigpond.com</a>	QLD	Brisbane GC SC
Jeffrey Lenehan	Syndicate Communications	0404 151 270	<a href="mailto:jlenehan@syndicate.com.au">jlenehan@syndicate.com.au</a>	QLD	Brisbane
Toni O'Dell	Utility Location Services	1300 001 857	<a href="mailto:qldops@utilitylocation-services.com.au">qldops@utilitylocation-services.com.au</a>	QLD	South East QLD
Michael Jackman	Utility Mapping QLD	1300 627 746	<a href="mailto:brisbane@utilitymapping.com.au">brisbane@utilitymapping.com.au</a>	QLD	All QLD
Jenny Dziduch	1300 Locate Pty Ltd	1300 562 283	<a href="mailto:admin@1300locate.com.au">admin@1300locate.com.au</a>	QLD	All Queensland, Northern NSW
Brendon Smith	Advanced Locating PTY LTD	0424678823	<a href="mailto:admin@advancedlocating.com.au">admin@advancedlocating.com.au</a>	QLD	Gold Coast
Samuel Hazel	Utility ID Underground Service Locators	0401 202 515	<a href="mailto:sam@utilityid.com.au">sam@utilityid.com.au</a>	QLD	Darling Downs, South West QLD and South East QLD
Bruce Normyle	Dynamic Hydro Excavations	0434 731 933	<a href="mailto:admin@dynamicexcavation.com.au">admin@dynamicexcavation.com.au</a>	QLD	QLD
Michael Koschel	Precision Service Locating	07 46462845	<a href="mailto:paul@pslocating.com.au">paul@pslocating.com.au</a>	QLD	All QLD / North West NSW/South East QLD
Robert Rutledge	Safe Dig Services	+61 7 3376 0856	<a href="mailto:rrutledge@safedig.com.au">rrutledge@safedig.com.au</a>	QLD	Brisbane

Michael Falla	ICUC Locating Services Pty Ltd	0410085365	<a href="mailto:michael.falla@icuclocatings-services.com.au">michael.falla@icuclocatings-services.com.au</a>	QLD	South East QLD
Ben Stephens	DTS Group TA Electroscan	0434 140 556	<a href="mailto:ben.s@electroscanqld.com.au">ben.s@electroscanqld.com.au</a>	QLD	Queensland
Adam Lloyd	Aussie HydroVac Services	07 3287 7818	<a href="mailto:adam.lloyd@aussiehydrovac.com.au">adam.lloyd@aussiehydrovac.com.au</a>	QLD	All
Michael Prentice	Onsite Utility Locations	0437 172 601	<a href="mailto:admin@onsiteutilitylocations.com.au">admin@onsiteutilitylocations.com.au</a>	QLD	SEQ
Roland Mollison	LandPartners Pty Ltd	0439 488 545	<a href="mailto:roland.mollison@landpartners.com.au">roland.mollison@landpartners.com.au</a>	QLD	South East Queensland
Duncan McGrath	Abletech Underground Group	0418 511 767	<a href="mailto:duncan@abletechunderground.com.au">duncan@abletechunderground.com.au</a>	QLD	QLD Wide
Daniel Poppi	Ace Cable Locations	0431517837	<a href="mailto:acecablelocations@bigpond.com">acecablelocations@bigpond.com</a>	QLD	Wide Bay Burnett
Carl Molloy	Provac Melbourne	0451 104 611	<a href="mailto:melbourne@provac.net.au">melbourne@provac.net.au</a>	VIC	Melbourne Region
Olivier Davies	Central Locating PTY LTD	0439 995 894	<a href="mailto:ollie@centrallocating.com.au">ollie@centrallocating.com.au</a>	VIC	Melbourne & Western Victoria
Tina Brereton	D-Tech Ground & Overhead	03 9544 8933	<a href="mailto:tina@d-tech.net.au">tina@d-tech.net.au</a>	VIC	ALL
Josh Taylor	Advanced Locations Victoria Pty Ltd	0427846716	<a href="mailto:josh@advancedlocationsvic.com.au">josh@advancedlocationsvic.com.au</a>	VIC	All Victoria
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Maurice Tobin	Drain Solutions	0412 111600	<a href="mailto:info@drainsolutions.com.au">info@drainsolutions.com.au</a>	VIC	Melbourne Metro
Kate Ficker	Seeker Utility Engineering	1300 733 583	<a href="mailto:admin@seekerutilityengineering.com.au">admin@seekerutilityengineering.com.au</a>	VIC	All Victoria
Leigh French	Veris Australia VIC	(03) 7019 8400	<a href="mailto:melbourne@veris.com.au">melbourne@veris.com.au</a>	VIC	Melbourne
Ben Wooldridge	Controltech Solutions	0447 760 759	<a href="mailto:ben.wooldridge@controltechsolutions.com.au">ben.wooldridge@controltechsolutions.com.au</a>	VIC	Melbourne

