

Application for Planning Permit

Planning Enquiries
 Phone: 03 9205 2200
 Web: <http://www.hume.vic.gov.au>

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#).

⚠ Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

⚠ Questions marked with an asterisk (*) are mandatory and must be completed.

⚠ If the space provided on the form is insufficient, attach a separate sheet.

Clear Form

The Land **i** **1** Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address *

Unit No.:	St. No.: 15	St. Name: pasley street
Suburb/Locality: Sunbury		Postcode: 3429

Formal Land Description * Complete either A or B.

⚠ This information can be found on the certificate of title.

A Lot No.: Lodged Plan Title Plan Plan of Subdivision No.:

OR

B Crown Allotment No.: 13 Section No.: 18

Parish/Township Name: Sunbury Parish of Buttelejorrk

If this application relates to more than one address, please click this button and enter relevant details.

The Proposal **⚠** You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

2 For what use, development or other matter do you require a permit? * **i**

If you need help about the proposal, read:
[How to Complete the Application for Planning Permit Form](#)

Select the focus of this application and describe below:

Multi-unit development of 4 town houses

Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

3 Estimated cost of development for which the permit is required? * **i**

⚠ You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within metropolitan Melbourne (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy must be paid to the State Revenue Office and a current levy certificate must be submitted with the application. Visit www.sro.vic.gov.au for information.


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Existing Conditions i

4 Describe how the land is used and developed now *

eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Single dwelling house

 Provide a plan of the existing conditions. Photos are also helpful.

Title Information i


5 Encumbrances on title *

If you need help about the title, read:

[How to complete the Application for Planning Permit form](#)

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

- Yes. (If 'yes' contact Council for advice on how to proceed before continuing with this application.)
- No
- Not applicable (no such encumbrance applies).

 Provide a full, current copy of the title for each individual parcel of land forming the subject site. (The title includes: the covering 'register search statement', the title diagram and the associated title documents, known as 'instruments', eg. restrictive covenants.)

Applicant and Owner Details i

6 Provide details of the applicant and the owner of the land.

Applicant *

The person who wants the permit.

Where the preferred contact person for the application is different from the applicant, provide the details of that person.

*Please provide at least one contact phone number **

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Owner *

The person or organisation who owns the land

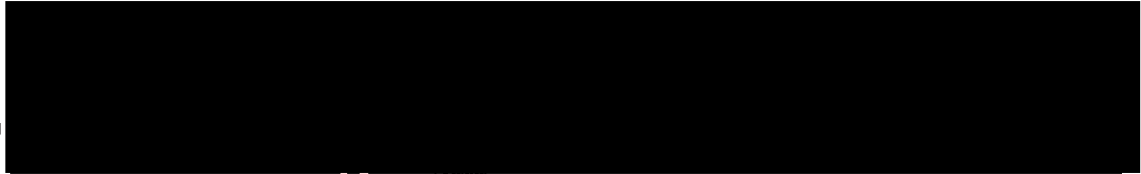
Where the owner is different from the applicant, provide the details of that person or organisation.



Declaration 

7 This form must be signed by the applicant *

⚠ Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.



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Need help with the Application?

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#)
General information about the planning process is available at www.delwp.vic.gov.au/planning

Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

8 **Has there been a pre-application meeting with a Council planning officer?**

No Yes

If 'yes', with whom?:

Date:


day / month / year

Checklist

9 **Have you:**

Filled in the form completely?

Paid or included the application fee?

 Most applications require a fee to be paid. Contact Council to determine the appropriate fee.

 Provided all necessary supporting information and documents?

A full, current copy of title information for each individual parcel of land forming the subject site

A plan of existing conditions.

Plans showing the layout and details of the proposal

Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.

If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).

If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.

Completed the relevant Council planning permit checklist?

Signed the declaration (section 7)?

Lodgement

Lodge the completed and signed form, the fee payment and all documents with:

Hume City Council
PO Box 119 Dallas VIC 3047
Pascoe Vale Road Broadmeadows VIC 3047

Contact information:

Telephone: 61 03 9205 2200

Email: email@hume.vic.gov.au

DX: 94718

Translation: 03 9205 2200 for connection to Hume Link's multilingual telephone information service

Deliver application in person, by fax, or by post:

Print Form

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address. This is usually your local council but can sometimes be the Minister for Planning or another body.

Save Form:

Save Form To You

You can save this application form to your computer to complete or review later or email it to others to complete relevant sections.

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This form is only to be used for changes made to a current planning permit application

DECLARATION FOR AMENDMENT TO A PLANNING PERMIT APPLICATION



PLANNING PERMIT NO:

Office Use Only:

DATE RECEIVED:

FEE PAID: \$

Planning and Environment Act 1987 Sections 50 & 50A & 57A. Planning and Environment Regulations, Regulation 16. Council is collecting the information on this form so that it may consider your application in accordance with Part IV of the Planning and Environment Act 1987. Council must make a copy of this application available for any person to inspect free of charge in accordance with Section 51 of the Act.

Please print clearly. Please read the notes on the back before completing this form.

THE APPLICANT: Who is making this amendment



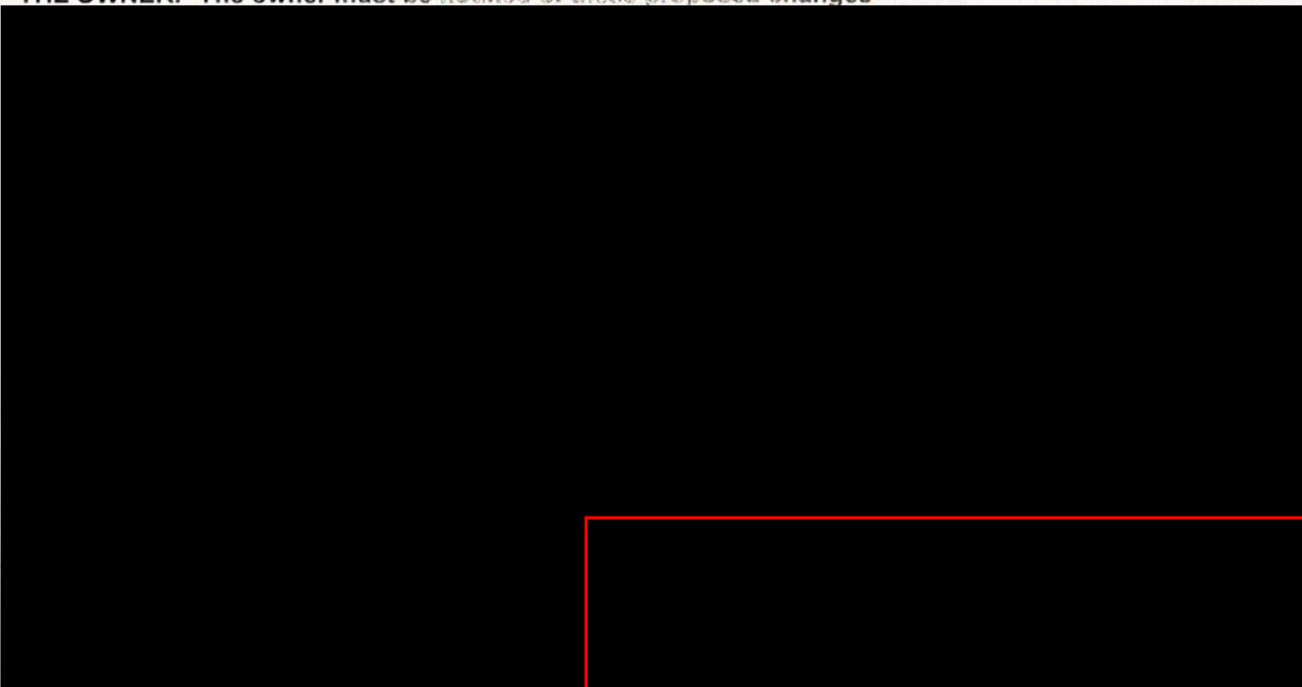
THE LAND: Give the address and title particulars of the land.

15 PASKY STREET, SUNBURY - CROWN ALLOTMENT 13 SECTION 18 OF BUTLER PARK

PROPOSED AMENDMENTS: what changes are being requested since lodging the original application for planning permit (attach letter if required)

TO AMEND THE PROPOSAL TO INCLUDE "DEVELOPMENT OF LAND FOR MULTIPLE DWELLINGS AND THE CREATION OF AN EASEMENT"

THE OWNER: The owner must be notified of these proposed changes



purpose planning 87.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

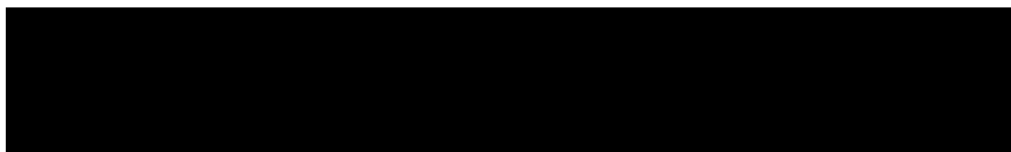
VOLUME 11825 FOLIO 977

Security no : 124115787465N
Produced 13/06/2024 03:45 PM

LAND DESCRIPTION

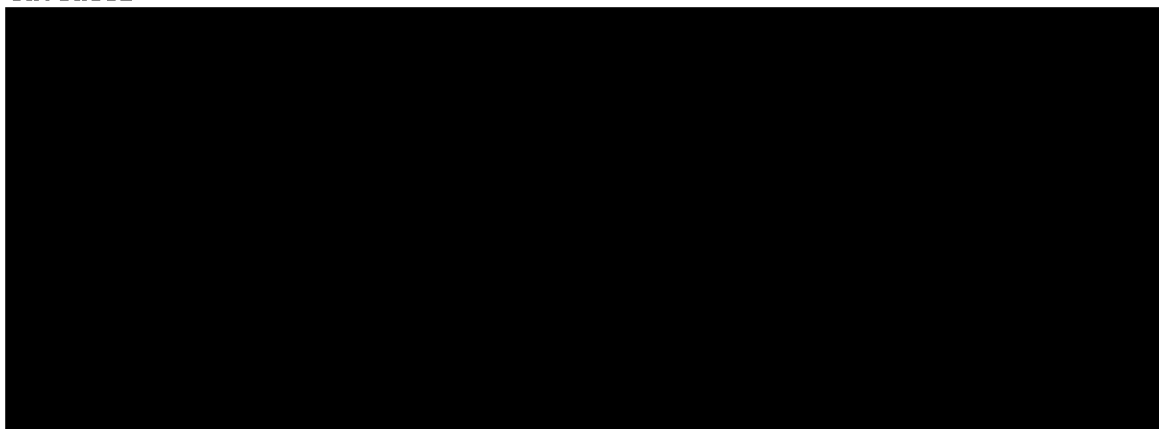
Crown Allotment 13 Section 18 Township of Sunbury Parish of Buttlejorrk.
Created by Application No. 136464U 12/10/2016

REGISTERED PROPRIETOR



ENCUMBRANCES, CAVEATS AND NOTICES

CAVEAT AX988272F 10/05/2024
Caveator



For details of any other encumbrances see the plan or imaged folio set out under DIAGRAM LOCATION below.

Warning as to subsisting interests

This title is based on General Law documents which have not been investigated by the Registrar of Titles. Subsisting interests under the General Law may affect this title.

DIAGRAM LOCATION

SEE TP943024N FOR FURTHER DETAILS AND BOUNDARIES

ACTIVITY IN THE LAST 125 DAYS

NUMBER STATUS DATE
AX988272F (E) CAVEAT

-----END OF REGISTERED SEARCH STATEMENT

Additional information: (not part of the Register Search Statement)

Street Address: 15 PASLEY STREET SUNBURY VIC 3429

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**REGISTER SEARCH STATEMENT (Title Search) Transfer of
Land Act 1958**

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ADMINISTRATIVE NOTICES

NIL



DOCUMENT END

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Imaged Document Cover Sheet

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Document Type	Plan
Document Identification	TP943024N
Number of Pages (excluding this cover sheet)	2
Document Assembled	13/06/2024 15:45

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TITLE PLAN	EDITION 2	TP943024N
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LOCATION OF LAND
 PARISH: BUTTLEJORRK
 TOWNSHIP: SUNBURY
 SECTION: 18
 CROWN ALLOTMENT: 13, 14 & 15
 CROWN PORTION:
 LAST PLAN REFERENCE:
 DERIVED FROM:
 DEPTH LIMITATION: NIL

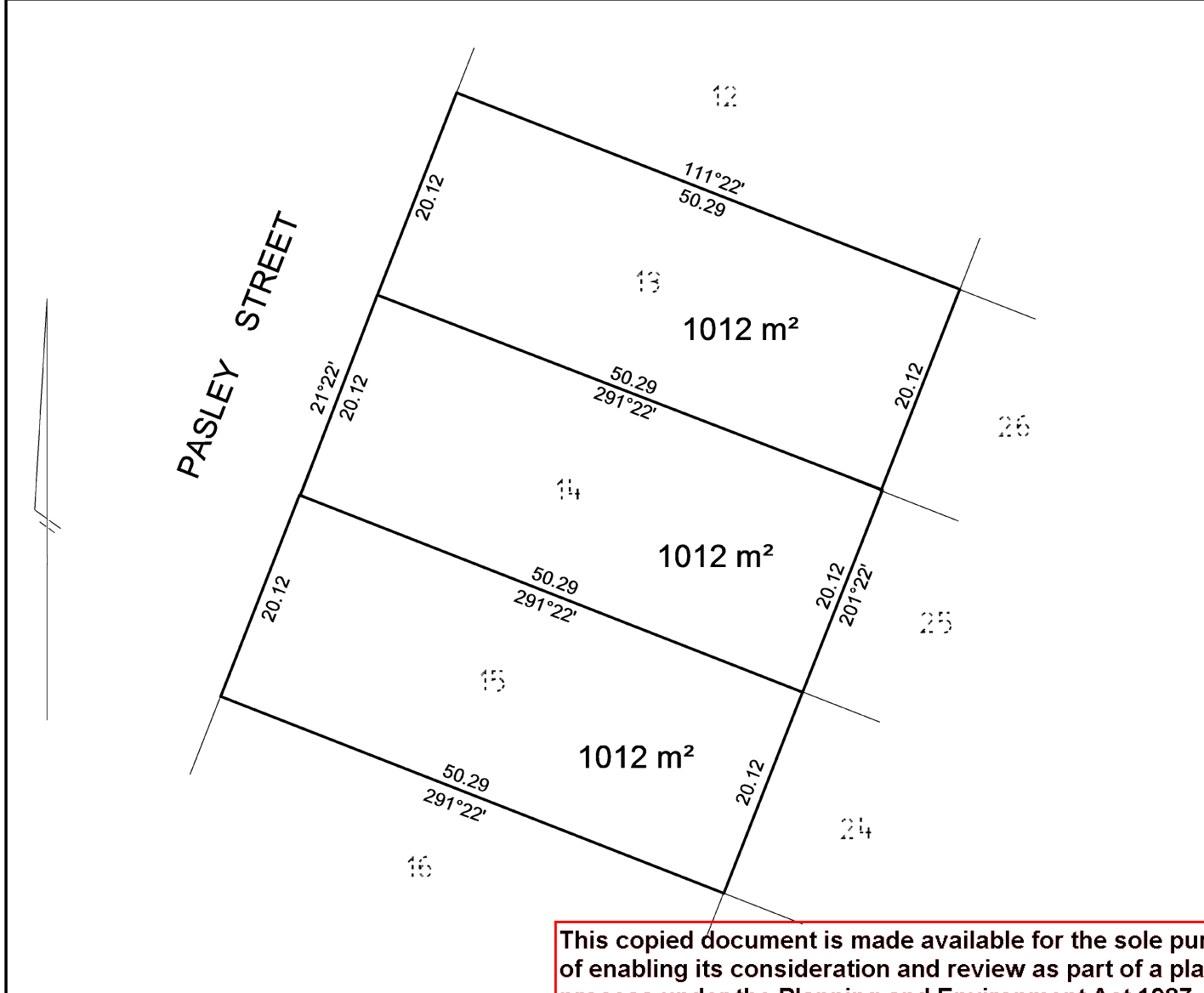
NOTATIONS

EASEMENT INFORMATION
 E - ENCUMBERING EASEMENT. R - ENCUMBERING EASEMENT (ROAD). A - APPURTENANT EASEMENT.

THIS PLAN HAS BEEN PREPARED BY LAND REGISTRY, LAND VICTORIA, FOR TITLE DIAGRAM PURPOSES

Checked by: PRT
 Date: 23/12/2008
 Assistant Registrar of Titles

Easement Reference	Purpose / Authority	Width (Metres)	Origin	Land benefited / In favour of



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MODIFICATION TABLE

RECORD OF ALL ADDITIONS OR CHANGES TO THE PLAN

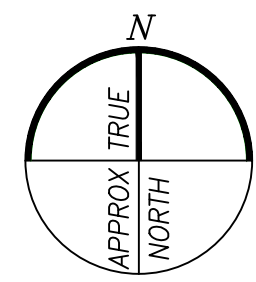
PLAN NUMBER

TP943024N

**WARNING: THE IMAGE OF THIS DOCUMENT OF THE REGISTER HAS BEEN DIGITALLY AMENDED.
NO FURTHER AMENDMENTS ARE TO BE MADE TO THE ORIGINAL DOCUMENT OF THE REGISTER.**

AFFECTED LAND/PARCEL	LAND/PARCEL IDENTIFIER CREATED	MODIFICATION	DEALING NUMBER	DATE	EDITION NUMBER	ASSISTANT REGISTRAR OF TITLES
CA 13		CONVERSION APPLICATION (SCE 23 TLA)	AP136464U	12/10/16	2	AJC
CA 15		CONVERSION APPLICATION (SEC 23 TLA)	AP136465S	12/10/16	2	AJC

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LEGEND

▲	Instrument Point
- - - - -	Fence
+	Back of Kerb
- - - - -	Invert of Kerb
+	Lip of Kerb
+	Natural Surface Level
○	Tree
- - - - -	House
- - - - -	Fascia
- - - - -	Structure Unclassified
- - - - -	Shed
- - - - -	Title Boundary
+	Concrete Edge
+	Window Opening
+	Vehicular Track
+	Verandah

ADVERSE POSSESSION RIGHTS MAY APPLY TO FENCE OR BUILDING ENCROACHMENTS WHICH ARE IN EXCESS OF 10 YEARS OF AGE. WHERE FENCING IS INSIDE THE TITLE BOUNDARIES, IT IS RECOMMENDED THAT ANY DESIGN AND CONSTRUCTION IS LIMITED TO THE LOCATION OF THE FENCING AS SHOWN. THIS IS UNDER THE ASSUMPTION THAT THE ADJOINING LAND OWNERS MAY HAVE ACCQUIRED POSSESSORY RIGHTS OVER THE LAND THEY OCCUPY. ALTERNATIVELY WHERE THE FENCING ENCROACHES ONTO THE ADJOINING PROPERTIES IT IS RECOMMENDED THAT ALL FUTURE DEVELOPMENT BE LIMITED TO THE POSITION OF THE RE-ESTABLISHED TITLE BOUNDARIES AS SHOWN.

Notations
 Date of Survey March 2024
 Levels shown thus $\frac{1000}{1000}$ are to Australian Height Datum vide PM5 with a stated RL 222.315m.
 Contour Interval 0.2 metres

The land in the survey is enclosed within thick continuous lines.
 Title boundaries shown are subject to Land Victoria approval. It is recommended that a Boundary Plan application be lodged at Land Use Victoria for approval prior to detailed design.
 Prior to design, planning, demolition or excavation on the site, the relevant authority should be contacted for locations of all underground services.

Setbacks shown within an asterisk(*) have been measured to the fence line. All other setbacks are to the title.
 Boundaries have not been marked as a result of this survey. It is advised that the title boundaries are marked onsite prior to construction commencing. Please allow 5-7 working days to have the boundaries marked.
 Surrounding property boundaries are derived from the Digital Cadastral Mapbase and may not accord with title.

HW - Habitable Window
 NHW - Non Habitable Window

EASEMENTS
 Nil

Scale 1:100

Certified Rowan George Licensed Surveyor

Drawn BG

Date 06/04/2024

CAD drawing number 1524 - 15 Pasley Street, Sunbury(RFL)1

Original sheet size A1

Client **PLANTECH**

Project **15 PASLEY STREET, SUNBURY**

Details **TITLE RE-ESTABLISHMENT, FEATURE & LEVEL SURVEY**

Sheet 1 of 1

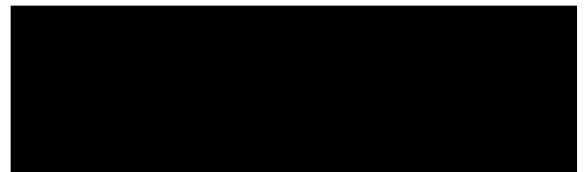
Job Number 1524

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Design Response Report

Development of Land for Four Dwellings
15 Pasley Street, Sunbury

June 2024



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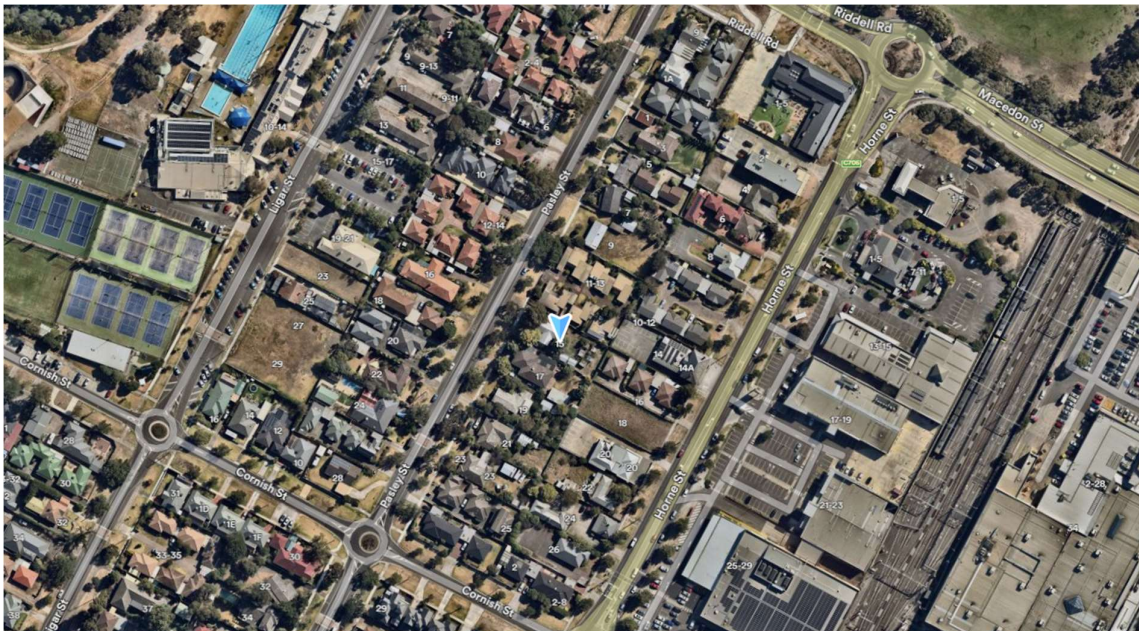
Subject Site & Surrounds

Subject site

The subject site is rectangular in shape occupying an area of approximately 1036 square metres located on the south eastern side of Pasley Street. The frontage of the site to Pasley Street is 20.45 metres and the site has a depth of 50.51 metres. The site's crown description is Lot 13 section 18 Township of Sunbury.

The subject site is not within area of Aboriginal Cultural Heritage Significance. A cultural heritage management plan is not required.

The site is zoned General Residential - schedule 1 (GRZ1) and is not affected by any Overlays.



Subject Site Source: Nearmap 16 March 2024

Surrounding area

The surrounding area is primarily residential with 1970-80s development locally prevalent. The vast majority of allotments range from 900 to 1100 square metres in area accommodating single detached dwellings. Although, much of the built form comprises original housing stock within Sunbury there are some examples of more recent infill multi-dwelling development accommodating medium density housing.