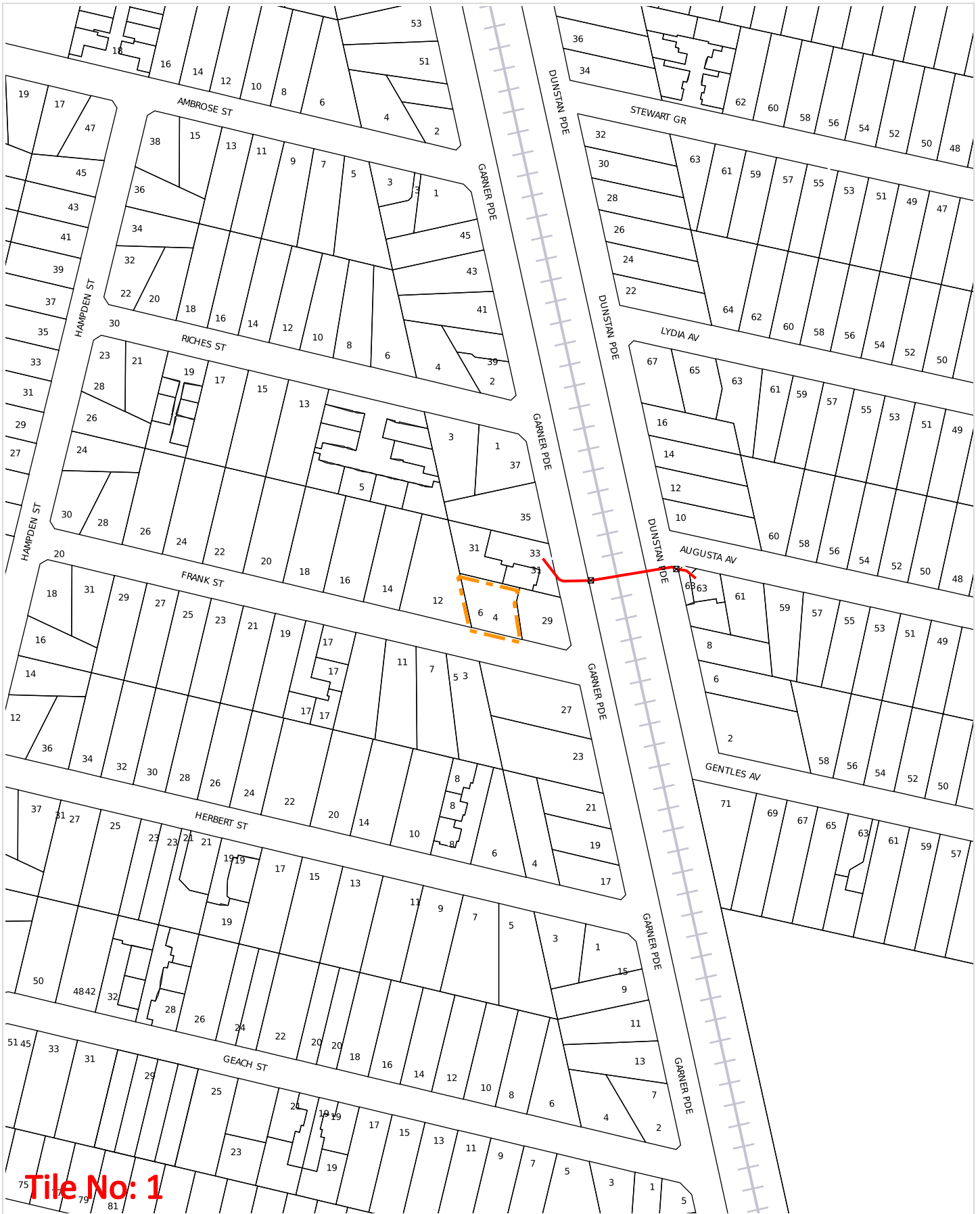
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Shaun Stephen	STS Locating Services	0405 181 734	<a href="mailto:stslocatingservices@gmail.com">stslocatingservices@gmail.com</a>	VIC	All VIC
Glen Foreman	Underground Services Detection Pty Ltd	0402 748 889	<a href="mailto:undergroundservices@big-pond.com">undergroundservices@big-pond.com</a>	VIC	Victoria
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Stuart Speckman	FYFE	08 8944 7888	<a href="mailto:Stuart.Speckman@fyfe.com.au">Stuart.Speckman@fyfe.com.au</a>	NT/SA/NSW	NT/SA/NSW

Wayne Parslow	Danisam	0417 089 865	<a href="mailto:danisam@westnet.com.au">danisam@westnet.com.au</a>	NT	Darwin NT and Surrounds
Scott Crerar	Paneltec Group	0400 895 637	<a href="mailto:scott@paneltec.com.au">scott@paneltec.com.au</a>	TAS	All

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Sequence Number: 242941502



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**Referral**  
242941503

**Member Phone**  
1300 853 811

## Responses from this member

**Response received** Wed 7 Aug 2024 10.43am

<b>File name</b>	<b>Page</b>
Response Body	33
242941503 Yarra Valley Water - Water Plan.pdf	35
242941503 Yarra Valley Water - Sewer Plan.pdf	36

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Date: 07 Aug 2024

To: Adem Turer

**Please DO NOT SEND A REPLY to this email as it has been automatically generated and replies are not monitored.**

Thank you for your BYDA enquiry (referenced below).

Our records indicate that there are Yarra Valley Water assets directly impacted by the area illustrated within your enquiry.

**WARNING: The location of assets must be verified on site prior to the commencement of work.**

Please ensure that you read the attached documentation, as it contains important information including essential steps that must be undertaken prior to commencing your intended activities.

<b>SEQUENCE NO.:</b>	242941503
<b>JOB NO.:</b>	37303509
<b>LOCATION:</b>	4 Frank St Dallas VIC 3047

**WARNING: When working in the vicinity of Yarra Valley Water's assets you have a legal *Duty of Care* that must be observed.**

Minimum horizontal & vertical clearances (edge to edge) are required between your proposed works and Yarra Valley Water assets. Details of these minimum clearances can be obtained from Yarra Valley Water's website: [WSAA Water - Sewer Clearances](#). Any conflict with the minimum clearance to your proposed works should be referred to Yarra Valley Water for further advice.

For assistance to locate assets, or if you require further information, please contact Yarra Valley Water by calling [1300 651 511](tel:1300651511)

#### Important Notice

This enquiry response, including any associated documentation, has been assessed and compiled from the information detailed within the BYDA enquiry outlined above. **Please ensure that the BYDA enquiry details and this response accurately reflect your proposed works.**

Abandoned pipes may contain asbestos cement and/or fibro cement. Special work and handling procedures to deal with these potentially hazardous materials are required.

Metallic water mains and associated fittings may pose an electrocution hazard if electrical earth wires have been connected to the property service or water main. The contractor shall ensure that adequate electrical testing is carried out prior to working.

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on these mains. If a positive reading is recorded the contractor shall cease all works and notify the relevant power distributor, the customer and Yarra Valley Water.

This response is intended for use only by the addressee. If you have received the enquiry response in error, please let us know by telephone and delete all copies; you are advised that copying, distributing, disclosing or otherwise acting in reliance on the response is expressly prohibited.