Details of Proposal

This application seeks to demolish the existing dwelling at 15 Pasley Street, Sunbury and construct four double storey dwellings to include the following:

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	Living	Bedrooms	Bathrooms	Additional Rooms	Secluded Private Open Space (m ²)	Parking
Dwelling 1	Kitchen, Meals & Living	4	3		35.92	Double garage
Dwelling 2	Kitchen, Meals & Living	4	2		50.65	Double garage
Dwelling 3	Kitchen, Meals & Living	4	2		50.65	Double garage
Dwelling 4	Kitchen, Meals & Living	4	3		94.22	Double garage

Pursuant to 32.08-7 of the Planning Scheme a permit is required to construct two or more dwellings on a lot. As such, a planning permit is triggered by this clause.

Planning Policies

00 Purpose and Vision

The relevant provisions within Hume's planning scheme include:

02.01 CONTEXT

Hume City is located 20 kilometres north-west of the Melbourne CBD and is one of Melbourne's seven growth area municipalities. It occupies 504 square kilometres of traditional land of the Wurundjeri people of the Kulin Nation.

Hume is situated on the eastern edge of Victoria's volcanic plains making for a rich natural heritage including large areas of flat land punctuated by volcanic cones and deep, wide creek valleys of the Deep, Emu, Jacksons, Merri and Moonee Ponds Creeks and their tributaries. Significant landscape features, areas of native vegetation and biodiversity and a number of significant aboriginal cultural features make a strong contribution to the character of Hume. The settlement pattern comprises of two urban corridors (Hume Corridor and Sunbury Township and growth area) separated and surrounded by Rural Areas. The main land uses are industrial, established residential and new residential development, and agriculture. Hume's population will grow by more than fifty percent from just under 245,000 in 2021 to nearly 395,000 by 2041. When all current growth area land is developed the population will be around 420,000.

Broadmeadows, Sunbury and Donnybrook (Cloverton) Town Centres are existing and future Metropolitan Activity Centres. Broadmeadows will strengthen its role as a key centre in the north, supporting the growing population of Hume and the wider Northern Subregion.

One and two person households make up more than 47% of Hume's households, another 10% are one parent families and 33% of households are couples with children.

02.02 VISION

Hume's vision is to be a sustainable and thriving community with great health, education, employment, infrastructure and a strong sense of belonging. (Council Plan 2021 – 2025, p26). This will be achieved by:

- Valuing education and life long learning

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- Enabling economic growth through the creation of local jobs and supporting local industries.
- Acknowledging and celebrating the diversity of Hume people.
- Supporting active participation by residents in community life.
- Growing in a way that is both sustainable and sensitive to the open, natural and rural spaces.
- Creating a place that will benefit future generations while protecting the environment.
- Advocating for sustainable neighbourhoods.
- Protecting heritage.
- Designing spaces that are accessible and fill the community with pride.

02.03 STRATEGIC DIRECTIONS

02.03-1 Settlement

Hume's settlement pattern is made up of two urban corridors, the Hume Corridor and Sunbury Township, with Rural Areas separating the corridors and extending to the north and west of Sunbury.

The settlement patterns within the Hume and Sunbury corridors are complex and multi-layered including three development phases:

- Established urban areas.
- Recent growth areas.
- Greenfields land planned for future urban development.

Bulla township sits within the Rural Areas between the Tullamarine Airport and Sunbury while the old Kalkallo township is surrounded by greenfield development.

Most growth within the municipality will be accommodated within the two urban corridors driven by greenfield development in the growth areas of Greenvale, Craigieburn, Mickleham, Kalkallo and Sunbury supported by intensification of established suburbs. The Rural Areas provide separation between the corridors and protection for Melbourne Airport which is located on Commonwealth land in Hume.

Sunbury Township

Sunbury Township is physically separated from Melbourne and the Hume Corridor by Rural Areas which gives the township a distinct character.

Sunbury Township has generally grown in a radial pattern out from the Sunbury train station and Sunbury Town Centre. Most housing is detached dwellings on large lots with infill units and townhouses close to the town centre. The radial growth of Sunbury will continue with substantial growth areas planned to the north and west along Sunbury and Lancefield Roads as well as smaller pockets of growth to the east and south.

Within Sunbury Township, Sunbury Town Centre is the primary retail and commercial centre for the region comprising a mix of convenience and comparison retailing, commercial, entertainment, community and leisure facilities. It has a historic and 'rural town' character and ambience with which people can relate. The Centre is reasonably compact and well-structured.

Encouraging the development of the Sunbury Town Centre as a major activity centre comprising a retail core with a mixture of higher order retailing and entertainment facilities

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convenience and comparison retailing, and commercial, office and community facilities is a key strategy in the MSS.

The growth in the population of Sunbury and the wider region offers significant potential to increase self-containment of Sunbury for a range of needs and uses.

02.03-5 Built environment and heritage

Urban design

The image and appearance of the Hume Corridor has been characterised by its industrial history. This presents poor visual and amenity outcomes to long sections of the southern arterial road network and to key gateways into the municipality. It is important that investment in the public realm and the redevelopment of housing, industrial and commercial development achieves better urban design outcomes and improves the image and appearance of Hume. New development in growth areas presents an opportunity to achieve high quality and the best urban design outcomes right from the start of their design and layout.

Building design

There is significant opportunity to ensure that new buildings and development in Hume set high environmental standards and are designed to be more resilient to the impacts of climate change and to be more resource, energy and water efficient. This will also improve the long-term affordability of housing in the region, particularly in light of anticipated increasing utility costs.

02.03-6 Housing

Hume's housing stock is overwhelmingly dominated by large, detached dwellings with limited provision of one- and two-bedroom dwellings. This creates a mismatch between Hume's current housing supply and the demand for different types of housing generated by an increase in smaller, older, and more diverse households.

The Hume housing market is primarily aimed at delivering homes for family households and this creates a uniformity of new subdivisions and limited opportunities for people to access different forms of housing as their housing needs change. While this style of development is likely to be the majority of new housing in growth areas, there is a need for greater housing diversity including smaller dwellings, to house an ageing population and allow people to age in their local community.

Being an outer metropolitan municipality, and given large areas across the southern end of the Hume Corridor include development restrictions associated with the Melbourne Airport, the appetite and opportunity for medium and high density development is considerably less than inner or middle metropolitan municipalities. Nevertheless, pressure for increased densities will change over time and considerations for the retention of unique neighbourhood character will need to be balanced against the need for urban consolidation and the demand and need for greater housing diversity.

Older people often have specific health, safety and lifestyle needs that require accessible internal building design, open space and car parking arrangements in developments. Access to a range of community facilities is also desirable to support independence, social inclusion and participation of older people in the community.

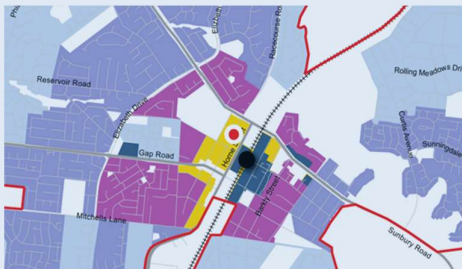
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The strategic directions for housing are:

- Increase the diversity of housing in Hume.
- Encourage well-designed infill residential development that provides housing options for smaller households.
- Encourage housing that can be adapted for different life stages or is suitable for the needs of an ageing household.
- Encourage the development of attractive, well-designed accommodation for older people that meets the needs of future occupants, in appropriate locations throughout the residential areas.
- Locate and design aged accommodation to be accessible to a range of community facilities.

HUME CITY COUNCIL HOUSING DIVERSITY STRATEGY, JUNE 2020

Council has prepared a Housing Diversity Strategy (Strategy) to meet the growing and changing housing needs of its community and deliver upon our community's desire for more well located, diverse and affordable housing options in Hume's established areas.



No 15 Pasley Street Sunbury is within a high change area

	Limited Change Area	Gradual Change Areas	Moderate Change Area	High Change Residential Area	Activity Centres
Preferred typology of new housing	Mostly detached houses with some units and townhouses	Mostly detached houses, units and townhouses	Mostly units and attached townhouses with some apartments	Mostly townhouses and apartments	Mostly apartments above commercial premises and townhouses
Preferred Bedroom mix of new housing	Mostly 3+ bedroom	Mostly 3+ bedroom	Mix of sizes, including 1 and 2 bedroom	Mostly 1 and 2 bedroom	Mostly 1 and 2 bedroom
Preferred Height of new housing development	Mostly 1 and 2 storey	Mostly 1 and 2 storey	Mostly 2 storey with some 3 storey	Mostly 2 to 4 storeys	Mostly 3 to 6 storeys dependent upon the activity centre
Preferred Future Neighbourhood Character	Similar to today	Similar to today	Some changes to today	Changes to today	Changes to today
Anticipated Future Zone	GRZ with some NRZ and LDRZ	GRZ	GRZ	GRZ	C1Z
Rate of housing change	Slow	Gradual	Incremental	Incremental	Incremental

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Contribution to Housing Diversity at 2041	2%	2%	10%	42%	45%
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02.03-9 Infrastructure

Liveable communities and open space

Liveability is the sum of factors that shape the ‘quality of life’ experienced in an area and the wellbeing of a community including economic prosperity and social equity. It also includes access to a choice of everyday things that people require, including housing, employment, public transport and retail, health, education, recreation and cultural services and facilities. The built and natural environment, including its environmental sustainability and resilience to climate change plays a major role in shaping liveability.

While Melbourne’s inner areas are seen to be highly ‘liveable’, Hume’s community, like most growth areas, does not experience the same level of access and choice to the things that they require. It is vital that the growth of Hume provides existing and future populations with the level of access experienced in other areas of Melbourne.

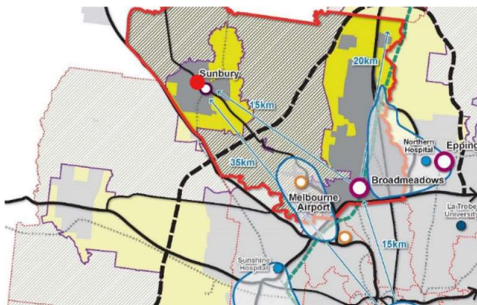
This includes meeting the infrastructure and service needs of young families in new growth areas and mature families and older persons in established areas.

The strategic directions for infrastructure are:

- Ensure the provision of local infrastructure and services that meets the needs of the local community.
- Ensure industrial and commercial land uses incorporate stormwater treatment measures into the design of development.
- Facilitate a network of well-designed and connected open spaces and waterway corridors and increase community and public access to natural landscapes.

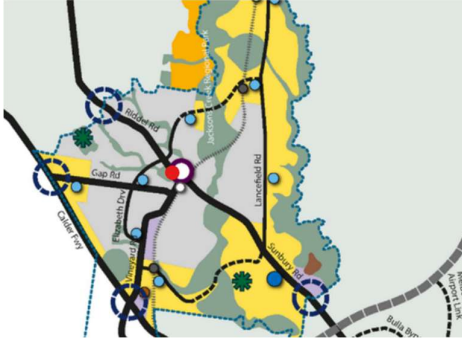
02.04 Strategic framework plans

02.04-1 Regional context map



No 15 Pasley Street Sunbury is within an existing development area

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No 15 Pasley Street Sunbury is within Sunbury town centre

10 State Planning Policy Framework

11 SETTLEMENT

Planning is to anticipate and respond to the needs of existing and future communities through provision of zoned and serviced land for housing, employment, recreation and open space, commercial and community facilities and infrastructure.

Planning is to recognise the need for, and as far as practicable contribute towards:

- Health, wellbeing and safety.
- Diversity of choice.
- Adaptation in response to changing technology.
- Economic viability.
- A high standard of urban design and amenity.
- Energy efficiency.
- Prevention of pollution to land, water and air.
- Protection of environmentally sensitive areas and natural resources.
- Accessibility.
- Land use and transport integration.

Planning is to prevent environmental, human health and amenity problems created by siting incompatible land uses close together.

Planning is to facilitate sustainable development that takes full advantage of existing settlement patterns and investment in transport, utility, social, community and commercial infrastructure and services.

11.01	VICTORIA
11.01-1S	Settlement
To facilitate the sustainable growth and development of Victoria and deliver choice and opportunity for all Victorians through a network of settlements.	

11.02	MANAGING GROWTH
11.02-1S	Supply of urban land
To ensure a sufficient supply of land is available for residential, commercial, retail, industrial, recreational, institutional and other community uses.	
11.02-2S	Structure planning
To facilitate the fair, orderly, economic and sustainable use and development of urban areas.	
11.02-3S	Sequencing of development
To manage the sequence of development in areas of growth so that services are available from early in the life of new communities.	

11.03	PLANNING FOR PLACES
11.03-1S	Activity centres

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To encourage the concentration of major retail, residential, commercial, administrative, entertainment and cultural developments into activity centres that are highly accessible to the community.

11.03-2S Growth areas
To locate urban growth close to transport corridors and services and provide efficient and effective infrastructure to create sustainability benefits while protecting primary production, major sources of raw materials and valued environmental areas.

11.03-3S Peri-urban areas
To manage growth in peri-urban areas to protect and enhance their identified valued attributes.

11.03-4S Coastal settlement
To plan for sustainable coastal development.

11.03-5S Distinctive areas and landscapes
To recognise the importance of distinctive areas and landscapes to the people of Victoria and protect and enhance the valued attributes of identified or declared distinctive areas and landscapes.

11.03-6S Regional and local places
To facilitate integrated place-based planning.

12 ENVIRONMENTAL AND LANDSCAPE VALUES

Planning should help to protect the health of ecological systems and the biodiversity they support (including ecosystems, habitats, species and genetic diversity) and conserve areas with identified environmental and landscape values.

Planning must implement environmental principles for ecologically sustainable development that have been established by international and national agreements. Foremost amongst the national agreements is the Intergovernmental Agreement on the Environment, which sets out key principles for environmental policy in Australia. Other agreements include the National Strategy for Ecologically Sustainable Development, National Greenhouse Strategy, the National Water Quality Management Strategy, Australia's Strategy for Nature 2019-2030, the National Forest Policy Statement and National Environment Protection Measures. Planning should protect, restore and enhance sites and features of nature conservation, biodiversity, geological or landscape value.

12.01 BIODIVERSITY
12.01-1S Protection of biodiversity
To protect and enhance Victoria's biodiversity.

12.01-2S Native vegetation management
To ensure that there is no net loss to biodiversity as a result of the removal, destruction or lopping of native vegetation.

12.02 MARINE AND COASTAL ENVIRONMENT
12.02-1S Protection of the marine and coastal environment
To protect and enhance the marine and coastal environment.

12.02-2S Marine and coastal Crown land
To ensure the use and development of marine and coastal Crown land is ecologically sustainable, minimises impacts on cultural and environmental values, and improves public benefit for current and future generations.

12.03 WATER BODIES AND WETLANDS
12.03-1S River and riparian corridors, waterways, lakes, wetlands and billabongs
To protect and enhance waterway systems including river and riparian corridors, waterways, lakes, wetlands and billabongs.

12.04 ALPINE AREAS
12.04-1S Sustainable development in alpine areas
To facilitate sustainable use and development of Alpine areas for year-round use and activity.

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12.05	SIGNIFICANT ENVIRONMENTS AND LANDSCAPES
12.05-1S	Environmentally sensitive areas To protect and conserve environmentally sensitive areas.
12.05-2S	Landscapes To protect and enhance significant landscapes and open spaces that contribute to character, identity and sustainable environments.

15 BUILT ENVIRONMENT AND HERITAGE

Planning is to recognise the role of urban design, building design, heritage and energy and resource efficiency in delivering liveable and sustainable cities, towns and neighbourhoods. Planning should ensure all land use and development appropriately responds to its surrounding landscape and character, valued built form and cultural context.

Planning should protect places and sites with significant heritage, architectural, aesthetic, scientific and cultural value.

Planning must support the establishment and maintenance of communities by delivering functional, accessible, safe and diverse physical and social environments, through the appropriate location of use and development and through high quality buildings and urban design.

Planning should promote development that is environmentally sustainable and should minimize detrimental impacts on the built and natural environment.

Planning should promote excellence in the built environment and create places that:

- Are enjoyable, engaging and comfortable to be in.
- Accommodate people of all abilities, ages and cultures.
- Contribute positively to local character and sense of place.
- Reflect the particular characteristics and cultural identity of the community.
- Enhance the function, amenity and safety of the public realm.

Planning should promote development that is environmentally sustainable and minimise detrimental impacts on the built and natural environment.

Planning should facilitate development that:

- Is adapted and resilient to climate related hazards.
- Supports the transition to net zero greenhouse gas emissions.
- Minimises waste generation and supports resource recovery.
- Conserves potable water.
- Supports the use of, and access to, low emission forms of transport.
- Protects and enhances natural values.
- Minimises off-site detrimental impacts on people and the environment.

15.01	BUILT ENVIRONMENT
15.01-1S	Urban design To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.
15.01-2S	Building design To achieve building design and siting outcomes that contribute positively to the local context, enhance the public realm and support environmentally sustainable development.
15.01-3S	Subdivision design To ensure the design of subdivisions achieves attractive, safe, accessible, diverse and sustainable neighbourhoods.
15.01-4S	Healthy neighbourhoods To achieve neighbourhoods that foster healthy and active living and community wellbeing.
15.01-5S	Neighbourhood character To recognise, support and protect neighbourhood character, cultural identity, and sense of place.

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15.01-5L Hume preferred neighbourhood character

To recognise, support and protect neighbourhood character, cultural identity, and sense of place.

General strategies

- Maintain and enhance the garden setting of dwellings and the openness of the streetscapes.
- Reflect the existing rhythm of spacing between dwellings.
- Ensure that new buildings and extensions do not dominate the streetscape.
- Provide trees and shrubs in landscaping.

Sunbury preferred character strategies

- Limit paving in front setbacks, except in Precinct 5.
- Limit site excavation and impact on the natural slope of the site.
- Retain existing vegetation, especially on steeply sloping sites.
- For development in precincts 1 and 4, set second storeys back from front and side facades.
- For development in precincts 1, 2 and 3, provide pitched roof forms.

Sunbury preferred character policy guidelines

Consider as relevant:

- Setting upper levels back where there is a dominance of single storey buildings in Precinct 3.

MAP 1 – Sunbury Township Residential Neighbourhood Character Precincts



No 15 Pasley Street Sunbury is not within a precinct.

15.01-6S Design for rural areas

To ensure development respects valued areas of rural character.

15.02 No content

15.03 HERITAGE

15.03-1S Heritage conservation

To ensure the conservation of places of heritage significance.

15.03-2S Aboriginal cultural heritage

To ensure the protection and conservation of places of Aboriginal cultural heritage significance.

16 HOUSING

Planning should provide for housing diversity, and ensure the efficient provision of supporting infrastructure.

Planning should ensure the long term sustainability of new housing, including access to services, walkability to activity centres, public transport, schools and open space.

Planning for housing should include the provision of land for affordable housing.

16.01 RESIDENTIAL DEVELOPMENT

16.01-1S Housing supply

To facilitate well-located, integrated and diverse housing that meets community needs.

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16.01-1L-1 Housing supply - Hume
Encourage the development of one and two bedroom dwellings.

16.01-2S Housing affordability
To deliver more affordable housing closer to jobs, transport and services.

16.01-3S Rural residential development
To identify land suitable for rural residential development.

16.01-4S Community care accommodation
To facilitate the establishment of community care accommodation and support their location being kept confidential.

18 TRANSPORT

Planning should ensure a safe, integrated and sustainable transport system that:

- Provides access to social and economic opportunities to support individual and community wellbeing.
- Facilitates economic prosperity.
- Actively contributes to environmental sustainability.
- Facilitates network-wide efficient, coordinated and reliable movements of people and goods.
- Supports health and wellbeing.

18.01 LAND USE AND TRANSPORT

18.01-1S Land use and transport integration
To facilitate access to social, cultural and economic opportunities by effectively integrating land use and transport.

18.01-2S Transport system
To facilitate the efficient, coordinated and reliable movement of people and goods by developing an integrated and efficient transport system.

18.01-3S Sustainable and safe transport
To facilitate an environmentally sustainable transport system that is safe and supports health and wellbeing.

18.02 MOVEMENT NETWORKS

18.02-1S Walking
To facilitate an efficient and safe walking network and increase the proportion of trips made by walking.

18.02-2S Cycling
To facilitate an efficient and safe bicycle network and increase the proportion of trips made by cycling.

18.02-3S Public transport
To facilitate an efficient and safe public transport network and increase the proportion of trips made by public transport.

18.02-4S Roads
To facilitate an efficient and safe road network that integrates all movement networks and makes best use of existing infrastructure.

18.02-5S Freight
To facilitate an efficient, coordinated, safe and sustainable freight and logistics system that enhances Victoria's economic prosperity and liveability.

18.02-6S Ports
To support the effective and competitive operation of Victoria's commercial trading ports at local, national and international levels, and to facilitate their ongoing sustainable operation and development.

18.02-7S Airports and airfields

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To strengthen the role of Victoria's airports and airfields within the state's economic and transport infrastructure, guide their siting and expansion, and safeguard their ongoing, safe and efficient operation.

19 INFRASTRUCTURE

Planning for development of social and physical infrastructure should enable it to be provided in a way that is efficient, equitable, accessible and timely.

Planning is to recognise social needs by providing land for a range of accessible community resources, such as education, cultural, health and community support (mental health, aged care, disability, youth and family services) facilities.

Planning should ensure that the growth and redevelopment of settlements is planned in a manner that allows for the logical and efficient provision and maintenance of infrastructure, including the setting aside of land for the construction of future transport routes.

Planning should facilitate efficient use of existing infrastructure and human services.

Providers of infrastructure, whether public or private bodies, are to be guided by planning policies and should assist strategic land use planning.

Planning should minimise the impact of use and development on the operation of major infrastructure of national, state and regional significance, including communication networks and energy generation and distribution systems.

Infrastructure planning should avoid, minimise and offset environmental impacts, and incorporate resilience to natural hazards, including future climate change risks.

Planning authorities should consider the use of development and infrastructure contributions in the funding of infrastructure.

19.01 ENERGY

19.01-1S Energy supply

To facilitate appropriate development of energy supply infrastructure.

19.01-2S Renewable energy

To support the provision and use of renewable energy in a manner that ensures appropriate siting and design considerations are met.

19.01-3S Pipeline infrastructure

To ensure that gas, oil and other substances are safely delivered to users and to and from port terminals at minimal risk to people, other critical infrastructure and the environment.

19.02 COMMUNITY INFRASTRUCTURE

19.02-1S Health facilities

To assist the integration of health facilities with local and regional communities.

19.02-2S Education facilities

To assist the integration of education and early childhood facilities with local and regional communities.

19.02-3S Cultural facilities

To develop a strong cultural environment and increase access to arts, recreation and other cultural facilities.

19.02-4S Social and cultural infrastructure

To provide fairer distribution of and access to, social and cultural infrastructure.

19.02-5S Emergency services

To ensure suitable locations for police, fire, ambulance and other emergency services.

19.02-6S Open space

To establish, manage and improve a diverse and integrated network of public open space that meets the needs of the community.

19.03 DEVELOPMENT INFRASTRUCTURE

19.03-1S Development and infrastructure contributions plans

To facilitate the timely provision of planned infrastructure to communities through the preparation and implementation of development contributions plans and infrastructure contributions plans.

19.03-2S Infrastructure design and provision

To provide timely, efficient and cost-effective development infrastructure that meets the needs of the community.

19.03-3S Integrated water management

To sustainably manage water supply and demand, water resources, wastewater, drainage and stormwater through an integrated water management approach.

19.03-4S Telecommunications

To facilitate the orderly development, extension and maintenance of telecommunications infrastructure.

19.03-5S Waste and resource recovery

To reduce waste and maximise resource recovery to reduce reliance on landfills and minimise environmental, amenity and public health impacts.

Planning Policies - Design Response Discussion

The proposal generally satisfies the abovementioned objectives in the Purposes & Vision and the state and local Planning Policy Framework and is consistent with Hume City Council Housing Diversity Strategy 2020. This application builds on the policy expectation for housing improvement close to existing infrastructure, in creating better livability without compromising the amenity of adjoining properties and neighbourhood character.

The proposed dwellings make a positive contribution to housing affordability and diversity within Hume. Appropriately located in an area where high change is anticipated, within close proximity to Sunbury activity centre encouraging other modes of transport.