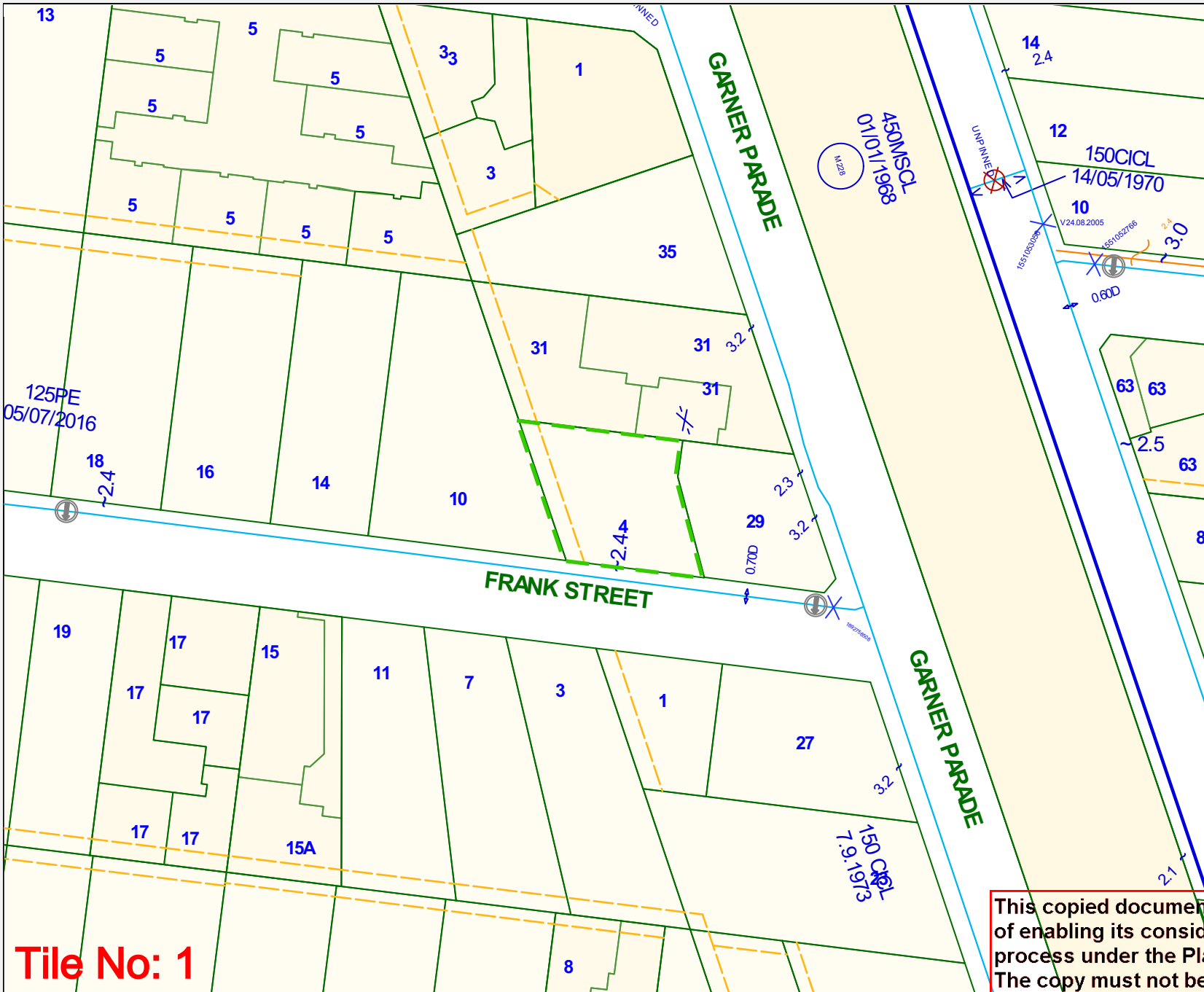
**Disclaimer:** The plans accompanying this letter are issued solely for asset identification purposes and should not be used for any other purpose. Yarra Valley Water provides the information it has on Sewer, Water and Recycled Water assets but does not guarantee the accuracy of information and therefore the location of all assets must be proven on site prior to the commencement of any works.

Yarra Valley Water will not accept responsibility for or claims associated with any incorrect or incomplete information being contained on the plan. Due to ongoing potential asset changes this plan should not be reused at a later date, a new plan should be obtained.





While reasonable measures have been taken to ensure the accuracy of the information contained in this plan response, neither Yarra Valley Water nor PelicanCorp shall have any liability whatsoever in relation to any loss, damage, cost or expense arising from the use of this plan response or the information contained in it or the completeness or accuracy of such information. Use of such information is subject to and constitutes acceptance of these terms.

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### Legend

- Existing Title 
- Proposed Title 
- Offset Water Main 
- Water Main 
- Water Reticulation Main 
- Asbestos Water Main 
- Blank End 
- Water Valve 
- Dialysis Patient 
- Hydrant Below Ground  
- Hydrant Above Ground  

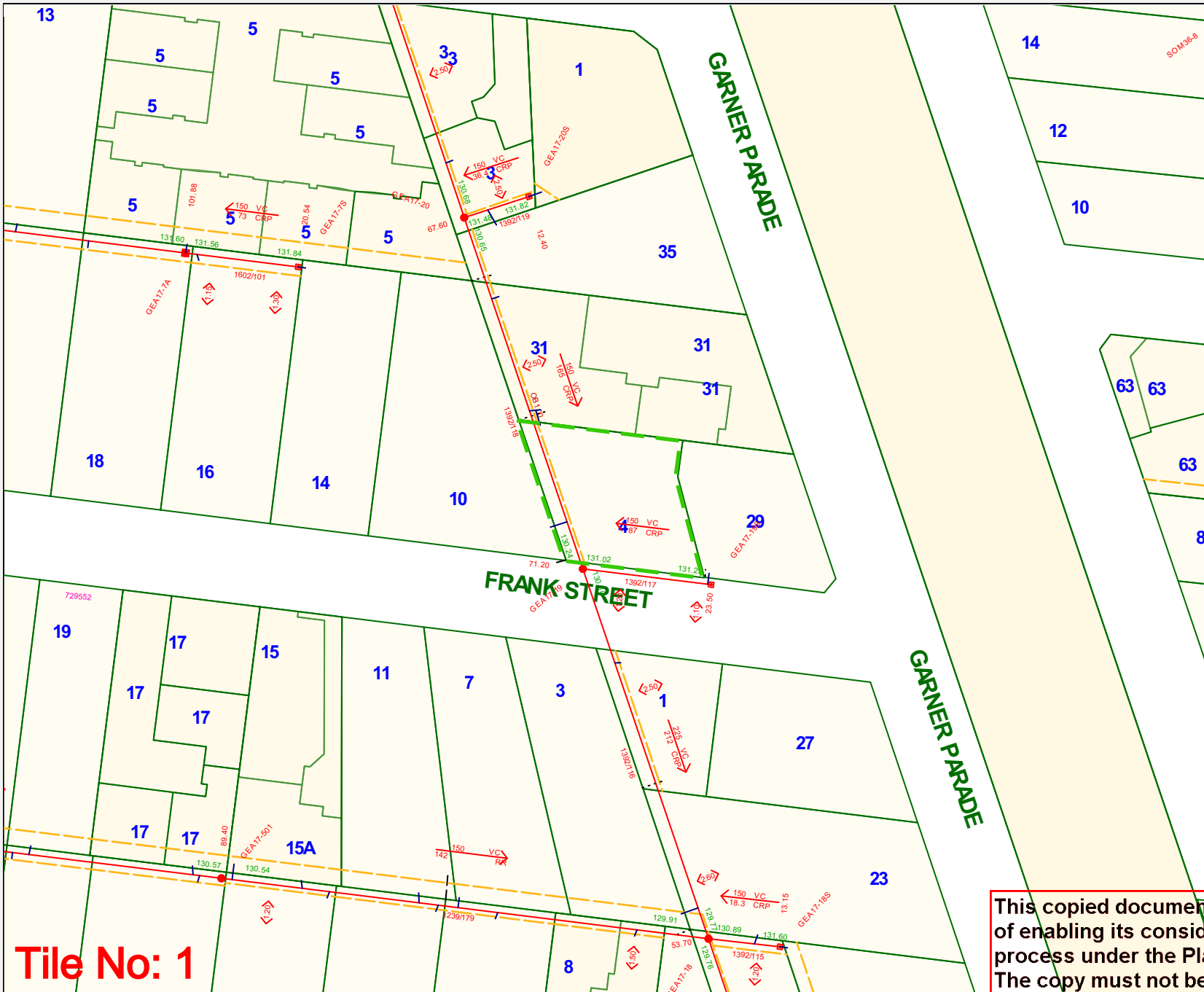
**Warning** – This plan is issued solely for the purpose of assisting you in identifying Yarra Valley Water's specified assets through further investigation only. It's not to be used for any other purpose, including to identify any other assets, property boundaries or dimensions. Accordingly, the location of all assets should be proven by hand on site prior to the commencement of any work. Please refer to the attached letter for further

Scale: 1:1000  
 Expires: 04 Sep 2024

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# Sewer



## Legend

- Existing Title
- Proposed Title
- Existing Sewer
- Asbestos Sewer
- Offset Distance
- Circular Access Point
- Junction
- Square Manhole
- End of Pipe
- Maintenance Shaft
- Ventilation
- Chambered Manhole

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Scale: 1:1000  
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**Tile No: 1**



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