Proposal thoughtfully responds to the existing built form in terms of its scale and form, proposed siting reflects the rhythm of spatial separation between buildings along Pasley Street. No front fencing provides a sense of openness to the streetscape and garages being further setback minimise dominance of car parking structures. Permeability exceeds minimum requirements and the internal layout employs passive design principals supporting sustainability.

Zoning and Overlays

30.0 Zoning

32.09 General Residential Zone

The General Residential Zone provisions contained in the Hume's Planning Scheme has four main purposes.

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To encourage development that respects the neighbourhood character of the area.
- To encourage a diversity of housing types and housing growth particularly in locations offering good access to services and transport.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations..

32.08-2 Table of uses – Section 1 Permit not required

Use	Condition
Dwelling (other than Bed and breakfast)	None
Home based business	
Informal outdoor recreation	

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32.08-4 Construction or extension of a dwelling, small second dwelling or residential building - Minimum Garden Area requirement

Pursuant to 32.08-4 of the Planning Scheme an application to construct or extend a dwelling or residential building on a lot must provide a minimum garden area as set out below:

Allotment size (in square metres)	Minimum % of allotment set aside as garden area	Applicable
400-500	25	
500-650	30	
650 and over	35	Yes

The proposal is compliant with clause 32.08-4 as:

The site occupies an area of 1036 square metres and the proposed dwellings present an overall site coverage of 43.04%, resulting in having sufficient remaining land to provide for 35% garden area.

This application includes **35.11% garden area**.

32.08-7 Construction and extension of two or more dwellings on a lot, dwellings on common property and residential buildings

Pursuant to 32.08-7 of the Planning Scheme a permit is required to construct or extend two or more dwellings on a lot, dwellings on common property and residential buildings. As such, a planning permit is triggered by this clause.

Schedule 1 to the General Residential Zone

Standard	Ref	Description	Design Response
Minimum Street Setback	B6	None specified	In compliance with B6 ✓
Site Coverage	B8	None specified	In compliance with B8 ✓
Permeability	89	None specified	In compliance with B9 ✓
Landscaping	B13	None specified	In compliance with B13 ✓
Side and Rear Setbacks	B17	None specified	In compliance with B17 ✓
Walls on Boundaries	B18	None specified	In compliance with B18 ✓
Private Open Space	B28	None specified	In compliance with B 28 ✓
Front Fence Height	B32	None specified	In compliance with B32 ✓

Zoning – Design Response Discussion

The proposed dwellings have considered and responded to the purpose of the zone. The subject land is located in close proximity to a variety of facilities and services.

In summary the policy context encourages greater choice in the type of housing to meet the varied accommodation needs of the community and is situated within easy access to public transport, shopping and community facilities.

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amenity, including natural assets and consideration of views. It achieves minimum garden area requirements.

The site is located in close proximity to local shopping, community facilities, education facilities, and public open space reserves. The character of the neighbourhood and surrounds have been fully considered in the design response for this development and is considered to be consistent and in keeping.

4.0 Overlays

None

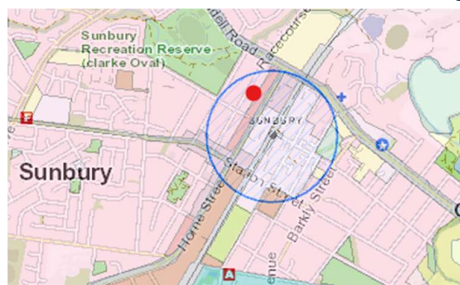
Particular Provisions

52.06 Car Parking

Car parking contained in the Hume's Planning Scheme has six main purposes.

- To ensure that car parking is provided in accordance with the State Planning Policy Framework and Local Planning Policy Framework;
- To ensure the provision of an appropriate number of car parking spaces having regard to the demand likely to be generated, the activities on the land and the nature of the locality;
- To support sustainable transport alternatives to the motor vehicle;
- To promote the efficient use of car parking spaces through the consolidation of car parking facilities;
- To ensure that car parking does not adversely affect the amenity of the locality;
- To ensure that the design and location of car parking is of a high standard, creates a safe environment for users and enables easy and efficient use.

52.06-5 Table 1 – Car Parking Requirements



*Column B applies:
No 15 Pasley Street Sunbury is within a Principal Public Transport Network Area*

The proposal is consistent with this particular provision as:

- This proposal utilises the existing crossover (layback) along Pasley Street and introduces another single crossover connecting to two driveways, providing access that is safe and convenient to use.
- Car parking to be attached to their associative dwelling, allowing for safe and efficient movement within the site.
- This proposal includes two secure car spaces per dwelling, limiting the need for on street car parking along Pasley Street.
- Car parking capacity is responsive to the likely demand generated.

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- Local public transport infrastructure provide transport alternative.

Use	No of bedrooms	Rate	Parking Required	Parking Provided
Dwelling	Dwelling 1	4	2	2 ✓
	Dwelling 2	4	2	2 ✓
	Dwelling 3	4	2	2 ✓
	Dwelling 4	4	2	2 ✓

Clause 53.18 – Stormwater Management in Urban Development:

A Stormwater Management Plan has not been provided however there is capacity for Water Sensitive Urban Design (WSUD) treatments in the form of rainwater tanks to each dwelling. The site permeability exceeds the minimum requirements under Standard B9 of Clause 55 (which requires 20%), supporting the opportunity for water to filtrate rather than run off into stormwater which will encourage water infiltration.

55 Two or more dwellings on a lot and Residential Buildings

Standard	Standard
√ B1 'Neighbourhood Character Objective'	√ B18 ' Walls on Boundaries Objective'
√ B2 'Residential Policy Objective'	√ B19 ' Daylight to existing Windows Objective'
√ B3 'Dwelling Diversity Objective'	√ B20 'North Facing Windows'
√ B4 ' Infrastructure Objective'	√ B21 'Overshadowing Objective'
√ B5 'Integration with Street Objective'	√ B22 'Overlooking Objective'
√ B6 ' Street Setback Objective'	√ B23 'Internal Views'
√ B7 ' Building Height objective'	√ B24 'Noise Impacts Objective'
√ B8 'Site Coverage Objective'	√ B25 'Accessibility Objective'
√ B9 'Permeability Objective'	√ B26 'Dwelling Entry'
√ B10 ' Energy Efficiency Protection Objective'	√ B27 'Daylight to new Windows'
√ B11 'Open Space Objective'	√ B28 ' Private Open Space'
√ B12 'Safety Objective'	√ B29 'Solar Access to Open Space'
√ B13 ' Significant Trees Objective'	√ B30 'Storage Objective'
√ B14 'Access Objective'	√ B31 'Design Detail'
√ B15 'Parking Location Objective'	√ B32 'Front Fence'
√ B17 ' Side and Rear Setbacks Objective'	√ B33 'Common Property Objective'
√	√ B34 'Site Services Objective'

55.02 NEIGHBOURHOOD CHARACTER AND INFRASTRUCTURE

55.02-1 Neighbourhood character objective

- To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.
- To ensure that the design responds to the open space area.

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Standard B1

The design response must be appropriate to the neighbourhood and the site.

The proposed design must respect the existing or preferred neighbourhood character and respond to the features of the site.

Response

The surrounding area is primarily residential with 1970-90s development. The vast majority of allotments range from 900 to 1200 square metres in area accommodating single detached dwellings. Although, much of the built form comprises original housing stock within Sunbury with additions to the rear there are many examples of more recent infill multi-dwelling development accommodating medium density housing.

The proposed dwellings thoughtfully respond to the future development vision reinforcing the prevailing pattern of development with respect to front and side setbacks and site coverage. Given the large site of over 1000 square metres, four dwellings are considered acceptable an outcome at the subject site. The application for four dwellings is within the neighbourhood character of development within the greater locality and is an appropriately responds to neighbourhood character.

Generous front and side setbacks promote planting of vegetation, open spaces and allowance for established trees which will ultimately provide canopy backdrop to the streetscape.

In addition, no front fencing proposed is in keeping with the character of low front fences providing a sense of openness to the streetscape and encouraging views into front gardens.

Complies / Does not comply

55.02-2 Residential policy objectives

- To ensure that residential development is provided in accordance with any policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.
- To support medium densities in areas where development can take advantage of public transport and community infrastructure and services.

Standard B2

An application must be accompanied by a written statement to the satisfaction of the responsible authority that describes how the development is consistent with any relevant policy for housing in the Municipal Planning Strategy and the Planning Policy Framework.

Response

The proposed four dwellings are a sensitive response to the environmental, economical and social aspects of Hume City Council's Local Planning Policy Framework. The proposal is situated relatively close to commercial and transport nodes of the area, maximising efficient use of existing infrastructure. It is compact, energy efficient and close to public transport minimising environmental impacts. The design responds positively to the existing residential character of the area and encourages off street car parking.

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55.02-3 Dwelling diversity objective

- To encourage a range of dwelling sizes and types in developments of ten or more dwellings.

Standard B3

Developments of ten or more dwellings should provide a range of dwelling sizes and types, including:

- Dwellings with a different number of bedrooms.
- At least one dwelling that contains a kitchen, bath or shower, and a toilet and wash basin at ground floor level.

Response

The proposal presents four double storey dwellings (well under ten), which includes facilities at ground level serving the needs of the aged and disabled.

Dwellings 1 and 4 include a bedroom and bathroom at ground level.

Complies / Does not comply

55.02-4 Infrastructure objectives

- To ensure development is provided with appropriate utility services and infrastructure.
- To ensure development does not unreasonably overload the capacity of utility services and infrastructure.

Standard B4

Development should be connected to reticulated services, including reticulated sewerage, drainage and electricity, if available. Connection to a reticulated gas service is optional.

Development should not unreasonably exceed the capacity of utility services and infrastructure, including reticulated services and roads.

In areas where utility services or infrastructure have little or no spare capacity, developments should provide for the upgrading of or mitigation of the impact on services or infrastructure.

Response

The application is within an established area, with adequate access to services. The site itself is connected to all the relevant service providers.

The proposed four dwellings are provided with appropriate services and infrastructure meeting the needs of the future residents and do not overload the capacity of the existing infrastructure.

Complies / Does not comply

55.02-5 Integration with the street objective

- To integrate the layout of development with the street.

Standard B5

Developments should provide adequate vehicle and pedestrian links that maintain or enhance local accessibility.

Development should be oriented to front existing and proposed streets.

Response

There is an existing constructed concrete footpath to the street frontage providing adequate vehicle and pedestrian links promoting local accessibility.

Dwelling 1 is orientated to front Pasley Street and the remaining dwellings are situated to the rear.

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High fencing in front of dwellings should be avoided if practicable.

Development next to existing public open space should be laid out to complement the open space.

No front fencing proposed encourages greater observation of adjacent streets.

Proposed crossover does not result in the removal of any street trees protecting the existing streetscape of Pasley Street.

Complies / Does not comply

55.03 SITE LAYOUT AND BUILDING MASSING

55.03-1 Street setback objective

- To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.

Standard B6

Walls of buildings should be set back from streets:

- At least the distance specified in a schedule to the zone, or
- If no distance is specified in a schedule to the zone, the distance specified in Table A1.

Porches, pergolas and verandahs that are less than 3.6 metres high and eaves may encroach not more than 2.5 metres into the setbacks of this standard.

Response

No distance is specified in schedule 1 to the zone

The site stands between 11-13 Pasley Street and 17 Pasley Street having front setbacks of 4.57 metres and 7.27 metres, respectively.

This proposal presents a front setback of 5.92 metres, an average of the two adjoining properties and is locally responsive.

Proposed porch is less than 3.6 metres in height and encroaches less than 2.5 metres into this front setback.

Complies / Does not comply

55.03-2 Building height objective

- To ensure that the height of buildings respects the existing or preferred neighbourhood character.

Standard B7

The maximum building height should not exceed the maximum height specified in the zone, schedule to the zone or an overlay that applies to the land.

If no maximum height is specified in the zone, schedule to the zone or an overlay, the maximum building height should not exceed 9 metres, unless the slope of the natural ground level at any cross section wider than 8 metres of the site of the building is 2.5 degrees or more, in which case the maximum building height should not exceed 10 metres.

Response

The height to the uppermost point of the proposal is well under the maximum height specified, reducing the appearance of visual bulk, impacts of overshadowing on adjoining properties and overall protects neighbourhood character.

Complies / Does not comply

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55.03-3 Site coverage objective

- To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.

Standard B8

The site area covered by buildings should not exceed:

- The maximum site coverage specified in a schedule to the zone, or
- If no maximum site coverage is specified in a schedule to the zone, 60 per cent.

Response

No maximum site coverage is specified in schedule 1 to the zone.

The site occupies an area of approx 1036 square metres and this proposal presents a site coverage of 43.04% promoting planting of trees and the provision of open space and permeable surfaces.

Complies / Does-not-comply

55.03-4 Permeability objective

- To reduce the impact of increased stormwater run-off on the drainage system.
- To facilitate on-site stormwater infiltration.
- To encourage stormwater management that maximises the retention and reuse of stormwater.

Standard B9

The site area covered by pervious surfaces should be at least:

- The minimum area specified in a schedule to the zone; or
- If no minimum area is specified in a schedule to the zone, 20 per cent of the site.

Response

No minimum area is specified in schedule 1 to the zone.

Due to a site coverage of 43% there is sufficient remaining land to provide for more than 20% of the surface to be permeable promoting increased absorption of stormwater on the site. This application includes 36.22% permeability.

The stormwater management system should be designed to:

- **Meet the current best practice performance objectives for stormwater quality as contained in the Urban Stormwater - Best Practice Environmental Management Guidelines (Victorian Stormwater Committee, 1999).**
- Contribute to cooling, improving local habitat and providing attractive and enjoyable spaces.

Complies / Does-not-comply

55.03-5 Energy efficiency protection objective

- To achieve and protect energy efficient dwellings and residential buildings.
- To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.

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Standard B10**Response**

Buildings should be:

- Oriented to make appropriate use of solar energy.
- Sited and designed to ensure that the energy efficiency of existing dwellings on adjoining lots is not unreasonably reduced.
- Sited and designed to ensure that the performance of existing rooftop solar energy systems on dwellings on adjoining lots in a General Residential Zone, Neighbourhood Residential Zone or Township Zone are not unreasonably reduced. The existing rooftop solar energy system must exist at the date the application is lodged.

This proposal has been designed to make the best use of natural light by providing open plan living towards the rear and the introduction of north facing habitable room windows allowing access to passive solar radiation, hence minimising the need for artificial daylight during the day.

Living areas and private open space should be located on the north side of the development, if practicable.

Developments should be designed so that solar access to north-facing windows is maximised.

Complies / Does not comply

55.03-6 Open space objective

- To integrate the layout of development with any public and communal open space provided in or adjacent to the development.

Standard B11**Response**

If any public or communal open space is provided on site, it should:

- Be substantially fronted by dwellings, where appropriate.
- Provide outlook for as many dwellings as practicable.
- Be designed to protect any natural features on the site.
- Be accessible and useable.

This application does not include any public or communal open space on site however front open space proposed is useable, accessible, safe and addresses each of the proposed dwellings.

Complies / Does not comply

55.03-7 Safety objective

- To ensure the layout of development provides for the safety and security of residents and property.

Standard B12**Response**

Entrances to dwellings and residential buildings should not be obscured or isolated from the street and internal accessways.

This proposal has been designed to ensure entrances, access ways and private spaces are visible, safe and used appropriately. Each secluded private open space area is reasonably

Planting which creates unsafe spaces along streets and accessways should be avoided.

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Developments should be designed to provide good lighting, visibility and surveillance of car parks and internal accessways.

Private spaces within developments should be protected from inappropriate use as public thoroughfares.

ways and the street. Proposed planting of trees is not positioned to promote unsafe places along Pasley Street and within the development site.

Complies / Does not comply

55.03-8 Significant trees objective

- To encourage development that respects the landscape character of the neighbourhood.
- To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.
- To provide appropriate landscaping.
- To encourage the retention of mature vegetation on the site.

Standard B13

Response

The landscape layout and design should:

- Protect any predominant landscape features of the neighbourhood.
- Take into account the soil type and drainage patterns of the site.
- Allow for intended vegetation growth and structural protection of buildings.
- In locations of habitat importance, maintain existing habitat and provide for new habitat for plants and animals.
- Provide a safe, attractive and functional environment for residents.

No requirements specified in schedule 1 to the zone.

This proposal will result in the removal of vegetation however seeks to introduce additional vegetation compatible with the existing landscape character of the neighbourhood.

Although a landscape plan has not been prepared, adequate space has been provided to achieve meaningful landscaping outcomes for the dwellings within the front, side and rear private open space areas.

Development should provide for the retention or planting of trees, where these are part of the character of the neighbourhood.

Proposed crossover does not result in the removal of any street trees, protecting the existing streetscape of Pasley Street.

Development should provide for the replacement of any significant trees that have been removed in the 12 months prior to the application being made.

The landscape design should specify landscape themes, vegetation (location and species), paving and lighting.

Development should meet any additional landscape requirements specified in a schedule to the zone.

Complies / Does not comply

55.03-9 Access objective

- To ensure the number and design of vehicle crossovers respects the neighbourhood character.

Standard B14

The width of accessways or car spaces should not exceed:

- 33 per cent of the street frontage, or
- if the width of the street frontage is less than 20 metres, 40 per cent of the street frontage.

No more than one single-width crossover should be provided for each dwelling fronting a street.

The location of crossovers should maximise the retention of on-street car parking spaces.

The number of access points to a road in a Transport Zone 2 or a Transport Zone 3 should be minimised.

Developments must provide for access for service, emergency and delivery vehicles.

Response

This proposal utilises the existing concrete vehicle layback and introduces another crossover along Pasley Street. One provides exclusive access for dwelling 1 while the other meets a common driveway providing access for dwellings 2, 3 and 4; that is safe and convenient to use. The design and layout of the driveway ensure cars are able to enter and exit the site in a forward's direction.

Complies / Does not comply

55.03-10 Parking Location objective

- To provide convenient parking for resident and visitor vehicles.
- To protect residents from vehicular noise within developments.

Standard B15

Car parking facilities should:

- Be reasonably close and convenient to dwellings and residential buildings.
- Be secure.
- Be well ventilated if enclosed.

Shared accessways or car parks of other dwellings and residential buildings should be located at least 1.5 metres from the windows of habitable rooms. This setback may be reduced to 1 metre where there is a fence at least 1.5 metres high or where window sills are at least 1.4 metres above the accessway.

Response

This proposal situates car parking such that they're attached to their associative dwelling providing direct access and are secure and convenient designed to allow for safe and efficient movement within the development.

The design adequately protects residents from vehicular noise within development.

Complies / Does not comply

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55.04-1 Side and rear setbacks objective

- To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.

Standard B17

A new building not on or within 200mm of a boundary should be set back from side or rear boundaries:

- At least the distance specified in a schedule to the zone, or
- If no distance is specified in a schedule to the zone, 1 metre, plus 0.3 metres for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres.

Sunblinds, verandahs, porches, eaves, fascias, gutters, masonry chimneys, flues, pipes, domestic fuel or water tanks, and heating or cooling equipment or other services may encroach not more than 0.5 metres into the setbacks of this standard.

Landings having an area of not more than 2 square metres and less than 1 metre high, stairways, ramps, pergolas, shade sails and carports may encroach into the setbacks of this standard.

Response

No requirements have been specified in schedule 1 to the zone.

The garage servicing dwelling 1 partially occupies the north western boundary while dwellings 2, 3 and 4 are setback 3.70 metres with a height of less than 3.6 metres.

The garage servicing dwelling 4 has a rear setback of 2.10 metres whilst occupying the south western boundary. Dwellings 1, 2 and 3 are setback 4.95 metres, 6.50 metres and 6.50 metres, respectively with a height of less than 3.6 metres.

The upper storeys are further setback from boundaries reducing adverse amenity impacts on neighbouring dwellings together with reducing impact of visual bulk on neighbourhood character.

Complies-/ Does not comply

55.04-2 Walls on boundaries objective

- To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.

Standard B18

A new wall constructed on or within 200mm of a side or rear boundary of a lot or a carport constructed on or within 1 metre of a side or rear boundary of a lot should not abut the boundary:

- For a length more than the distance specified in a schedule to the zone; or
- If no distance is specified in a schedule to the zone, for a length of more than:
 - 10 metres plus 25 per cent of the remaining length of the boundary of an adjoining lot, or

Response

No length/height has been specified in schedule 1 to the zone

The garage walls servicing dwellings 1 and 4 which occupy the north eastern and south western boundaries have a maximum average height of 3.2 metres with no part exceeding 3.6 metres in height.

The maximum allowable length along each boundary is $10m + (25\% 40.51m) = 20.13$ metres; the length of these wall are well under.

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- Where there are existing or simultaneously constructed walls or carports abutting the boundary on an abutting lot, the length of the existing or simultaneously constructed walls or carports, whichever is the greater.

A new wall or carport may fully abut a side or rear boundary where the slope and retaining walls or fences would result in the effective height of the wall or carport being less than 2 metres on the abutting property boundary.

A building on a boundary includes a building set back up to 200mm from a boundary.

The height of a new wall constructed on or within 200mm of a side or rear boundary or a carport constructed on or within 1 metre of a side or rear boundary should not exceed an average of 3.2 metres with no part higher than 3.6 metres unless abutting a higher existing or simultaneously constructed wall.

Complies / Does not comply

55.04-3 Daylight to existing windows objective

- To allow adequate daylight into existing habitable room windows.

Standard B19

Buildings opposite an existing habitable room window should provide for a light court to the existing window that has a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky. The calculation of the area may include land on the abutting lot.

Walls or carports more than 3 metres in height opposite an existing habitable room window should be set back from the window at least 50 per cent of the height of the new wall if the wall is within a 55 degree arc from the centre of the existing window. The arc may be swung to within 35 degrees of the plane of the wall containing the existing window.

Where the existing window is above ground floor level, the wall height is measured from the floor level of the room containing the window.

Response

The proposed dwellings will not reduce the amount of natural daylight entering habitable room windows within neighbouring properties; sufficiently setback achieving well in excess of 3 square metres with a minimum dimension of 1 metre clear to the sky.

Complies / Does not comply

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55.04-4 North facing windows objective

- To allow adequate solar access to existing north-facing habitable room windows.

Standard B20

If a north-facing habitable room window of an existing dwelling is within 3 metres of a boundary on an abutting lot, a building should be setback from the boundary 1 metre, plus 0.6 metre for every metre of height over 3.6 metres up to 6.9 metres, plus 1 metre for every metre of height over 6.9 metres, for a distance of 3 metres from the edge of each side of the window. A north-facing window is a window with an axis perpendicular to its surface oriented north 20 degrees west to north 30 degrees east.

Response

There are four habitable room windows along the north eastern wall of 17 Pasley Street. These windows fall within the range of 20°West/30°East within 3m of the site's south western boundary.

The ground level of dwelling 1 is setback 4.95 metres (totalling 4.95+2.90=7.85 metres) and the upper level is setback 5.10 metres (totalling 5.10+2.90=8.00 metres) ensuring these windows continue to enjoy solar access.

Complies / Does not comply

55.04-5 Overshadowing open space objective

- To ensure buildings do not unreasonably overshadow existing secluded private open space.

Standard B21

Where sunlight to the secluded private open space of an existing dwelling is reduced, at least 75 per cent, or 40 square metres with minimum dimension of 3 metres, whichever is the lesser area, of the secluded private open space should receive a minimum of five hours of sunlight between 9 am and 3 pm on 22 September.

If existing sunlight to the secluded private open space of an existing dwelling is less than the requirements of this standard, the amount of sunlight should not be further reduced.

Response

There is private open space within nine metres of the site and are situated to the rear of units 2, 4 and 6 of 11-13 Pasley Street, 17 Pasley Street and directly behind.

According to attached shadow diagrams this proposal will not overshadow these areas. Extent of overshadowing predominantly falls within shadows being casted by existing fencing.

Complies / Does not comply

55.04-6 Overlooking objective

- To limit views into existing secluded private open space and habitable room windows.

Standard B22

A habitable room window, balcony, terrace, deck or patio should be located and designed to avoid direct views into the secluded private open space and habitable room windows of an existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio. Views should be measured within a 45 degree angle from the plane of the window or perimeter of the balcony, terrace, deck or patio, and from a height of 1.7 metres above floor level.

Response

Existing habitable room windows and private open space are within 9m of the proposal, however potential for overlooking is minimised as this proposal sets the upper level further back from boundaries and introduces obscured glazing 1700mm above floor level to all full sized upper storey habitable room windows along the side and rear elevations; providing reasonable protection against visual intrusion.

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A habitable room window, balcony, terrace, deck or patio with a direct view into a habitable room window of existing dwelling within a horizontal distance of 9 metres (measured at ground level) of the window, balcony, terrace, deck or patio should be either:

- Offset a minimum of 1.5 metres from the edge of one window to the edge of the other, or
- Have sill heights of at least 1.7 metres above floor level, or
- Have obscure glazing in any part of the window below 1.7 metres above floor level, or
- Have permanently fixed external screens to at least 1.7 metres above floor level and be no more than 25 per cent transparent.

Obscure glazing in any part of the window below 1.7 metres above floor level may be openable provided that there are no direct views as specified in this standard.

Screens used to obscure a view should be:

- Perforated panels or trellis with a maximum of 25 per cent openings or solid translucent panels.
- Permanent, fixed and durable.
- Designed and coloured to blend in with the development.

This standard does not apply to a new habitable room window, balcony, terrace, deck or patio which faces a property boundary where there is a visual barrier at least 1.8 metres high and the floor level of the habitable room, balcony, terrace, deck or patio is less than 0.8 metres above ground level at the boundary.

Complies / Does not comply

55.04-7 Internal views objective

- To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.

Standard B23

Windows and balconies should be designed to prevent overlooking of more than 50 per cent of the secluded private open space of a lower-level dwelling or residential building directly below and within the same development.

Response

All windows within the proposal have been positioned such that direct observation into other habitable room windows within the site is not possible protecting the privacy of all residents.

Complies / Does not comply

55.04-8 Noise impacts objectives

- To contain noise sources in development

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- To protect residents from external noise.

Standard B24

Noise sources, such as mechanical plant, should not be located near bedrooms of immediately adjacent existing dwellings.

Noise sensitive rooms and secluded private open spaces of new dwellings and residential buildings should take account of noise sources on immediately adjacent properties.

Dwellings and residential buildings close to busy roads, railway lines or industry should be designed to limit noise levels in habitable rooms.

Response

The only major identifiable noise source within the surrounding area is traffic Pasley Street. All bedrooms and private open space areas are well setback.

Complies / Does not comply

55.05 ON-SITE AMENITY AND FACILITIES

55.05-1 Accessibility objective

- To encourage the consideration of the needs of people with limited mobility in the design of developments.

Standard B25

The dwelling entries of the ground floor of dwellings and residential buildings should be accessible or able to be easily made accessible to people with limited mobility.

Response

This proposal presents four double storey dwellings, which have the potential to be easily made accessible to people with limited mobility.

Dwellings 1 and 4 include a bedroom and bathroom at ground level.

Complies / Does not comply

55.05-2 Dwelling entry objective

- To provide each dwelling or residential building with its own sense of identity.

Standard B26

Entries to dwellings and residential buildings should:

- Be visible and easily identifiable from streets and other public areas.
- Provide shelter, a sense of personal address and a transitional space around the entry.

Response

The proposed dwelling entries are visible and easily identifiable from Pasley Street with a sense of personal address and transitional space around the entry.

The proposed porches and open driveway further enhance this aspect for dwellings 2, 3 and 4.

Complies / Does not comply

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55.05-3 Daylight to new windows objective

- To allow adequate daylight into new habitable room windows.

Standard B27

A window in a habitable room should be located to face:

- An outdoor space clear to the sky or a light court with a minimum area of 3 square metres and minimum dimension of 1 metre clear to the sky, not including land on an abutting lot, or
- A verandah provided it is open for at least one third of its perimeter, or
- A carport provided it has two or more open sides and is open for at least one third of its perimeter.

Response

Habitable room windows of the proposed dwellings face open space and are provided with more than the minimum dimension of one metre and area of 3 square metres clear to the sky promoting penetration of natural daylight into these windows for amenity while limiting the need for artificial light during the day.

Complies / Does not comply

55.05-4 Private open space objective

- To provide adequate private open space for the reasonable recreation and service needs of residents.

Standard B28

A dwelling or residential building should have private open space of an area and dimensions specified in a schedule to the zone.

If no area or dimensions is specified in a schedule to the zone, a dwelling or residential building should have private open space consisting of:

- An area of 40 square metres, with one part of the private open space to consist of secluded private open space at the side or rear of the dwelling or residential building with a minimum area of 25 square metres, a minimum dimension of 3 metres and convenient access from a living room, or
- A balcony of 8 square metres with a minimum width of 1.6 metres and convenient access from a living room, or
- A roof-top area of 10 square metres with a minimum width of 2 metres and convenient access from a living room.

Response

No requirements have been specified in schedule 1 to the zone.

This application reserves over 200 square metres for secluded private open space with a minimum dimension of 3.0 metres and directly accessible from a the main living room.

	SPOS (sqm)
Dwelling 1	35.92
Dwelling 2	50.65
Dwelling 3	50.65
Dwelling 4	94.22

The balcony requirements in Clause 55.05-4 do not apply to an apartment development.

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55.05-5 Solar access to open space objective

- To allow solar access into the secluded private open space of a new dwelling.

Standard B29

The private open space should be located on the north side of the dwelling or residential building, if appropriate.

The southern boundary of secluded private open space should be set back from any wall on the north of the space at least $(2 + 0.9h)$ metres, where 'h' is the height of the wall.

Response

Secluded private open space areas will not be overshadowed due to their northern orientation. Secluded private open space west of dwelling 4 will be subject to some overshadowing during the early morning however extent of overshadowing impacts 50% of their SPOS area and will have solar access for at least 5 hours between the hours of 9am and 3pm later during the day.

Complies / Does not comply

55.05-6 Storage objective

- To provide adequate storage facilities for each dwelling.

Standard B30

Each dwelling should have convenient access to at least 6 cubic metres of externally accessible, secure storage space.

Response

This proposal presents 6 cubic metres of external storage space per dwelling within the proposed sheds.

Complies / Does not comply

55.06 DETAILED DESIGN

55.06-1 Design detail objective

- To encourage design detail that respects the existing or preferred neighbourhood character.

Standard B31

The design of buildings, including:

- Facade articulation and detailing,
- Window and door proportions,
- Roof form, and
- Verandahs, eaves and parapets,

should respect the existing or preferred neighbourhood character.

Garages and carports should be visually compatible with the development and the existing or preferred neighbourhood character.

Response

The proposed dwellings have been designed to respond to the emerging character along Pasley Street in Sunbury, in terms of a contemporary built form and materials, using:

- Face brickwork
- Render finish to external walls (surf mist and shale grey colours)
- Weatherboards (surf mist)
- Timber entry doors
- Colorbond roofing

The modern design is considered an improvement on the existing residence. Their colours, finishes and textures together with placement of windows/doors create articulation.

Complies / Does not comply

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55.06-2 Front fences objective

- To encourage front fence design that respects the existing or preferred neighbourhood character.

Standard B32

A front fence within 3 metres of a street should not exceed:

- The maximum height specified in a schedule to the zone, or
- If no maximum height is specified in a schedule to the zone, the maximum height specified in Table B3.

Street context	Maximum front fence height
Streets in a Transport Zone 2	2 metres
Other streets	1.5 metres

Response

No height is specified in Schedule 1 top the zone.

None

Complies / Does not comply

55.06-3 Common property objectives

- To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.
- To avoid future management difficulties in areas of common ownership.

Standard B33

Developments should clearly delineate public, communal and private areas. Common property, where provided, should be functional and capable of efficient management.

Response

Common property within the application involves a the driveway to be shared between dwellings 2, 3 and 4. Designed to be safe, practical, attractive and easily maintained. This reduces future management difficulty.

Complies / Does not comply

55.06-4 Site services objectives

- To ensure that site services can be installed and easily maintained.
- To ensure that site facilities are accessible, adequate and attractive.

Standard B34

The design and layout of dwellings and residential buildings should provide sufficient space (including easements where required) and facilities for services to be installed and maintained efficiently and economically.

Bin and recycling enclosures, mailboxes and other site facilities should be adequate in size, durable, waterproof and blend in with the development.

Bin and recycling enclosures should be located for convenient access by residents.

Response

Mailboxes are built along the frontage, in keeping and appropriately positioned for convenient access as required by Australia Post.

Bin enclosures are to be stored away from street view and conveniently located to the rear/side via the garage and taken out on garbage collection days.

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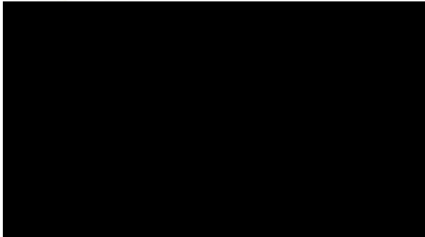
Mailboxes should be provided and located for convenient access as required by Australia Post.

Complies / Does not comply

Conclusion

This proposal presents four (4) new dwellings at 15 Pasley Street, Sunbury which strikes a balance between improving living standards while protecting the original character of our neighbourhoods. It reflects a high standard of design, and has been reached through careful consideration of adjoining properties and the nature of the proposed site.

It is generally in accordance with the relevant objectives of the Planning Policy Frameworks and neighbourhood studies. The proposed development meets the objectives and Standards as set out in Clause 55 of the Scheme, as well as Clause 52.06 and 52.13 pertaining to car parking and Stormwater Management in Urban Development, respectively.



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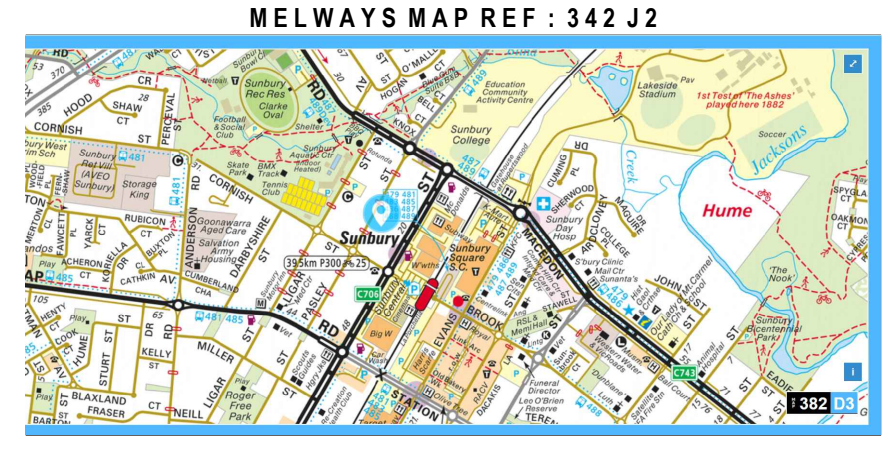


SUBJECT SITE ADJOINING No. 17 NEIGHBOURING No. 19 NEIGHBOURING No. 20 NEIGHBOURING No. 18 NEIGHBOURING No. 16 NEIGHBOURING No. 12 - 14 NEIGHBOURING No. 11 - 13 NEIGHBOURING No. 11 - 13

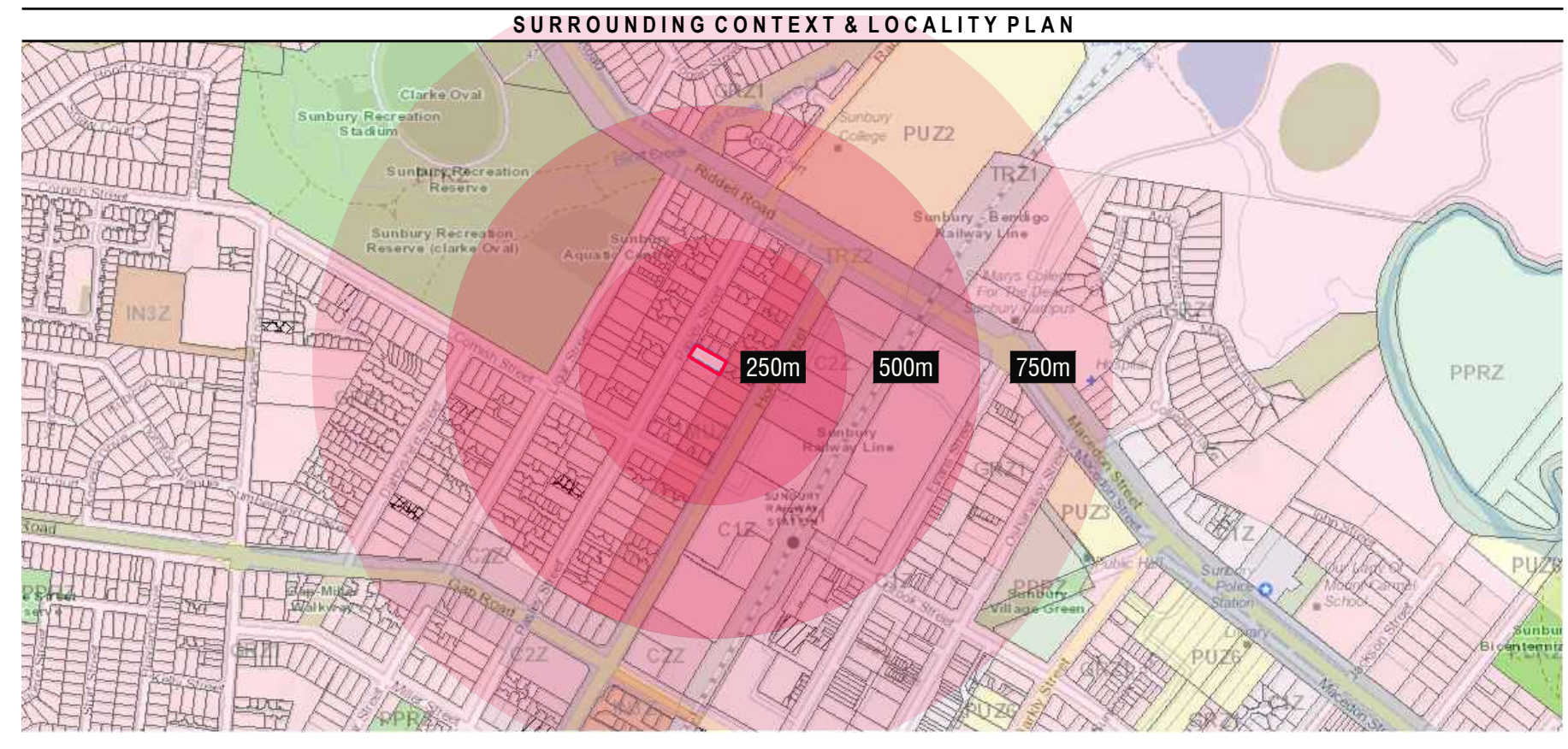
LEGEND	
	SUBJECT SITE
	ADJOINING PROPERTY BOUNDARIES
	EXISTING AND/OR PROPOSED UNIT DEVELOPMENT WITHIN VICINITY OF SITE
	OUTLINE OF GROUND FLOOR BUILDING LINE ON SUBJECT SITE AND ADJOINING PROPERTIES
	PUBLIC BUS AND/OR TRAM ROUTES
	OVERHEAD ELECTRICAL LINES
	EXISTING SITE FEATURE AS PER SITE PLAN AND/OR FEATURE SURVEY PLAN - SEE PROPOSED SITE & FLOOR PLAN
	EXISTING/PROPOSED CROSSOVER SERVING SUBJECT SITE
	EXISTING/PROPOSED BUILDING SETBACKS FROM TITLE BOUNDARY
	EXISTING TREES / VEGETATION WITHIN 9.0m OF SUBJECT SITE. REFER TO SITE PLAN FOR ADDITIONAL DETAILS
	ADJOINING HABITABLE ROOM WINDOW WITHIN 9.0m OF SUBJECT SITE. REFER TO SITE PLAN FOR ADDITIONAL DETAILS
	PHOTO REFERENCE
	SINGLE STOREY DWELLING
	DOUBLE STOREY DWELLING
	TRIPLE STOREY DWELLING
	TILE ROOF CLADDING
	METAL / COLORBOND ROOF CLADDING
	BRICK CLADDING
	WEATHERBOARD CLADDING
	LIGHTWEIGHT FACADE CLADDING
	RENDERED FINISH TO FACADE
	EXISTING PRIVATE OPEN SPACE AREA WITHIN 9.0m OF SUBJECT SITE



SITE & PLANNING INFORMATION	
PLANNING ZONE:	GENERAL RESIDENTIAL ZONE (GRZ) GENERAL RESIDENTIAL ZONE - SCHEDULE 1 (GRZ1)
OVERLAYS:	
MUNICIPALITY:	HUME CITY COUNCIL
MELWAYS REF:	382 - 03
WATER RETAILER:	GREATER WESTERN WATER
POWER DISTRIBUTOR:	JEMENA



LOCALITY INFORMATION	
MELBOURNE CBD	APPROXIMATE DISTANCE TO MELBOURNE CBD
41.0 km	
PRIMARY SCHOOLS	
1.4 km	OUR LADY OF MOUNT CARMEL PRIMARY SCHOOL
1.6 km	ST ANNE'S CATHOLIC PRIMARY SCHOOL
2.0 km	SUNBURY WEST PRIMARY SCHOOL
SECONDARY SCHOOLS	
1.08 km	SALESIAN COLLEGE
2.51 km	SUNBURY DOWNS COLLEGE
SHOPPING	
950 m	SUNBURY SQUARE SHOPPING CENTRE
RESERVES & OUTDOOR	
850 m	SUNBURY RECREATION RESERVE
750 m	KISMET CREEK RESERVE
2.8 km	HEYSEN DRIVE RESERVE
3.6 km	BLIND CREEK PARKLANDS
COMMUNITY & SERVICES	
1.20 km	SUNBURY POLICE STATION
850 m	SUNBURY DAY HOSPITAL
1.0 km	ST MARY'S ANGLICAN CHURCH SUNBURY
TRANSPORT	
400 m	SUNBURY RAILWAY STATION
400 m	BUS STOP



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RE-ESTABLISHMENT SURVEY
PLANS TO BE READ IN CONJUNCTION WITH RE-ESTABLISHMENT SURVEY PREPARED BY: BENCHMARK LAND SURVEYORS - DATED 06/04/2024 - REFERENCE 1524

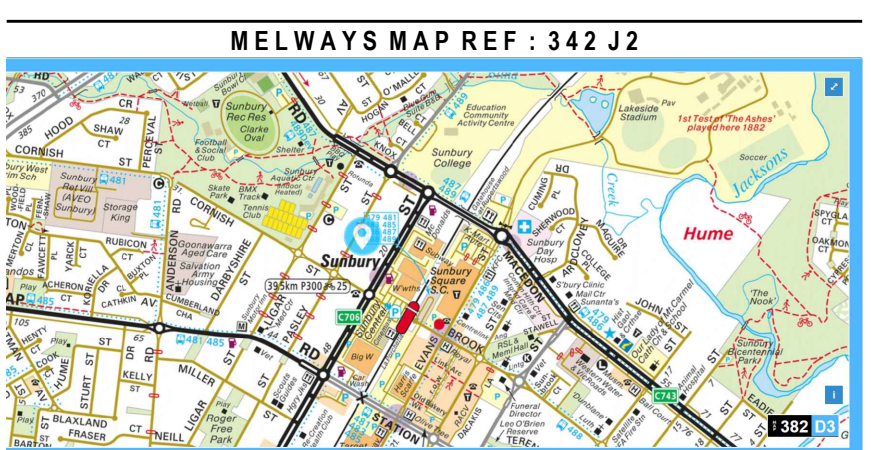
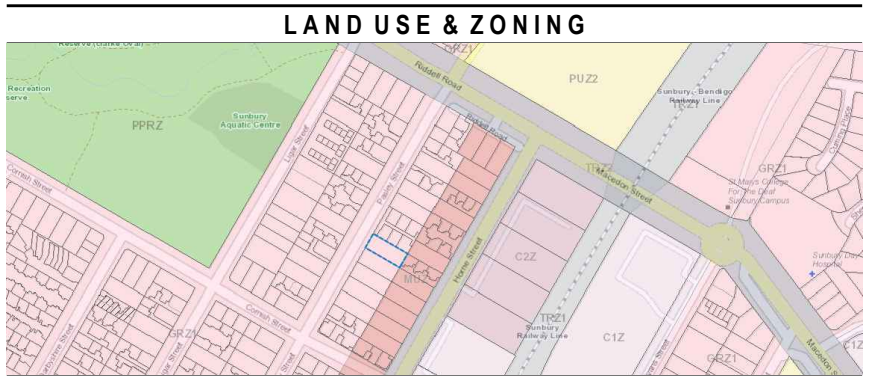
FEATURE SURVEY PLAN
PLANS TO BE READ IN CONJUNCTION WITH SURVEY PLAN PREPARED BY: BENCHMARK LAND SURVEYORS - DATED 06/04/2024 - REFERENCE 1524

NEIGHBOURHOOD & SITE DESCRIPTION

LEGEND	
	SUBJECT SITE
	ADJOINING PROPERTY BOUNDARIES
	EXISTING AND/OR PROPOSED UNIT DEVELOPMENT WITHIN VICINITY OF SITE
	OUTLINE OF GROUND FLOOR BUILDING LINE ON SUBJECT SITE AND ADJOINING PROPERTIES
	PUBLIC BUS AND/OR TRAM ROUTES
	OVERHEAD ELECTRICAL LINES
	EXISTING SITE FEATURE AS PER SITE PLAN AND/OR FEATURE SURVEY PLAN - SEE PROPOSED SITE & FLOOR PLAN
	EXISTING/PROPOSED CROSSOVER SERVING SUBJECT SITE
	EXISTING/PROPOSED BUILDING SETBACKS FROM TITLE BOUNDARY
	EXISTING TREES / VEGETATION WITHIN 9.0m OF SUBJECT SITE. REFER TO SITE PLAN FOR ADDITIONAL DETAILS
	ADJOINING HABITABLE ROOM WINDOW WITHIN 9.0m OF SUBJECT SITE. REFER TO SITE PLAN FOR ADDITIONAL DETAILS
	PHOTO REFERENCE
	SINGLE STOREY DWELLING
	DOUBLE STOREY DWELLING
	TRIPLE STOREY DWELLING
	TILE ROOF CLADDING
	METAL / COLORBOND ROOF CLADDING
	BRICK CLADDING
	WEATHERBOARD CLADDING
	LIGHTWEIGHT FACADE CLADDING
	RENDERED FINISH TO FACADE
	EXISTING PRIVATE OPEN SPACE AREA WITHIN 9.0m OF SUBJECT SITE

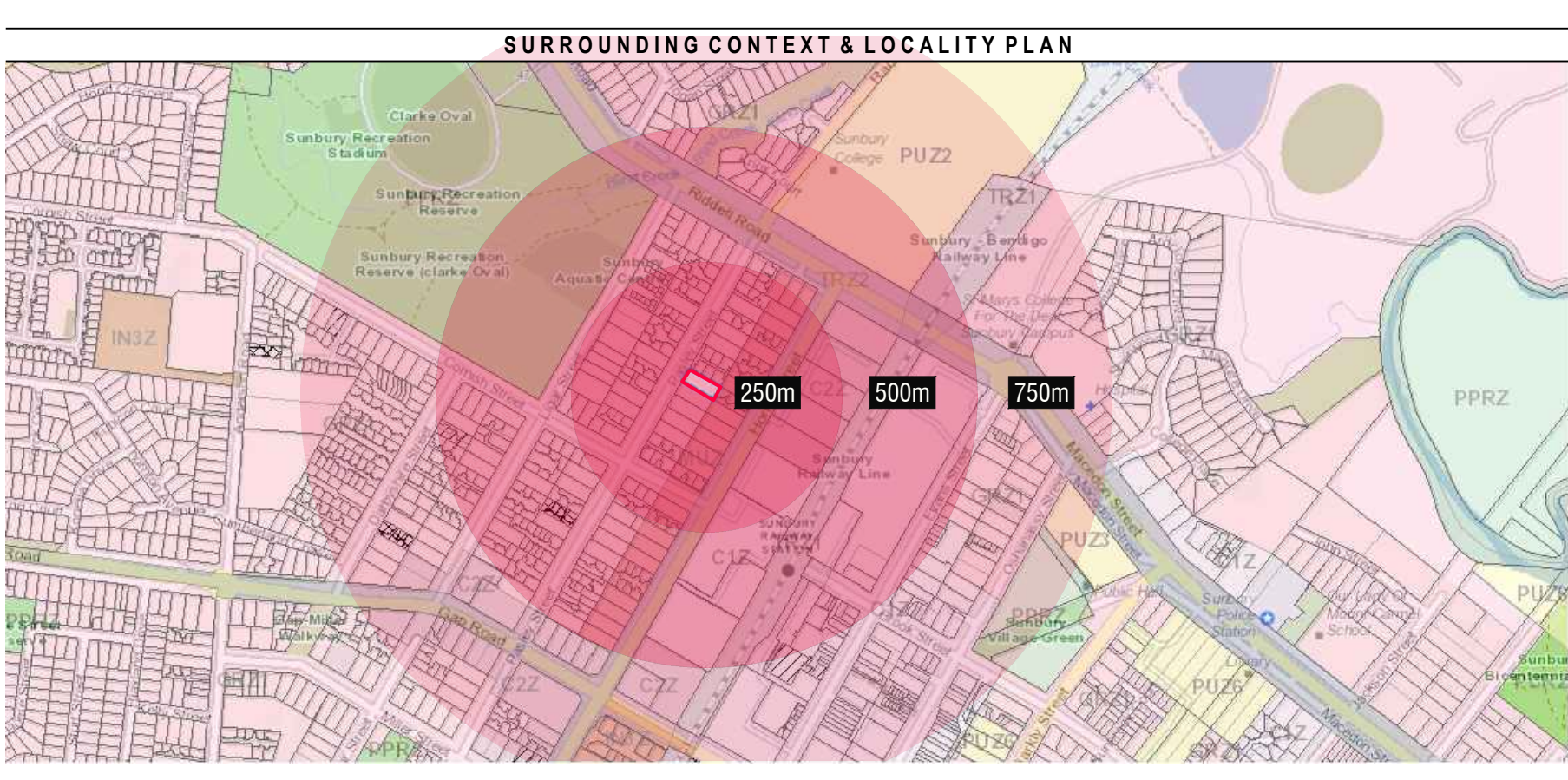


SITE & PLANNING INFORMATION	
PLANNING ZONE:	GENERAL RESIDENTIAL ZONE (GRZ) GENERAL RESIDENTIAL ZONE - SCHEDULE 1 (GRZ1)
OVERLAYS:	
MUNICIPALITY:	HUME CITY COUNCIL
MELWAYS REF:	382 - 03
WATER RETAILER:	GREATER WESTERN WATER
POWER DISTRIBUTOR:	JEMENA



LOCALITY INFORMATION	
MELBOURNE CBD	APPROXIMATE DISTANCE TO MELBOURNE CBD
41.0 km	
PRIMARY SCHOOLS	
1.4 km	OUR LADY OF MOUNT CARMEL PRIMARY SCHOOL
1.6 km	ST ANNE'S CATHOLIC PRIMARY SCHOOL
2.0 km	SUNBURY WEST PRIMARY SCHOOL
SECONDARY SCHOOLS	
1.08 km	SALESIAN COLLEGE
2.51 km	SUNBURY DOWNS COLLEGE
SHOPPING	
950 m	SUNBURY SQUARE SHOPPING CENTRE
RESERVES & OUTDOOR	
850 m	SUNBURY RECREATION RESERVE
750 m	KISMET CREEK RESERVE
2.8 km	HEYSEN DRIVE RESERVE
3.6 km	BLIND CREEK PARKLANDS
COMMUNITY & SERVICES	
1.20 km	SUNBURY POLICE STATION
850 m	SUNBURY DAY HOSPITAL
1.0 km	ST MARY'S ANGLICAN CHURCH SUNBURY
TRANSPORT	
400 m	SUNBURY RAILWAY STATION
400 m	BUS STOP

SITE DESCRIPTION	
• REFER TO THE REPORT	



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RE-ESTABLISHMENT SURVEY
PLANS TO BE READ IN CONJUNCTION WITH RE-ESTABLISHMENT SURVEY PREPARED BY: BENCHMARK LAND SURVEYORS - DATED 06/04/2024 - REFERENCE 1524

FEATURE SURVEY PLAN
PLANS TO BE READ IN CONJUNCTION WITH FEATURE SURVEY PLAN PREPARED BY: BENCHMARK LAND SURVEYORS - DATED 06/04/2024 - REFERENCE 1524

DESIGN RESPONSE PLAN

plantech 4/14-18 O'Shannassy Street, Sunbury VIC, 3429
 (03) 9069 6683 info@plantech.net.au www.plantech.net.au

Design Matters REGISTERED MEMBER

ANY DISCREPANCIES OR INCONSISTENCIES FOUND CONCERNING THESE DRAWINGS SHALL BE REPORTED TO PLANTTECH FOR CLARIFICATION. REQUIRED DIMENSIONS AND PRECEDENCE WITH SCALE DIMENSIONS. THE BUILDER & SUBCONTRACTORS SHALL CHECK AND VERIFY ALL DIMENSIONS, SETBACKS, LEVELS & SPECIFICATIONS & ALL OTHER RELEVANT DOCUMENTATION PRIOR TO THE COMMENCEMENT OF ANY WORK. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH ALL RELEVANT STRUCTURAL & ALL OTHER CONSULTANT DRAWINGS/DETAILS & WITH ANY OTHER RELEVANT NOTIFICATIONS ISSUED IN THE COURSE OF THE CONTRACT. DESIGN, PLANS & SPECIFICATIONS CONTAINED WITHIN ALL DRAWINGS & DOCUMENTS IS THE SOLE PROPERTY OF PLANTTECH. ANY REPRODUCTION OR ADAPTATION WITHOUT WRITTEN PERMISSION OF PLANTTECH IS PROHIBITED.

REV. DATE: 28-05-24
 ISSUE: TOWN PLANNING APPLICATION

PROJECT: MULTI-UNIT DEVELOPMENT
 PROJECT ADDRESS: 15 PASLEY STREET, SUNBURY VIC 3429
 CLIENT/S: CAPABEL FINANCE

DRAWING TITLE: DESIGN RESPONSE PLAN
 DATE: 28-05-24
 SCALE: 1:300
 SHEET SIZE: A1
 SHEET: TP 02

PASLEY STREET

EXISTING SITE PLAN

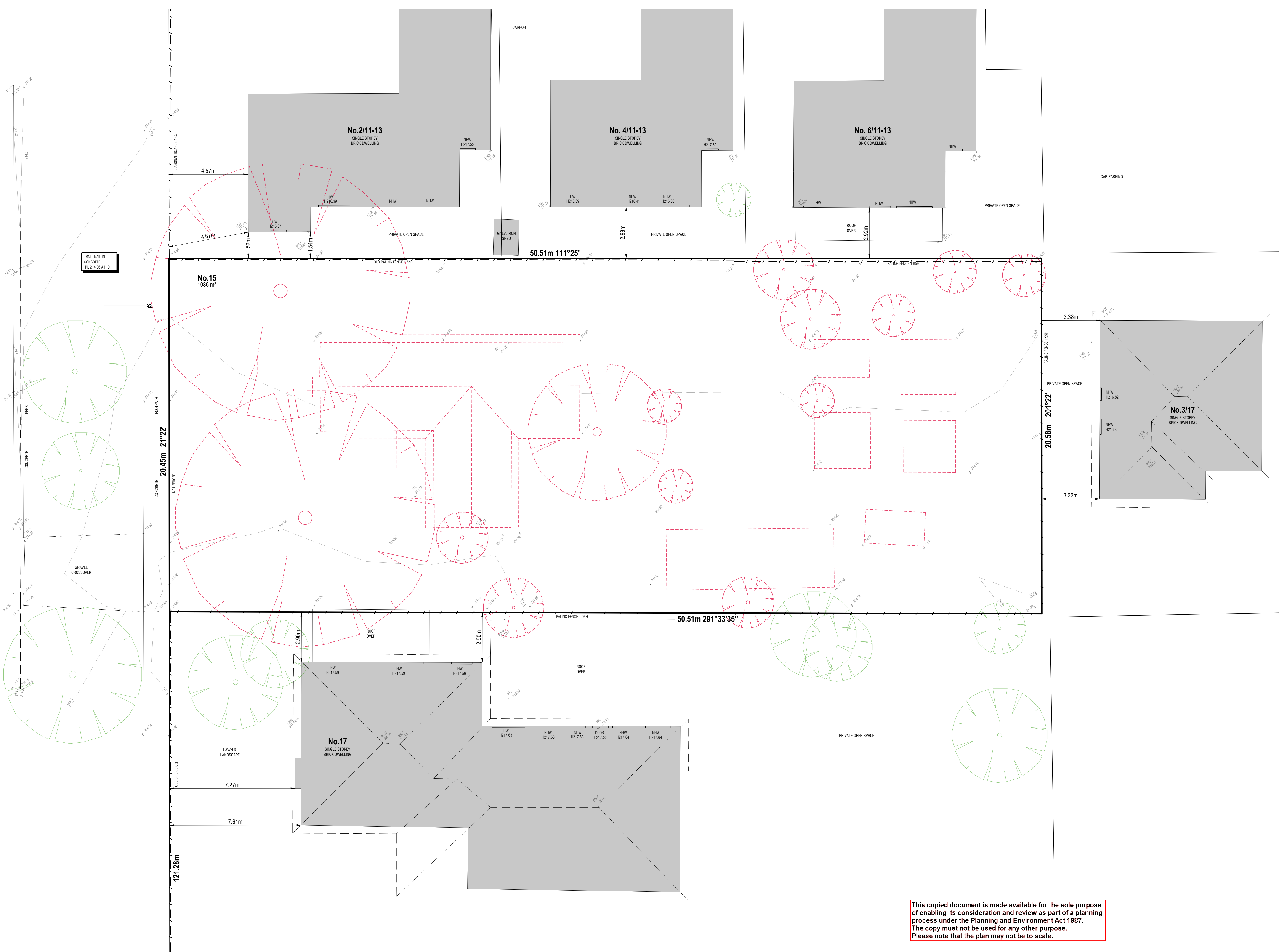


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LEGEND

	EXISTING ADJOINING BUILDINGS & STRUCTURES
	EXISTING BOUNDARY FENCING AS PER NOMINATED HEIGHT AND TYPE
	HABITABLE ROOM WINDOW OR DOOR WITHIN 9.0m OF SUBJECT SITE
	NON-HABITABLE ROOM WINDOW WITHIN 9.0m OF SUBJECT SITE
	EXISTING TREES / VEGETATION

PASLEY STREET



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LEGEND	
	EXISTING ADJOINING BUILDINGS & STRUCTURES
	EXISTING BOUNDARY FENCING AS PER NOMINATED HEIGHT AND TYPE
	HABITABLE ROOM WINDOW OR DOOR WITHIN 9.0m OF SUBJECT SITE
	NON-HABITABLE ROOM WINDOW WITHIN 9.0m OF SUBJECT SITE
	TO BE DEMOLISHED AND REMOVED
	TREES / VEGETATION TO BE DEMOLISHED AND REMOVED
	EXISTING TREES / VEGETATION

PROPOSED DEMOLITION PLAN

LEGEND

- PROPOSED BUILDING FOOTPRINT
- PROPOSED CONCRETE AREA (IMPERMEABLE SURFACE)
- PROPOSED LANDSCAPED AREA (PERMEABLE SURFACE)
- PROPOSED GARDEN BED/MULCH AREA (PERMEABLE) - SEE LANDSCAPE PLAN
- PROPOSED PAVING / LIT/DIALE TOPPING (PERMEABLE SURFACE)
- PROPOSED RAINWATER GARDEN AREA AS PER WSUD - STORM PLAN
- EXISTING ADJOINING BUILDINGS & STRUCTURES
- PROPOSED GARBAGE & RECYCLING BIN PROVISION
- C-LINE
- PROPOSED CLOTHESLINE PROVISION
- PROPOSED 6m3 GARDEN SHED PROVISION
- PROPOSED WATER TANK PROVISION AS PER NOMINATED SIZE (L)
- PROPOSED LETTERBOX PROVISION
- EXISTING BOUNDARY FENCING AS PER NOMINATED HEIGHT AND TYPE
- PROPOSED MINIMUM 1.8m HIGH TIMBER PALING FENCE
- HABITABLE ROOM WINDOW OR DOOR WITHIN 9.0m OF SUBJECT SITE
- NON-HABITABLE ROOM WINDOW WITHIN 9.0m OF SUBJECT SITE
- EXISTING TREES / VEGETATION

DEVELOPMENT SCHEDULE

	m ²	%
SITE AREA:	1036 m ²	
SITE COVERAGE:	443.30 m ²	42.98 %
HARD SURFACE AREA:	222.34 m ²	21.46 %
PERMEABLE AREA:	368.36 m ²	35.56 %
GARDEN AREA REQUIRED:	362.6 m ²	35.1 %
GARDEN AREA:	364.9 m ²	35.11 %

BUILDING AREAS - UNIT 1

GROUND FLOOR LIVING:	95.10 m ²	10.24 sq
FIRST FLOOR LIVING:	77.66 m ²	8.36 sq
PORCH:	2.79 m ²	0.30 sq
GARAGE:	37.13 m ²	4.00 sq
TOTAL BUILDING AREA:	212.68 m²	22.89 sq
BUILDING FOOTPRINT:	135.02 m²	

BUILDING AREAS - UNIT 2

GROUND FLOOR LIVING:	61.47 m ²	6.62 sq
FIRST FLOOR LIVING:	88.07 m ²	9.48 sq
PORCH:	3.05 m ²	0.33 sq
GARAGE:	36.85 m ²	3.97 sq
TOTAL BUILDING AREA:	189.44 m²	20.39 sq
BUILDING FOOTPRINT:	101.37 m²	

BUILDING AREAS - UNIT 3

GROUND FLOOR LIVING:	61.47 m ²	6.62 sq
FIRST FLOOR LIVING:	88.07 m ²	9.48 sq
PORCH:	3.05 m ²	0.33 sq
GARAGE:	36.85 m ²	3.97 sq
TOTAL BUILDING AREA:	189.44 m²	20.39 sq
BUILDING FOOTPRINT:	101.37 m²	

BUILDING AREAS - UNIT 4

GROUND FLOOR LIVING:	66.61 m ²	7.17 sq
FIRST FLOOR LIVING:	72.43 m ²	7.80 sq
PORCH:	3.34 m ²	0.36 sq
GARAGE:	37.59 m ²	4.05 sq
TOTAL BUILDING AREA:	179.97 m²	19.37 sq
BUILDING FOOTPRINT:	107.54 m²	

P.O.S.

P.O.S.:	- m ²
SECLUDED P.O.S.:	94.22 m ²
TOTAL COMBINED P.O.S.:	94.22 m ²

PROPOSED EASEMENT
 HATCHED AREA DENOTES PROPOSED EASEMENT TO REAR OF PROPERTY TO BE 2.0m WIDE

STORMWATER ASSET DETAILS
 SIZE: 225mm Ø CONCRETE PIPE
 DEPTH: 0.63m TO TOP OF PIPE
 OFFSET: 0.8m INSIDE TITLE BOUNDARY
 REFER TO ASSET PLANS AND INFORMATION FROM RELEVANT AUTHORITY FOR FURTHER DETAILS

SUSTAINABLE DESIGN ASSESSMENT (SDA)
 15 PASLEY STREET, SUNBURY
 PROJECT NUMBER: 240691

WATER
 FIXTURES AND FITTINGS: 4 STAR WELS (-0.0 BUT < -7.5)
 SHOWERHEAD: 4 STAR WELS RATING
 KITCHEN TAPS: 5 STAR WELS RATING
 BATHROOM TAPS: 5 STAR WELS RATING
 DISHWASHERS: 4 STAR WELS RATING
 WC: 4 STAR WELS RATING
 WATER TANKS: CONNECTED TO TOILET FLUSHING
 LANDSCAPING: REFER TO LANDSCAPE PLANS FOR WATER EFFICIENT DESIGN

ENERGY
 ENERGY RATINGS: EACH DWELLING TO ACHIEVE 7.0 STARS
 REFER TO PRELIMINARY ENERGY RATINGS

HEATING SYSTEM: 4 STAR REVERSE CYCLE SPACE
COOLING SYSTEM: 4 STAR REFRIGERATIVE SPACE
INTERNAL LIGHTING: 4W/M2 THROUGHOUT DWELLING
EXTERNAL LIGHTING: TO BE CONTROLLED BY MOTION DETECTOR

STORM WATER
 STORM RATING: 100% REFER TO STORM RATING
 TREATMENT TYPES: NO TREATMENT
 DRAINWAYS: 300L RWV CONNECTED ROOF SPACE EACH
 DWELLING 1-4:

WATER
 CROSS FLOW VENTILATION: NATURAL VENTILATION TO ALL HABITABLE ROOMS
 DOUBLE GLAZING: DOUBLE GLAZING TO ALL HABITABLE AREAS. PLEASE REFER TO PLANS
 ORIENTATION: AT LEAST 50% OF LIVING AREAS ARE ORIENTED TO THE NORTH

TRANSPORT
 CYCLE PARKING: 4 BICYCLE SPACES PROVIDED. PLEASE REFER TO PLANS FOR LOCATION

WASTE
 NO CREDITS CLAIMED

URBAN ECOLOGY
 VEGETATION AREA: 35%

INNOVATION
 NO CREDITS CLAIMED

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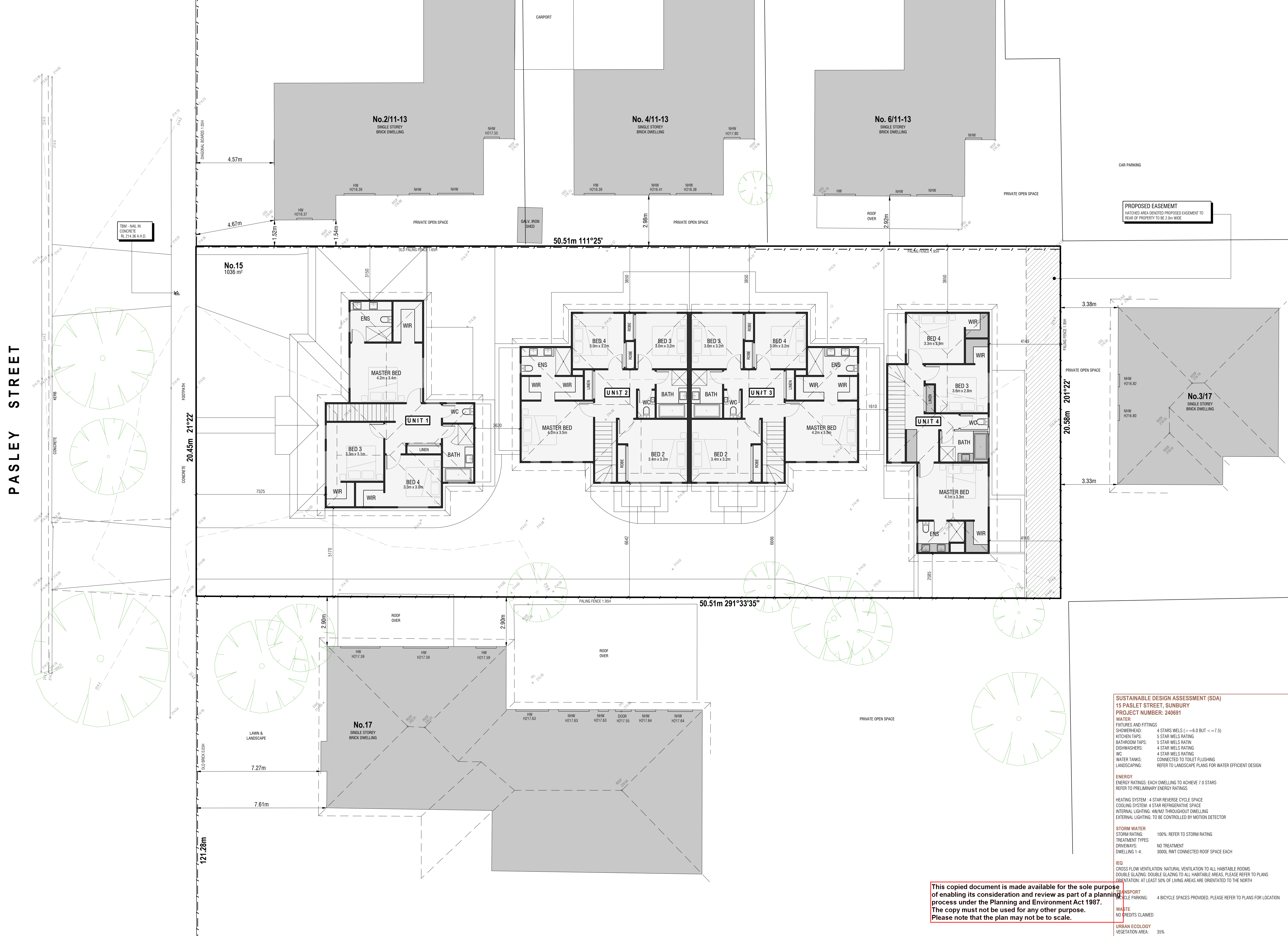
PROVIDE VISIBILITY SPLAYS IN ACCORDANCE S2 06-9 SHOWN SHADED. SPLAY MUST HAVE A CORNER SPLAY OR AREA AT LEAST 50 PER CENT CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2m ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LANE AND 2.5m ALONG THE EXIT LANE FROM THE FRONTAGE. TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD. THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED. OR ADJACENT LANDSCAPED AREAS. PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 900mm IN HEIGHT.

TM - NAIL IN CONCRETE RL 214.36 A.H.D.

PASLEY STREET

PROVIDE VISIBILITY SPLAYS IN ACCORDANCE S2 06-9 SHOWN SHADED. SPLAY MUST HAVE A CORNER SPLAY OR AREA AT LEAST 50 PER CENT CLEAR OF VISUAL OBSTRUCTIONS EXTENDING AT LEAST 2m ALONG THE FRONTAGE ROAD FROM THE EDGE OF AN EXIT LANE AND 2.5m ALONG THE EXIT LANE FROM THE FRONTAGE. TO PROVIDE A CLEAR VIEW OF PEDESTRIANS ON THE FOOTPATH OF THE FRONTAGE ROAD. THE AREA CLEAR OF VISUAL OBSTRUCTIONS MAY INCLUDE AN ADJACENT ENTRY OR EXIT LANE WHERE MORE THAN ONE LANE IS PROVIDED. OR ADJACENT LANDSCAPED AREAS. PROVIDED THE LANDSCAPING IN THOSE AREAS IS LESS THAN 900mm IN HEIGHT.

PROPOSED GROUND FLOOR PLAN



LEGEND

- EXISTING ADJOINING BUILDINGS & STRUCTURES
- EXISTING BOUNDARY FENCING AS PER NOMINATED HEIGHT AND TYPE
- PROPOSED MINIMUM 1.8m HIGH TIMBER PALING FENCE
- HABITABLE ROOM WINDOW OR DOOR WITHIN 9.0m OF SUBJECT SITE
- NON-HABITABLE ROOM WINDOW WITHIN 9.0m OF SUBJECT SITE
- EXISTING TREES / VEGETATION

DEVELOPMENT SCHEDULE

	m ²	%
SITE AREA:	1036 m ²	
SITE COVERAGE:	443.30 m²	42.98 %
HARD SURFACE AREA:	222.34 m ²	21.46 %
PERMEABLE AREA:	368.36 m²	35.56 %
GARDEN AREA REQUIRED:	362.6 m ²	35 %
GARDEN AREA:	364.9 m²	35.11 %

BUILDING AREAS - UNIT 1

GROUND FLOOR LIVING:	95.10 m ²	10.24 sq
FIRST FLOOR LIVING:	77.66 m ²	8.36 sq
PORCH:	2.79 m ²	0.30 sq
GARAGE:	37.13 m ²	4.00 sq
TOTAL BUILDING AREA:	212.68 m²	22.89 sq
BUILDING FOOTPRINT:	135.02 m²	

PRIVATE OPEN SPACE:	67.73 m ²	
SECLUDED P.O.S.:	35.92 m ²	
TOTAL COMBINED P.O.S.:	103.65 m²	

BUILDING AREAS - UNIT 2

GROUND FLOOR LIVING:	61.47 m ²	6.62 sq
FIRST FLOOR LIVING:	88.07 m ²	9.48 sq
PORCH:	3.05 m ²	0.33 sq
GARAGE:	36.85 m ²	3.97 sq
TOTAL BUILDING AREA:	189.44 m²	20.39 sq
BUILDING FOOTPRINT:	101.37 m²	

PRIVATE OPEN SPACE:	- m ²	
SECLUDED P.O.S.:	50.65 m ²	
TOTAL COMBINED P.O.S.:	50.65 m²	

BUILDING AREAS - UNIT 3

GROUND FLOOR LIVING:	61.47 m ²	6.62 sq
FIRST FLOOR LIVING:	88.07 m ²	9.48 sq
PORCH:	3.05 m ²	0.33 sq
GARAGE:	36.85 m ²	3.97 sq
TOTAL BUILDING AREA:	189.44 m²	20.39 sq
BUILDING FOOTPRINT:	101.37 m²	

PRIVATE OPEN SPACE:	- m ²	
SECLUDED P.O.S.:	50.65 m ²	
TOTAL COMBINED P.O.S.:	50.65 m²	

BUILDING AREAS - UNIT 4

GROUND FLOOR LIVING:	66.61 m ²	7.17 sq
FIRST FLOOR LIVING:	72.43 m ²	7.80 sq
PORCH:	3.34 m ²	0.36 sq
GARAGE:	37.59 m ²	4.05 sq
TOTAL BUILDING AREA:	179.97 m²	19.37 sq
BUILDING FOOTPRINT:	107.54 m²	

P.O.S.:	- m ²	
SECLUDED P.O.S.:	94.22 m ²	
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SUSTAINABLE DESIGN ASSESSMENT (SDA)
 15 PASLEY STREET, SUNBURY
 PROJECT NUMBER: 240691

WATER
 FIXTURES AND FITTINGS: 4 STARS WELS (1 - 6.0 BUT < 7.5)
 SHOWERHEAD: 4 STARS WELS RATING
 KITCHEN TAPS: 5 STAR WELS RATING
 BATHROOM TAPS: 5 STAR WELS RATING
 DISHWASHERS: 4 STAR WELS RATING
 W/C: 4 STAR WELS RATING
 WATER TANKS: CONNECTED TO TOILET FLUSHING
 LANDSCAPING: REFER TO LANDSCAPE PLANS FOR WATER EFFICIENT DESIGN

ENERGY
 ENERGY RATINGS: EACH DWELLING TO ACHIEVE 7.0 STARS
 REFER TO PRELIMINARY ENERGY RATINGS

HEATING SYSTEM: 4 STAR REVERSE CYCLE SPACE
COOLING SYSTEM: 4 STAR REFRIGERATIVE SPACE
INTERNAL LIGHTING: 4W/M2 THROUGHOUT DWELLING
EXTERNAL LIGHTING: TO BE CONTROLLED BY MOTION DETECTOR

STORM WATER
 STORM RATING: 100% REFER TO STORM RATING
 TREATMENT TYPES: NO TREATMENT
 DRAINWAYS: 300L RWV CONNECTED ROOF SPACE EACH
 DWELLING 1-4:

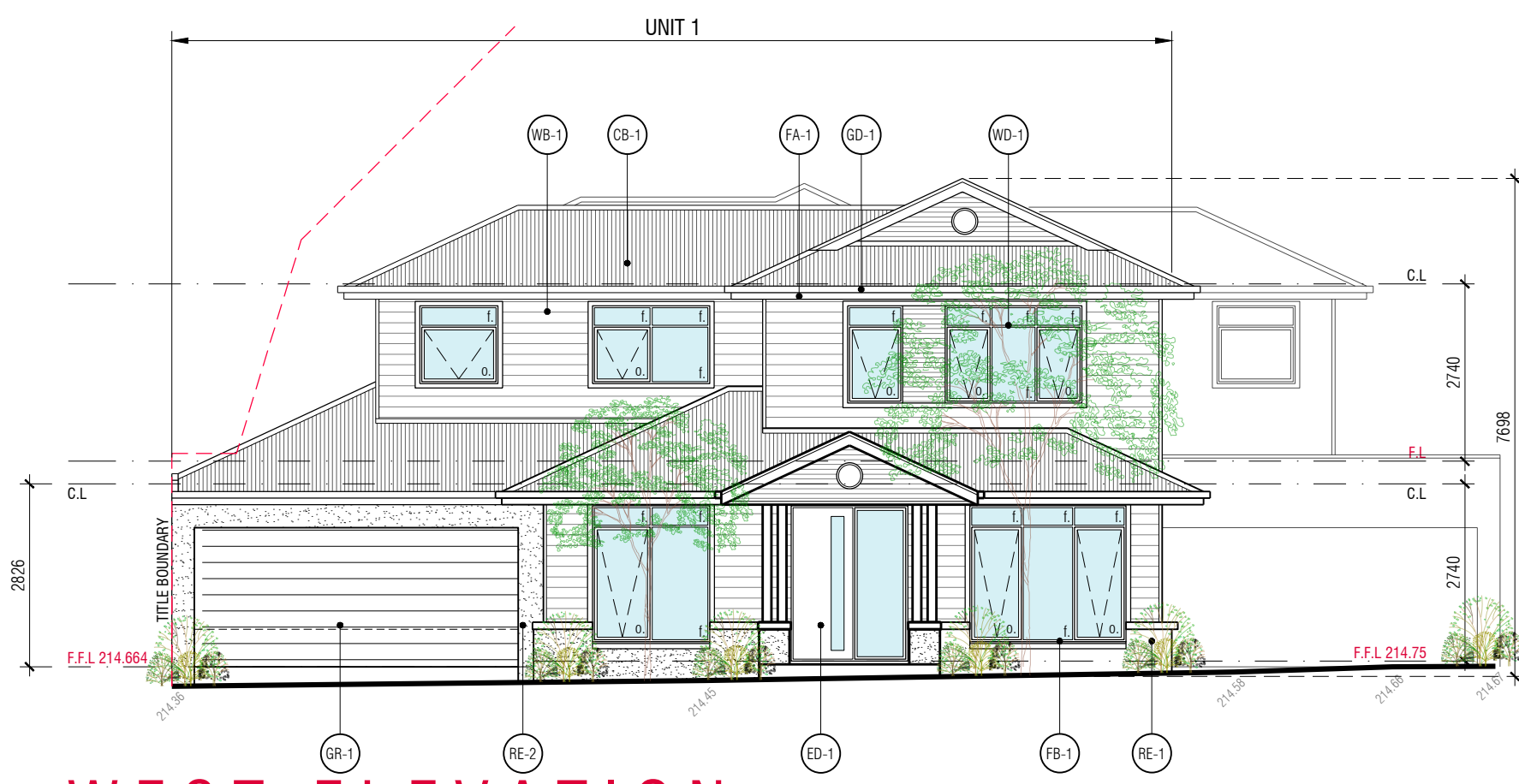
WASTE
 NO CREDITS CLAIMED

URBAN ECOLOGY
 VEGETATION AREA: 35%

INNOVATION
 NO CREDITS CLAIMED

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PROPOSED FIRST FLOOR PLAN



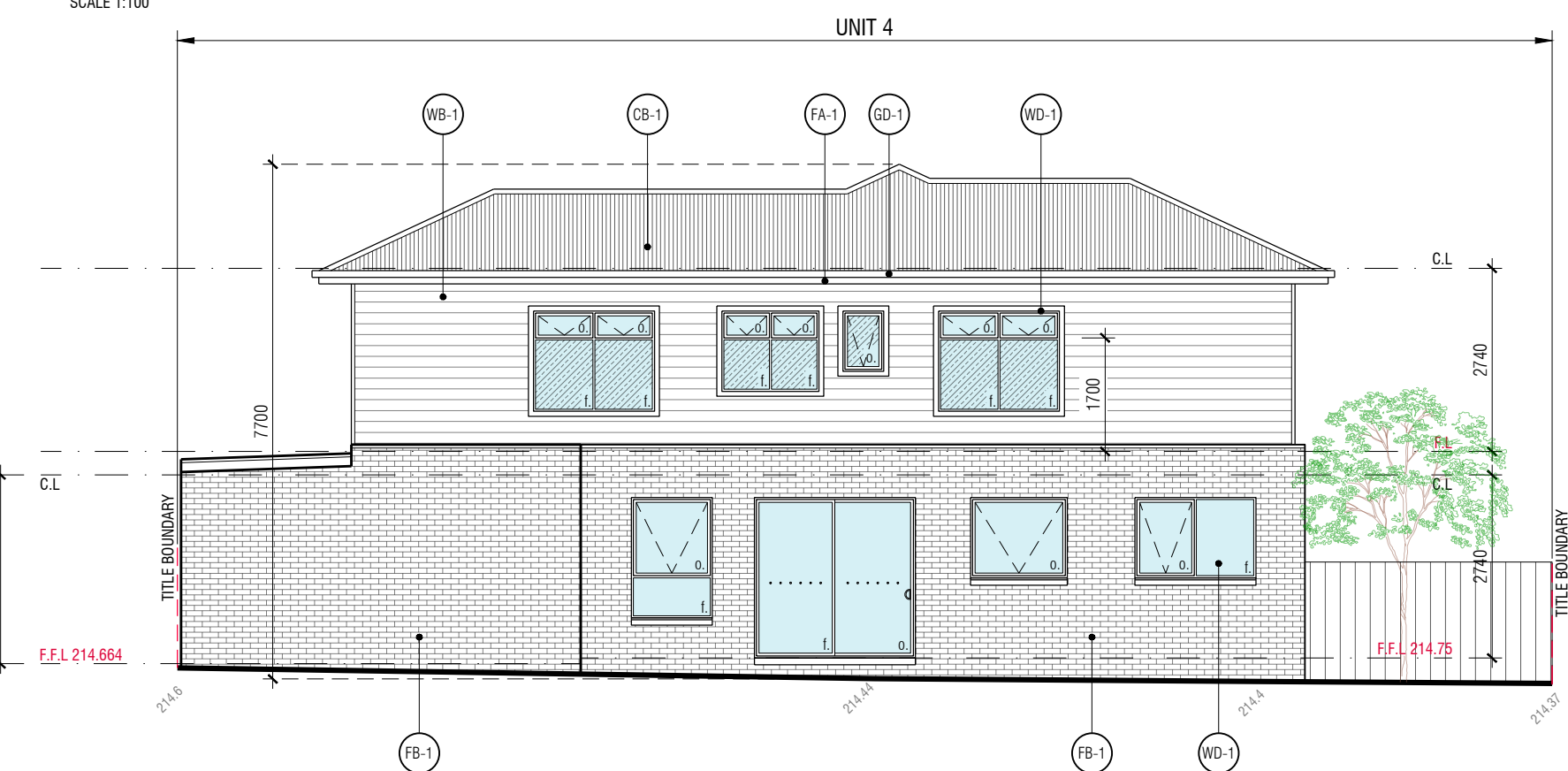
WEST ELEVATION

UNIT 1
SCALE 1:100



SOUTH ELEVATION

UNIT 1
SCALE 1:100



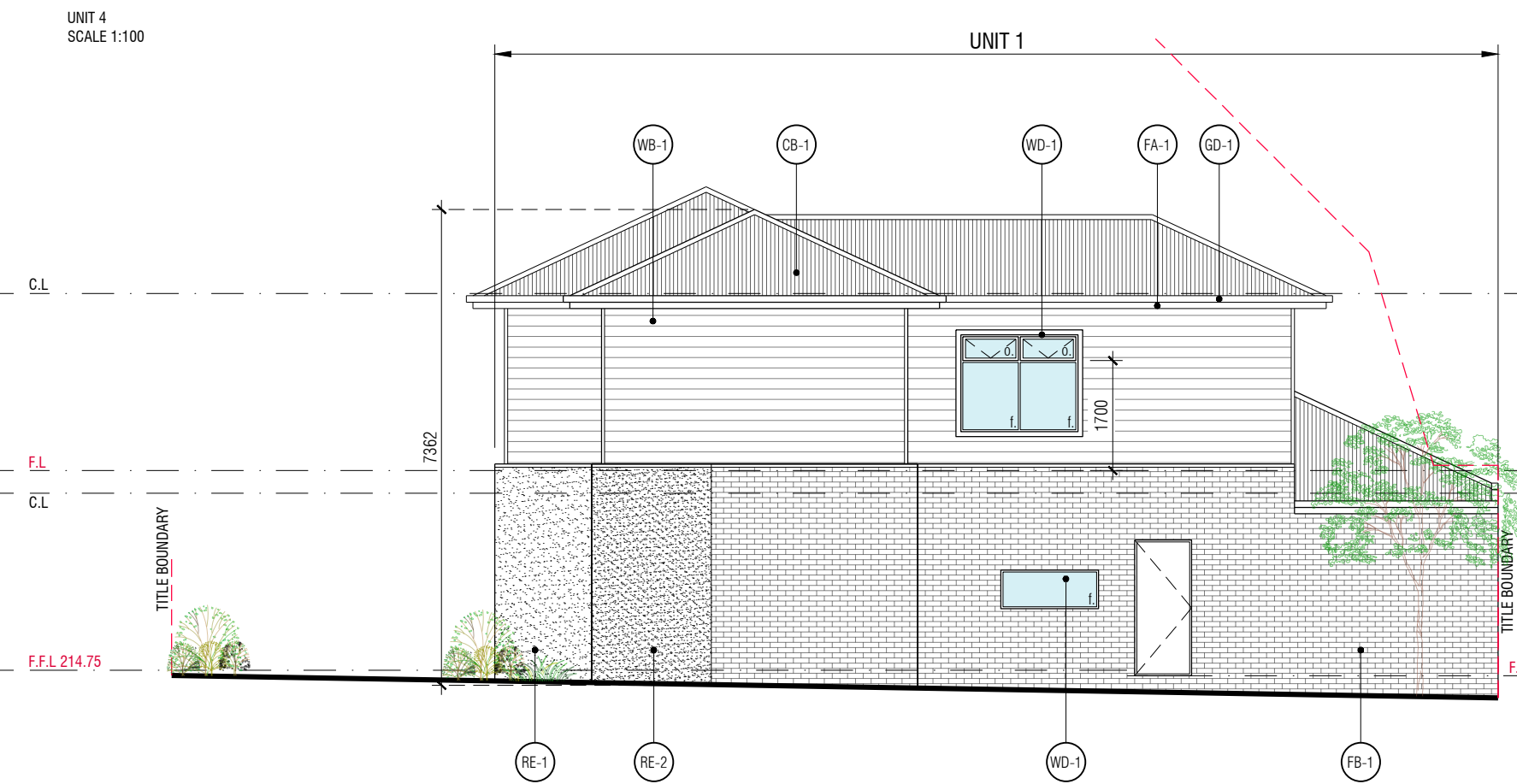
EAST ELEVATION

UNIT 4
SCALE 1:100



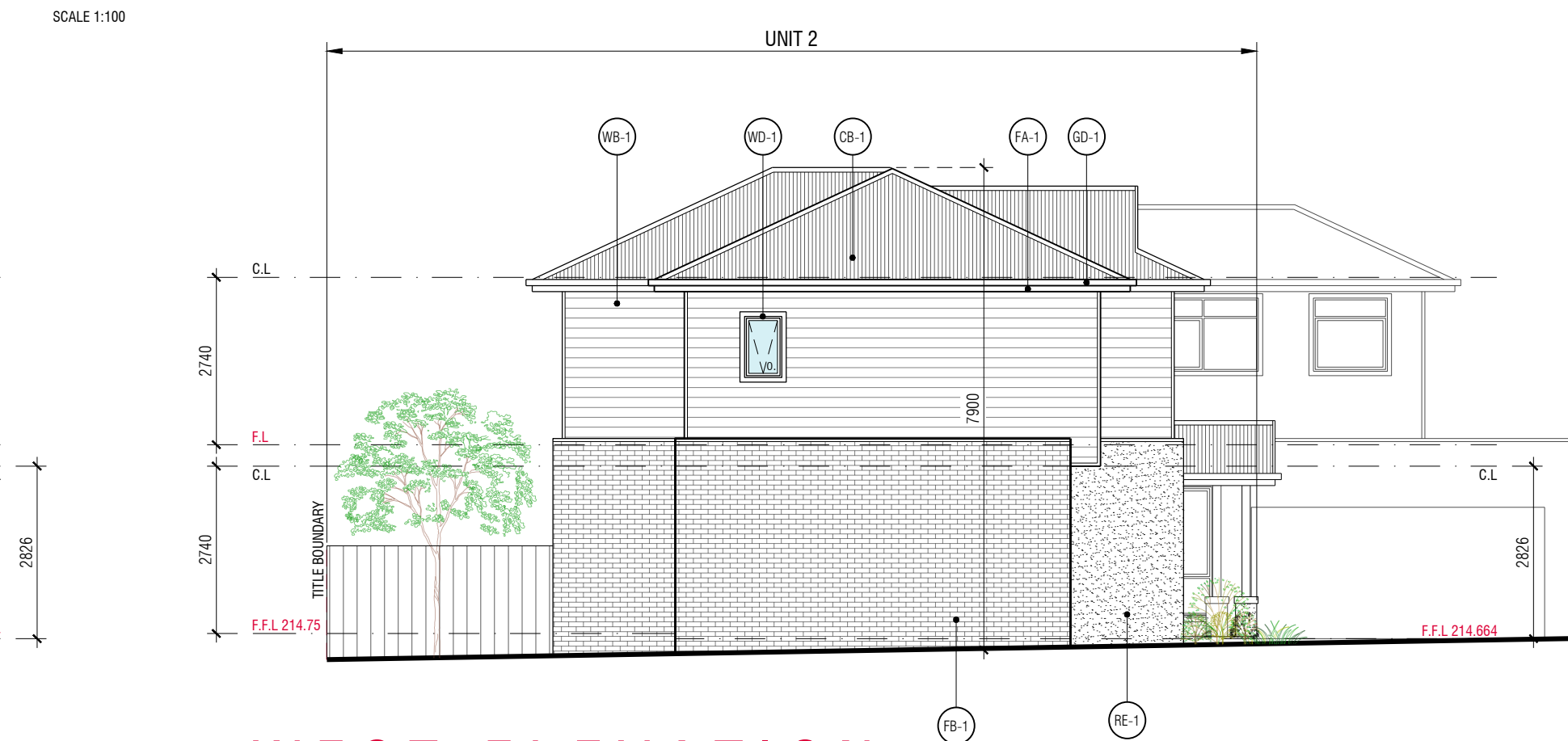
NORTH ELEVATION

SCALE 1:100



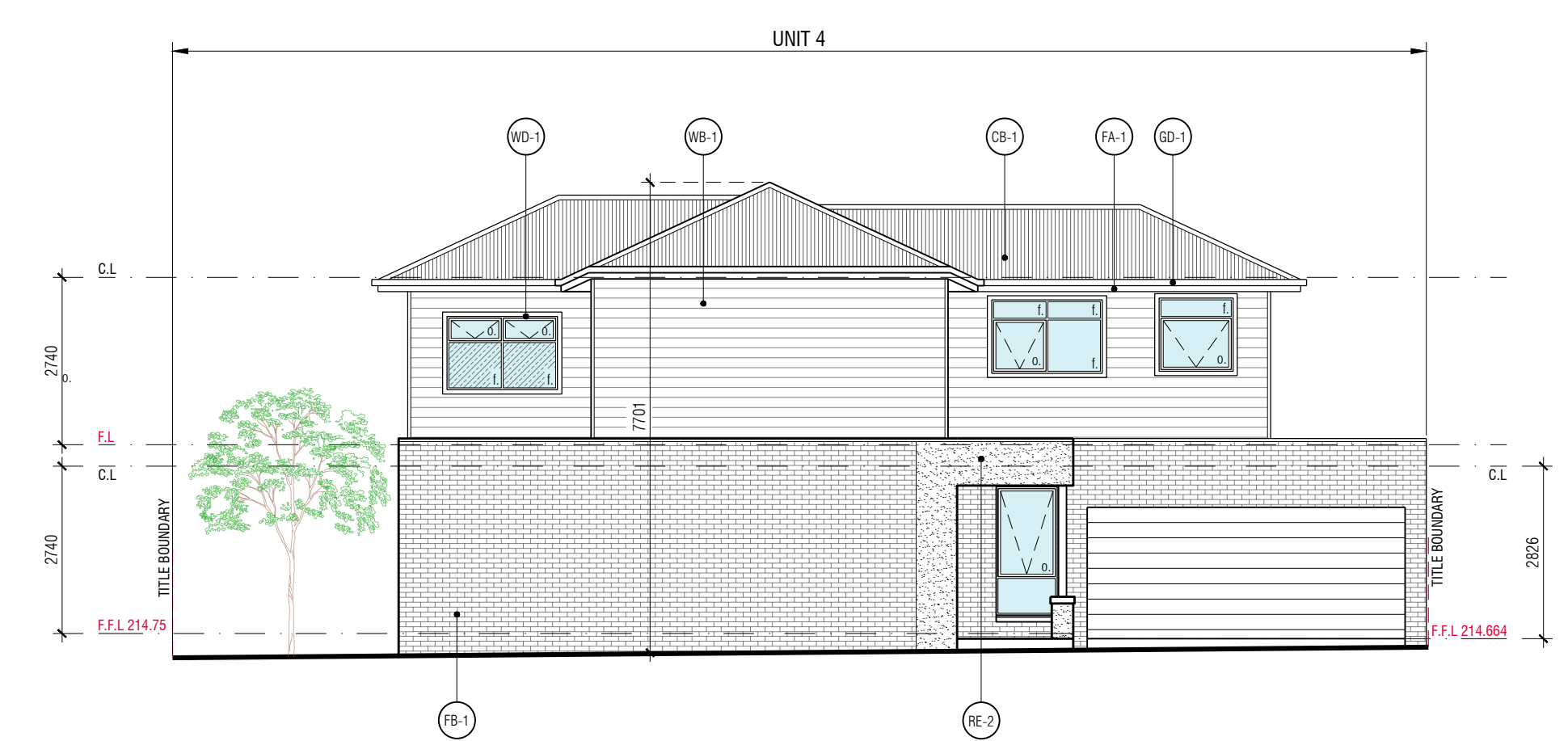
EAST ELEVATION

UNIT 1
SCALE 1:100



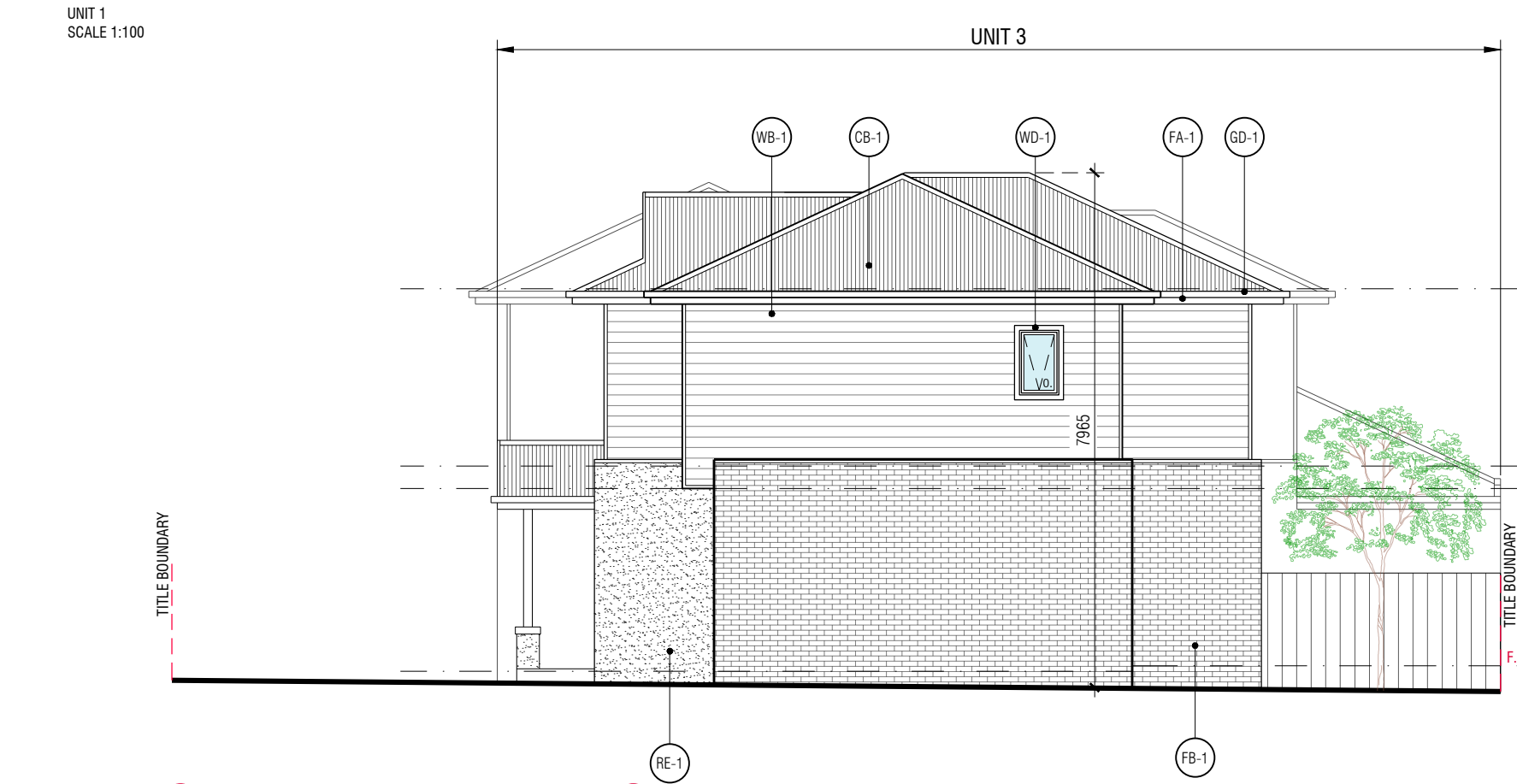
WEST ELEVATION

UNIT 2
SCALE 1:100



WEST ELEVATION

UNIT 4
SCALE 1:100



EAST ELEVATION

UNIT 3
SCALE 1:100

WINDOW LEGEND		COLOUR AND MATERIAL SCHEDULE				
TAG	COMPONENT	LEGEND	MATERIAL	COLOR	FINISH	SAMPLE
(RE-1)	PROPOSED CLEAR GLAZED WINDOW	[Symbol]	RENDER	SHALE GREY OR SIMILAR	PAINTED	[Sample]
(RE-2)	PROPOSED OBSCURED GLAZED WINDOW	[Symbol]	RENDER	SURFMIST OR SIMILAR	PAINTED	[Sample]
(FB-1)	WALL CLADDING	[Symbol]	BRICK WORK	SURFMIST OR SIMILAR	PAINTED	[Sample]
(WB-1)	WALL CLADDING	[Symbol]	WEATHERBOARDS	SURFMIST OR SIMILAR	PAINTED	[Sample]
(CB-1)	ROOF CLADDING	[Symbol]	ALWOOD CLADDING	WINDSPRAY OR SIMILAR	POWDERCOATED	[Sample]
(GB-1)	ROOF CLADDING	[Symbol]	COLORBOND	SURFMIST OR SIMILAR	POWDERCOATED	[Sample]
(ED-1)	ENTRY DOORS	[Symbol]	TIMBER	SURFMIST OR SIMILAR	PAINTED	[Sample]
(WD-1)	WINDOW & DOOR FRAMES	[Symbol]	ALUMINIUM	SURFMIST OR SIMILAR	PAINTED	[Sample]
(FA-1)	FASCIAS	[Symbol]	COLORBOND	SURFMIST OR SIMILAR	PAINTED	[Sample]
(FP-1)	ROOF FLASHINGS	[Symbol]	COLORBOND	SURFMIST OR SIMILAR	PAINTED	[Sample]
(GD-1)	GARAGE DOORS	[Symbol]	COLORBOND	SHALE GREY OR SIMILAR	POWDERCOATED	[Sample]
(FE-1)	NEW FENCING	[Symbol]	TIMBER	PINE	NATURAL	[Sample]
(DR-1)	DRIVEWAYS & PATHS	[Symbol]	CONCRETE	LIGHT COLOUR FINISH	EXPOSED AGGREGATE	[Sample]

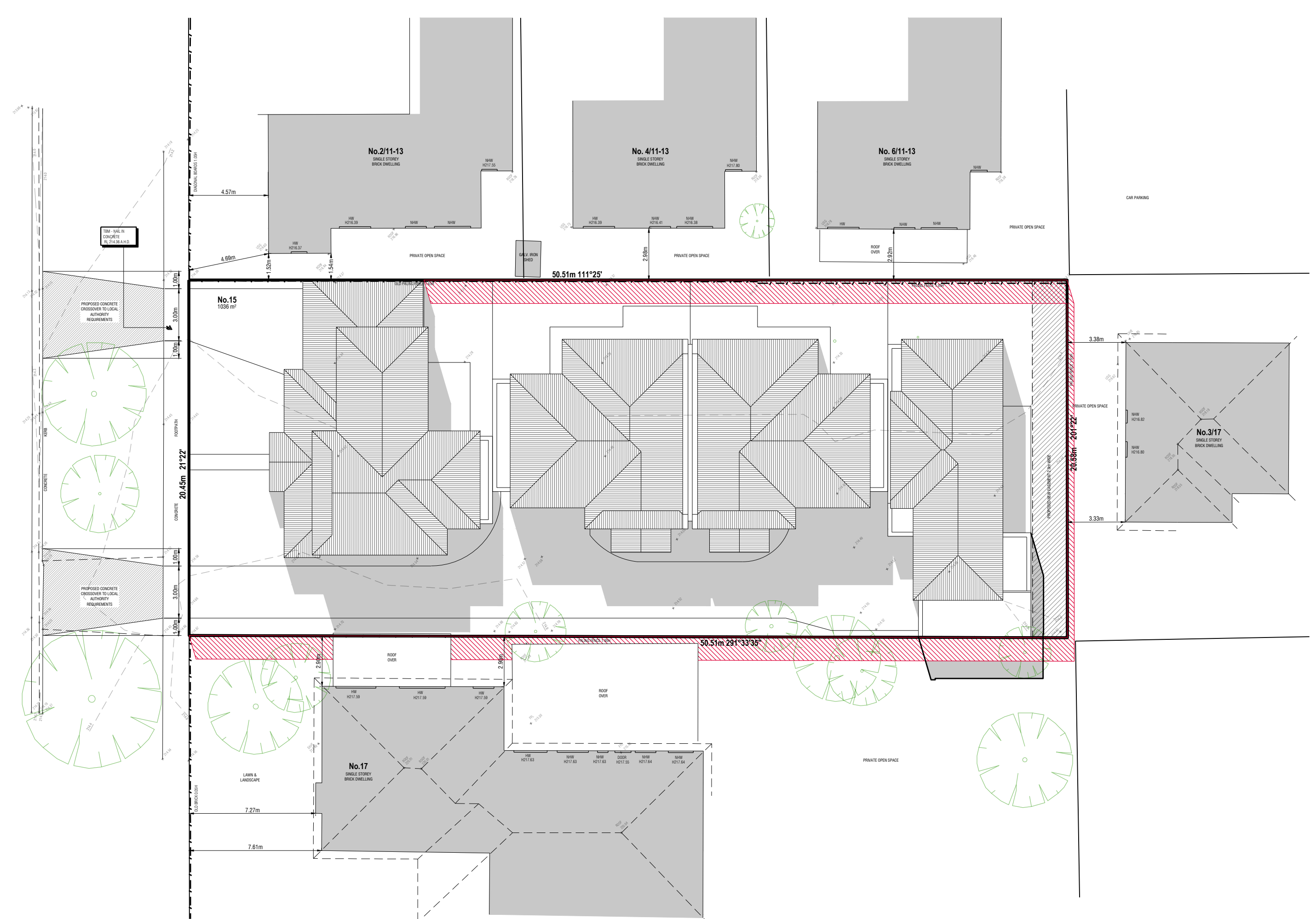
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SHADOW PLAN - 9AM

SCALE 1:200
 SHADOWS SHOWN REPRESENT PROPOSED BUILDINGS AND BOUNDARY AND INTERNAL FENCING
 MARCH 21 - SEPTEMBER 23 (EQUINOX)

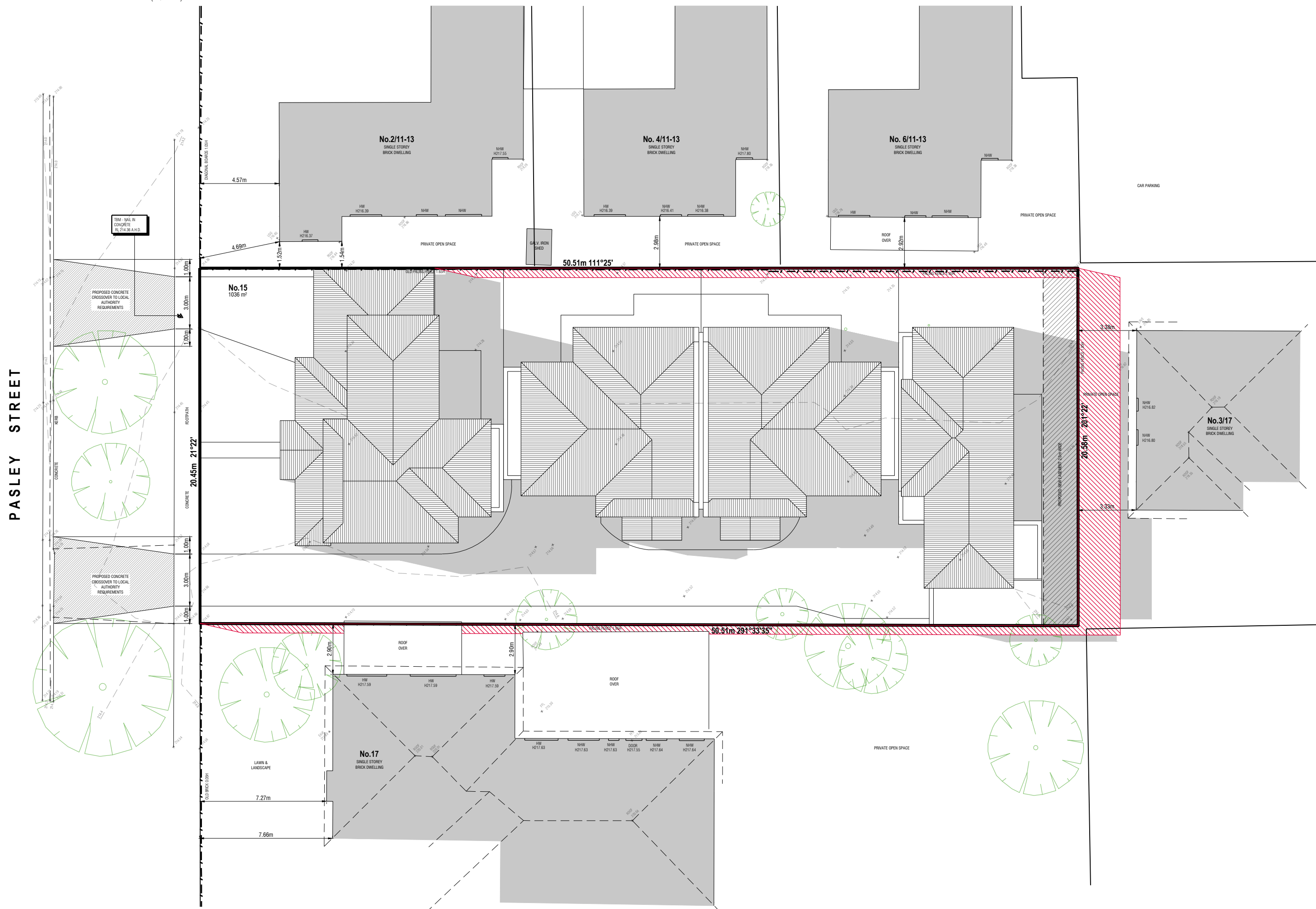
SHADOW CAST BY PROPOSED BUILDINGS
 SHADOW CAST BY EXISTING / PROPOSED FENCING



SHADOW PLAN - 12PM

SCALE 1:200
 SHADOWS SHOWN REPRESENT PROPOSED BUILDINGS
 MARCH 21 - SEPTEMBER 23 (EQUINOX)

SHADOW CAST BY PROPOSED BUILDINGS
 SHADOW CAST BY EXISTING / PROPOSED FENCING



SHADOW PLAN - 3PM

SCALE 1:200
 SHADOWS SHOWN REPRESENT PROPOSED BUILDINGS AND BOUNDARY FENCING
 MARCH 21 - SEPTEMBER 23 (EQUINOX)

SHADOW CAST BY PROPOSED BUILDINGS
 SHADOW CAST BY EXISTING / PROPOSED FENCING



GARDEN AREA PLAN

SCALE 1:200

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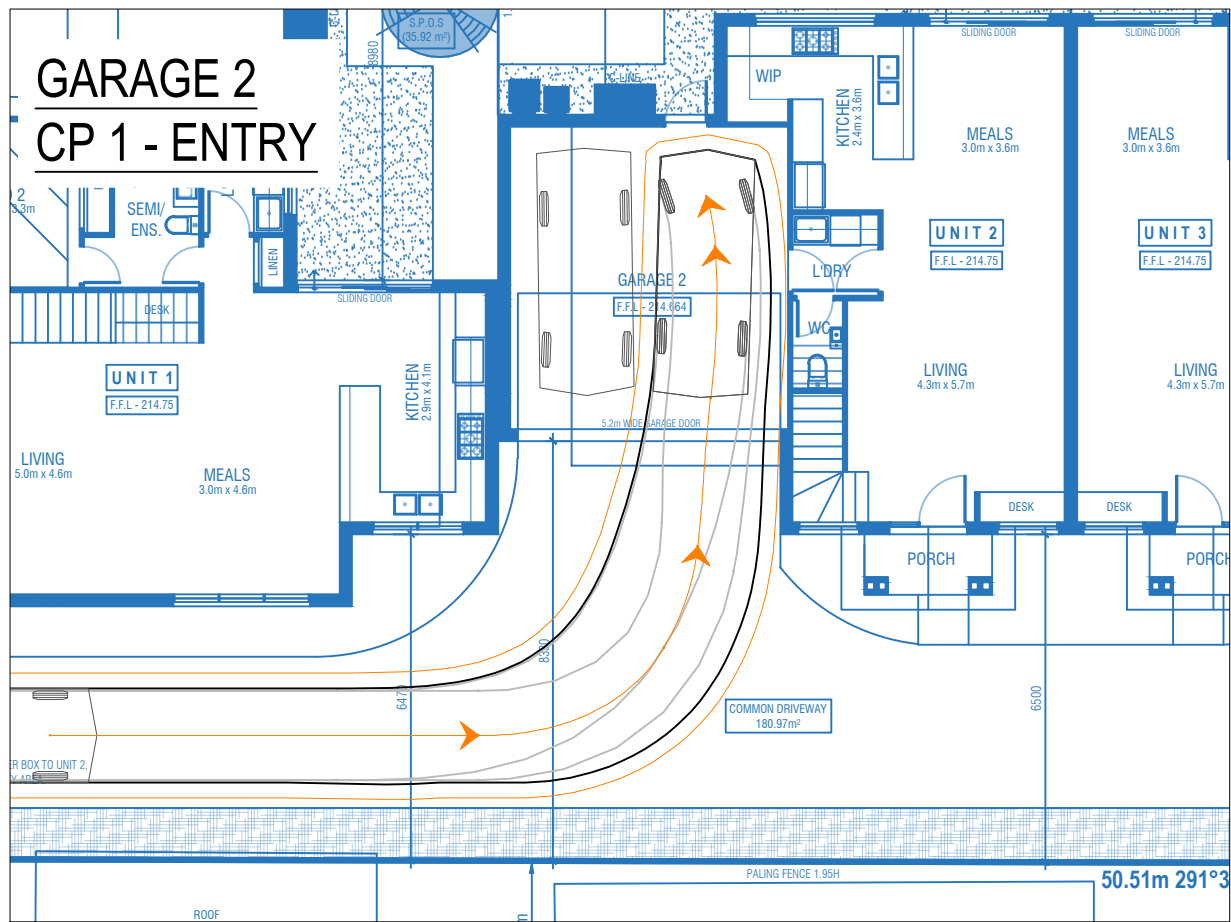
DEVELOPMENT SCHEDULE

	m ²	%
SITE AREA:	1036	
SITE COVERAGE:	445.30	42.98 %
HARD SURFACE AREA:	223.34	21.48 %
PERMEABLE AREA:	368.36	35.56 %
GARDEN AREA REQUIRED:	362.6	35 %
GARDEN AREA:	364.9	35.11 %

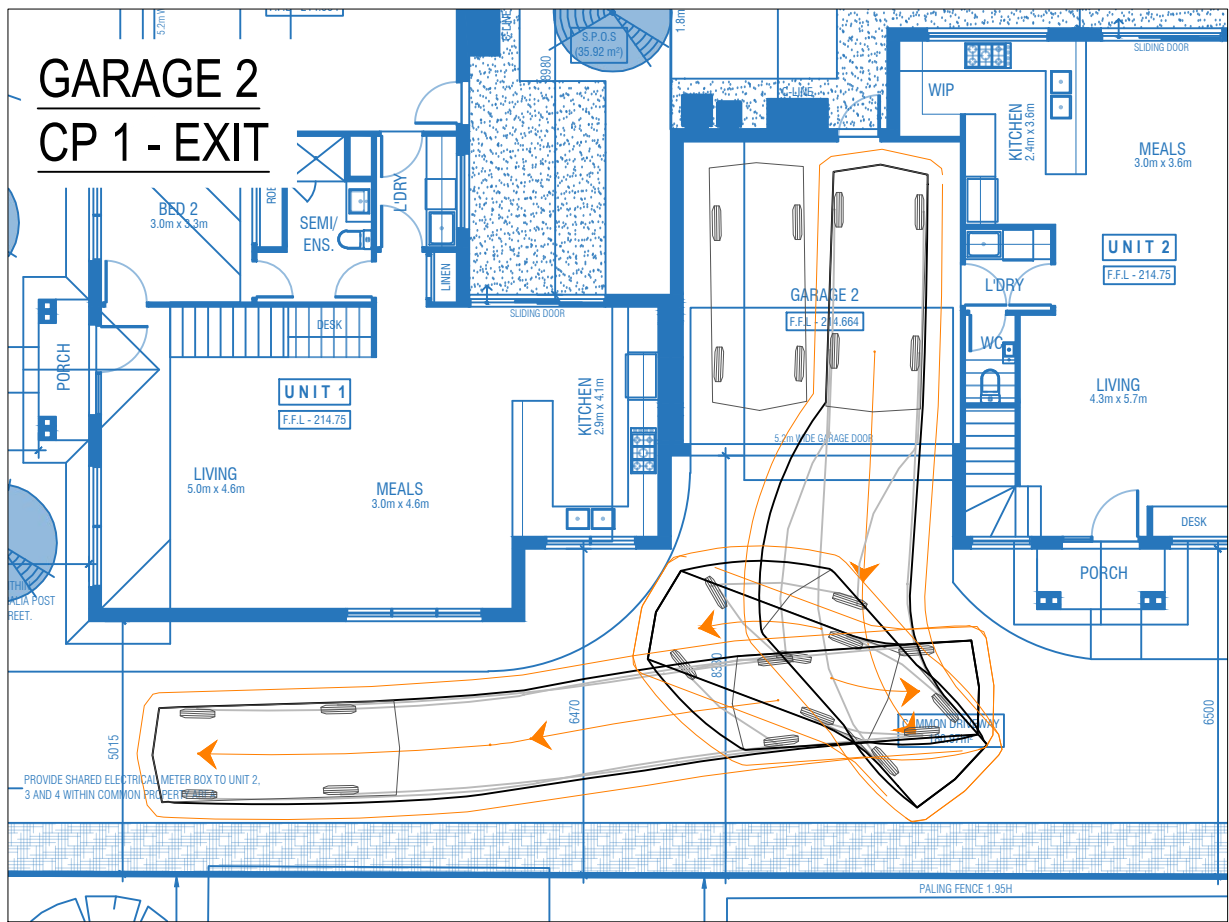
LEGEND

- PROPOSED BUILDING FOOTPRINT
- PROPOSED CONCRETE AREA
- PROPOSED GARDEN AREA > 1.0m WIDE
- NOT CONSIDERED GARDEN AREA < 1.0m WIDE OR UNDER ROOF AREA OVER

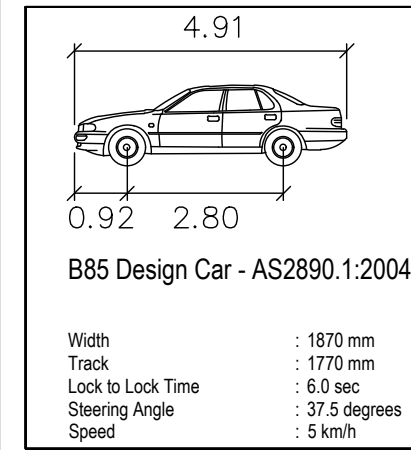
GARAGE 2 CP 1 - ENTRY



GARAGE 2 CP 1 - EXIT



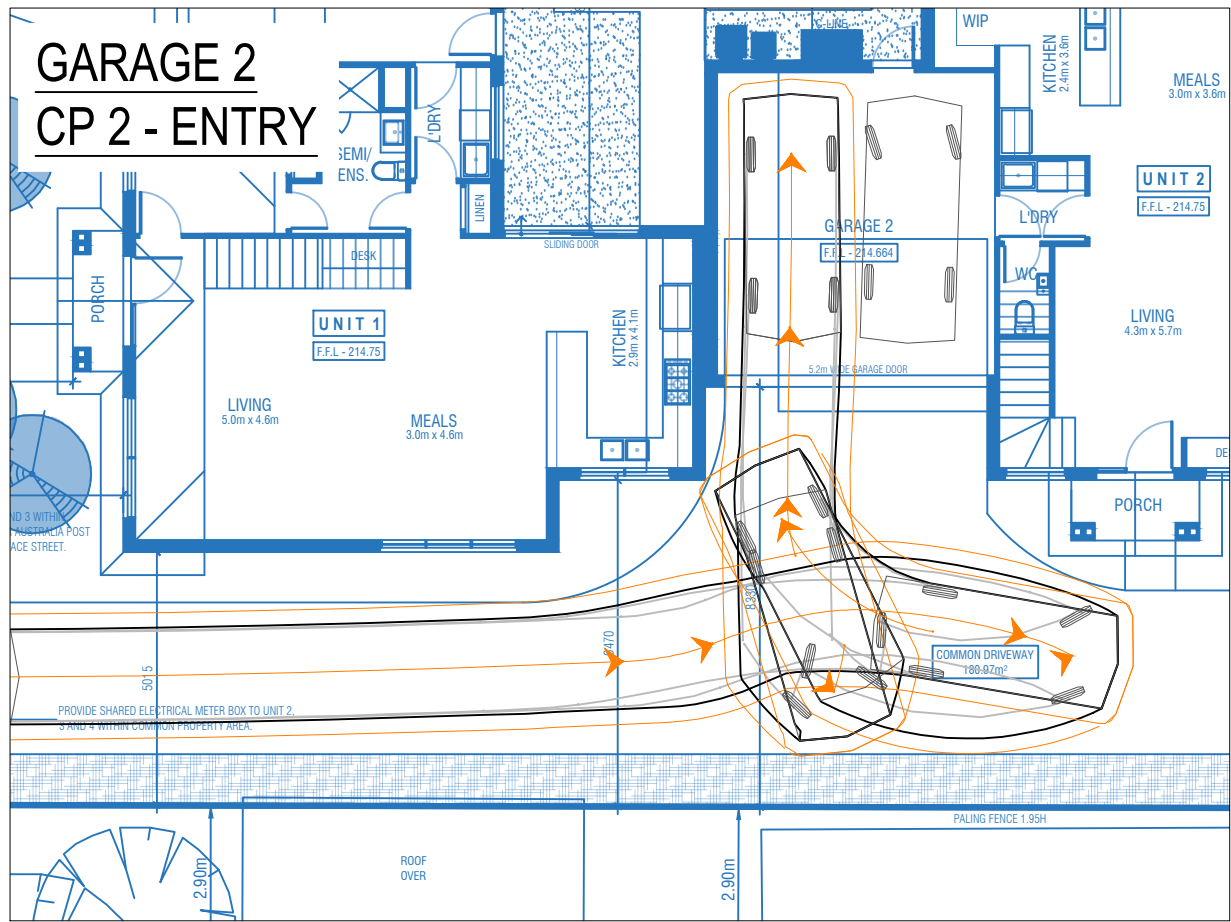
DESIGN VEHICLE USED IN SIMULATION



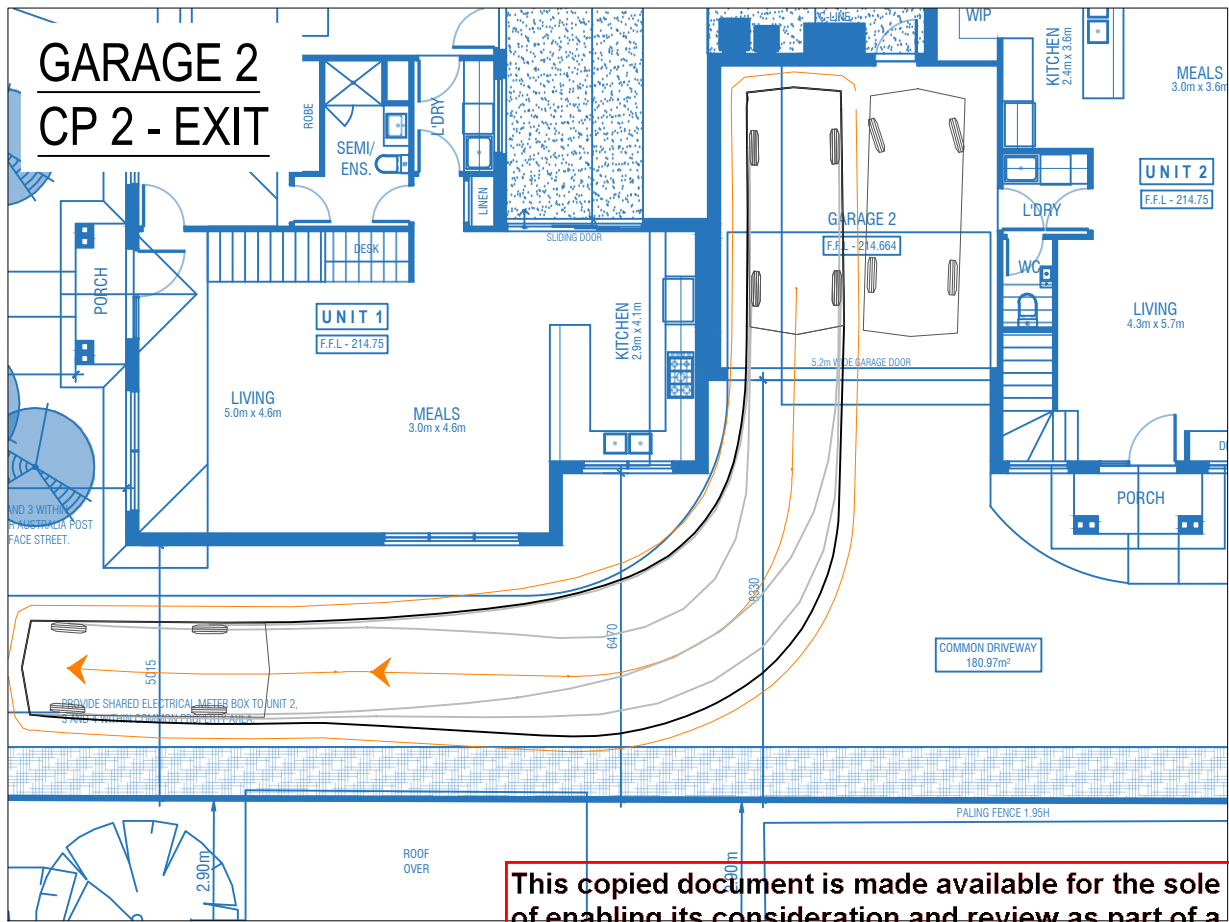
LEGEND

- Vehicle Body
- Wheel Tracks
- Clearance Lines (300mm)

GARAGE 2 CP 2 - ENTRY



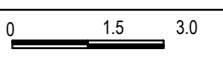
GARAGE 2 CP 2 - EXIT



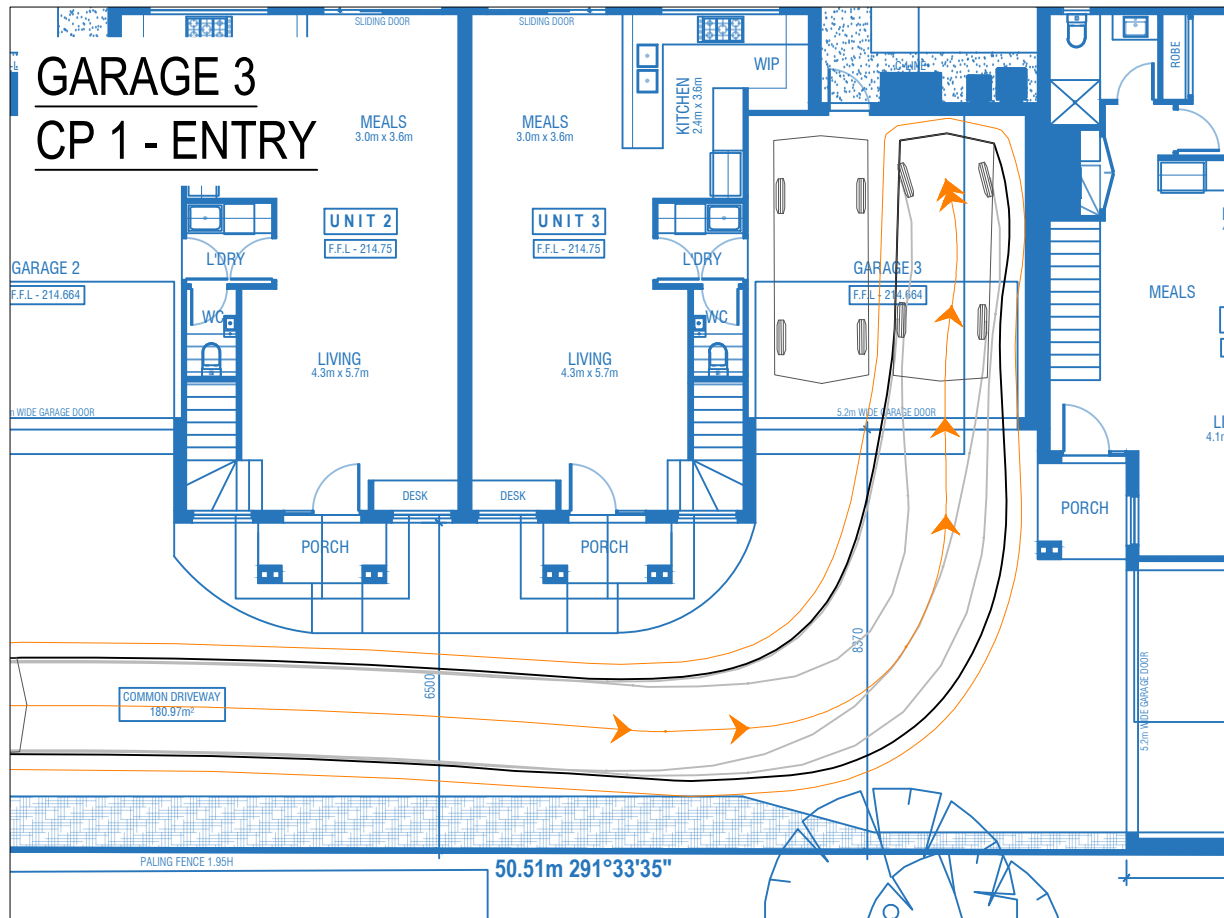
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REVISION	DATE	DESCRIPTION
A	09/08/24	DRAFT FOR DISCUSSION
B	02/09/24	FINAL FOR SUBMISSION

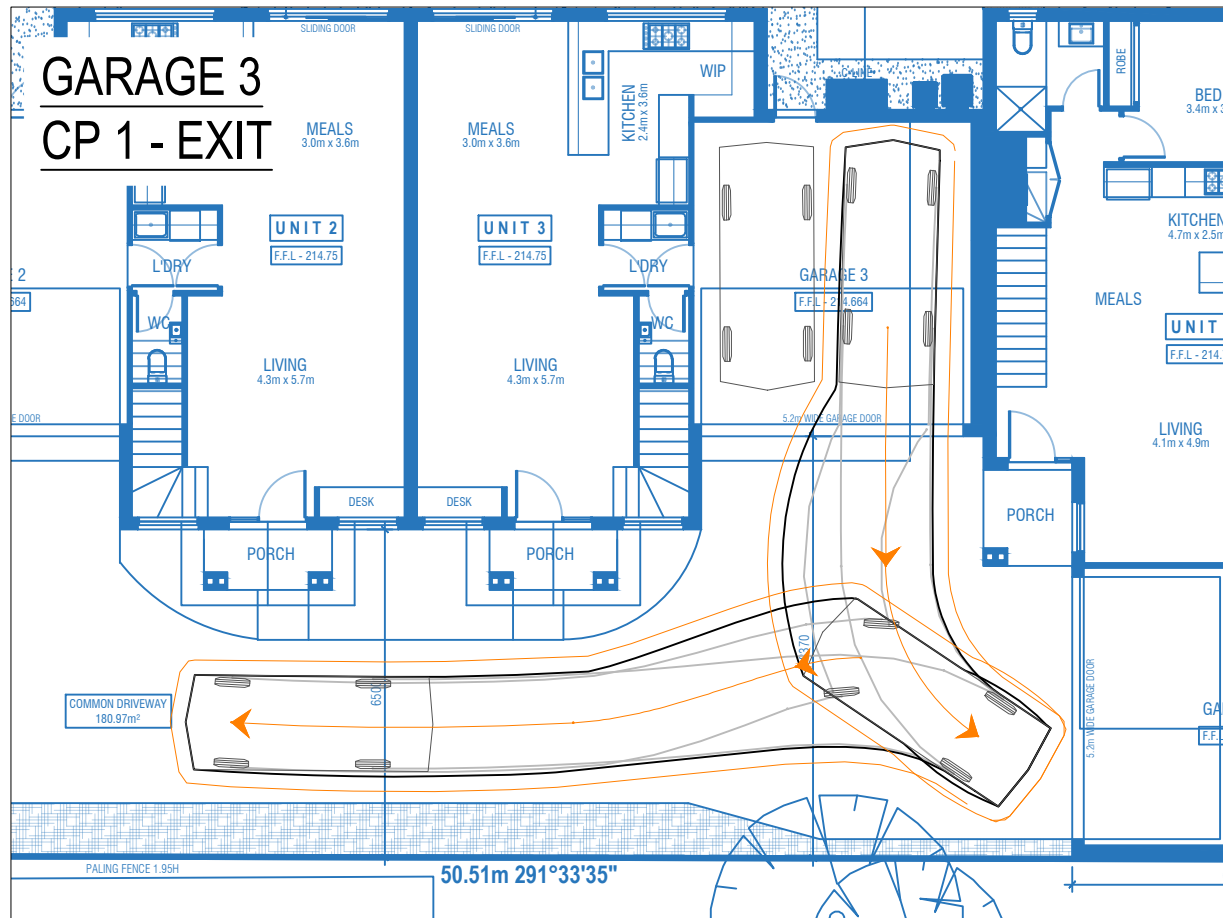
REFERENCE	REVISION	SHEET	STATE/TERRITORY	SCALE
24-0293	B	1 of 3	VIC	1:150 @ A3



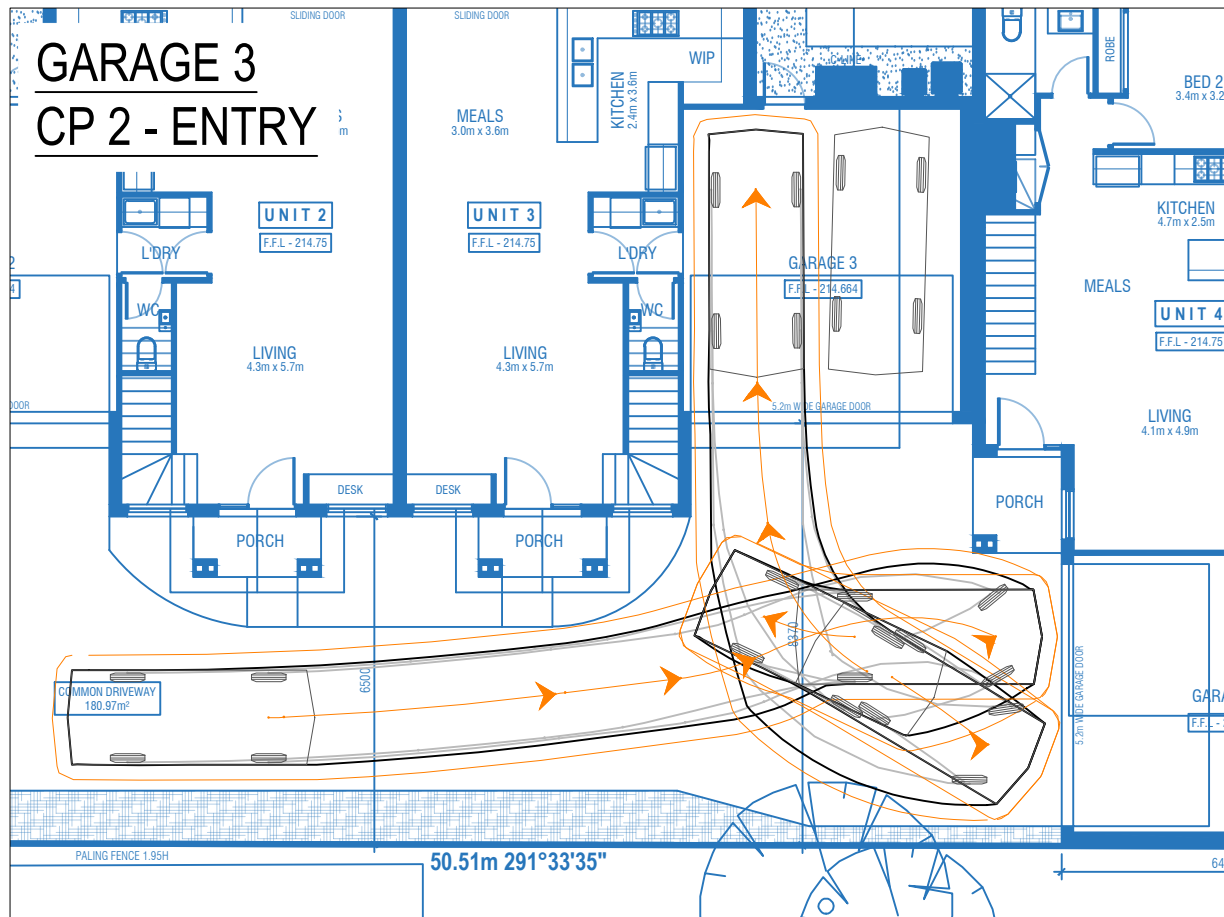
GARAGE 3 CP 1 - ENTRY



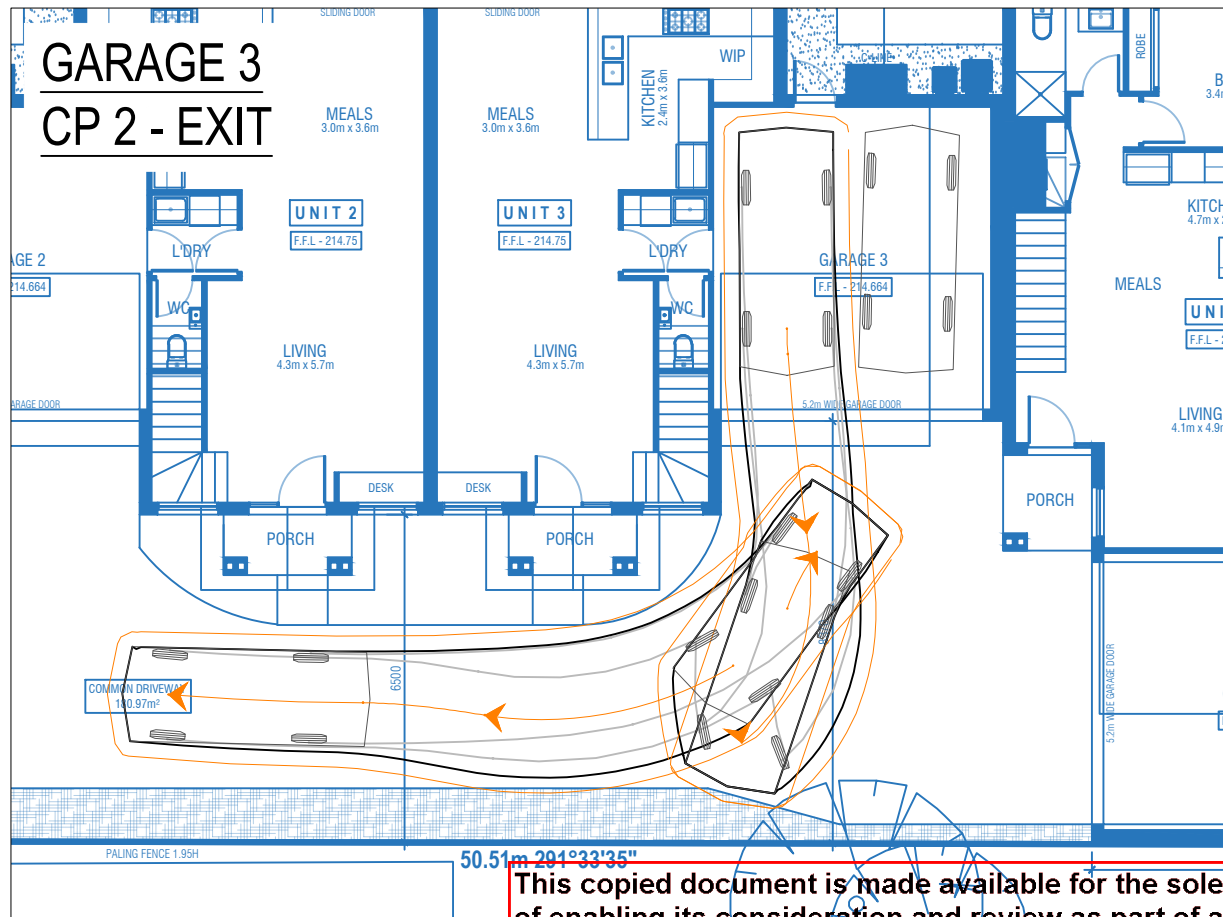
GARAGE 3 CP 1 - EXIT



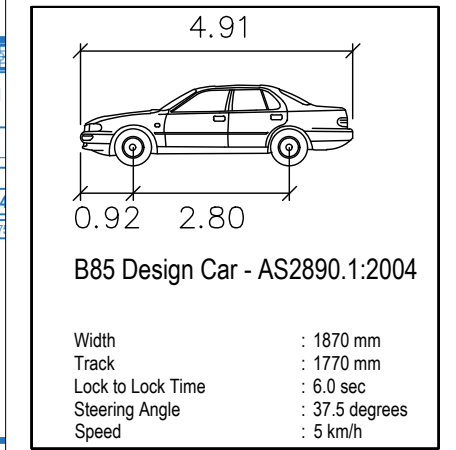
GARAGE 3 CP 2 - ENTRY



GARAGE 3 CP 2 - EXIT

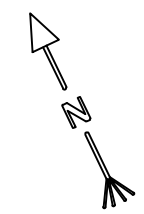


DESIGN VEHICLE USED IN SIMULATION



LEGEND

- Vehicle Body
- Wheel Tracks
- Clearance Lines (300mm)



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e: admin@quantumtraffic.com.au
 p: (03) 9879 4250
 w: www.quantumtraffic.com.au
 c: 5 Murray Place RINGWOOD VIC 3134

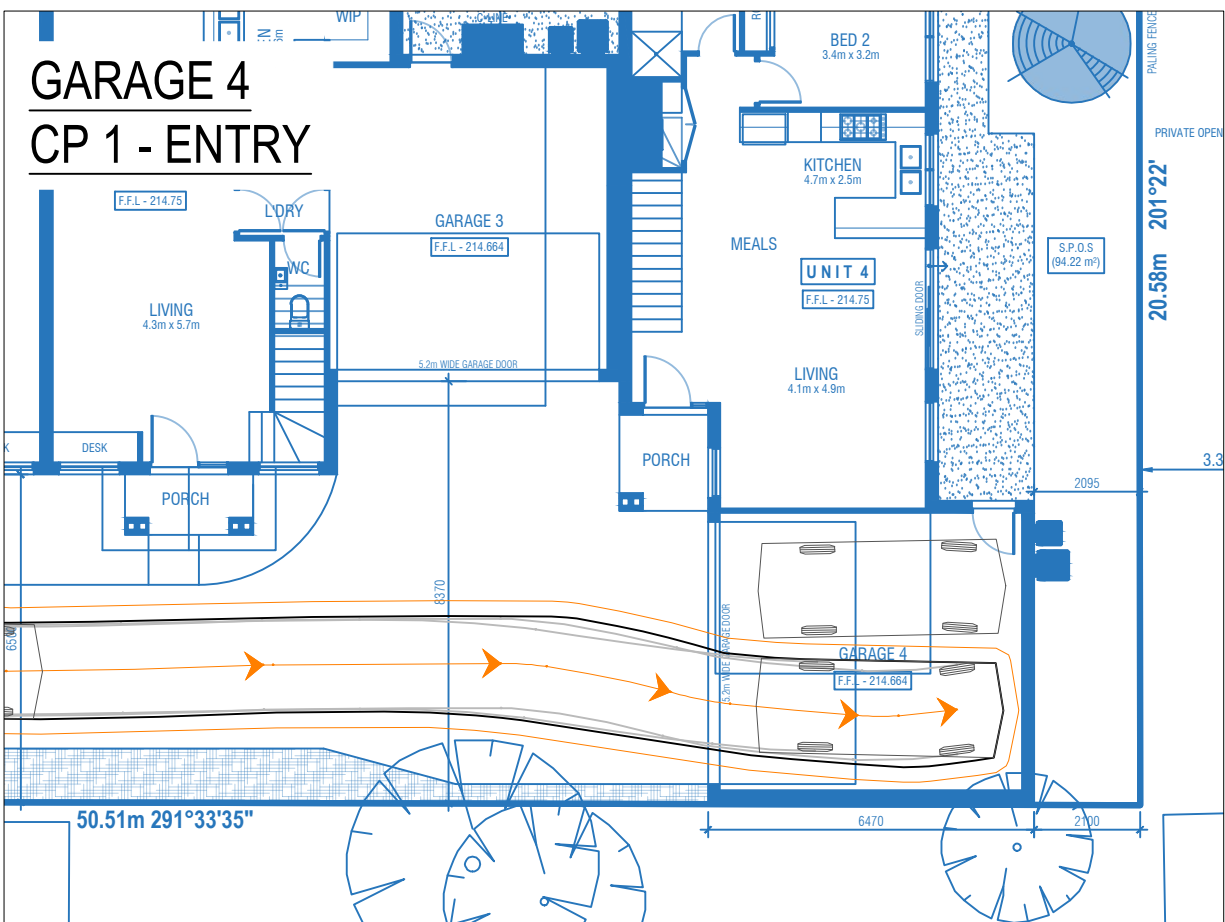
Address: 15 PASLEY STREET, SUNBURY
LGA: HUME
Development Type: MULTI-UNIT RESIDENTIAL
Assessment: SWEEP PATHS ANALYSIS

SHEET 02

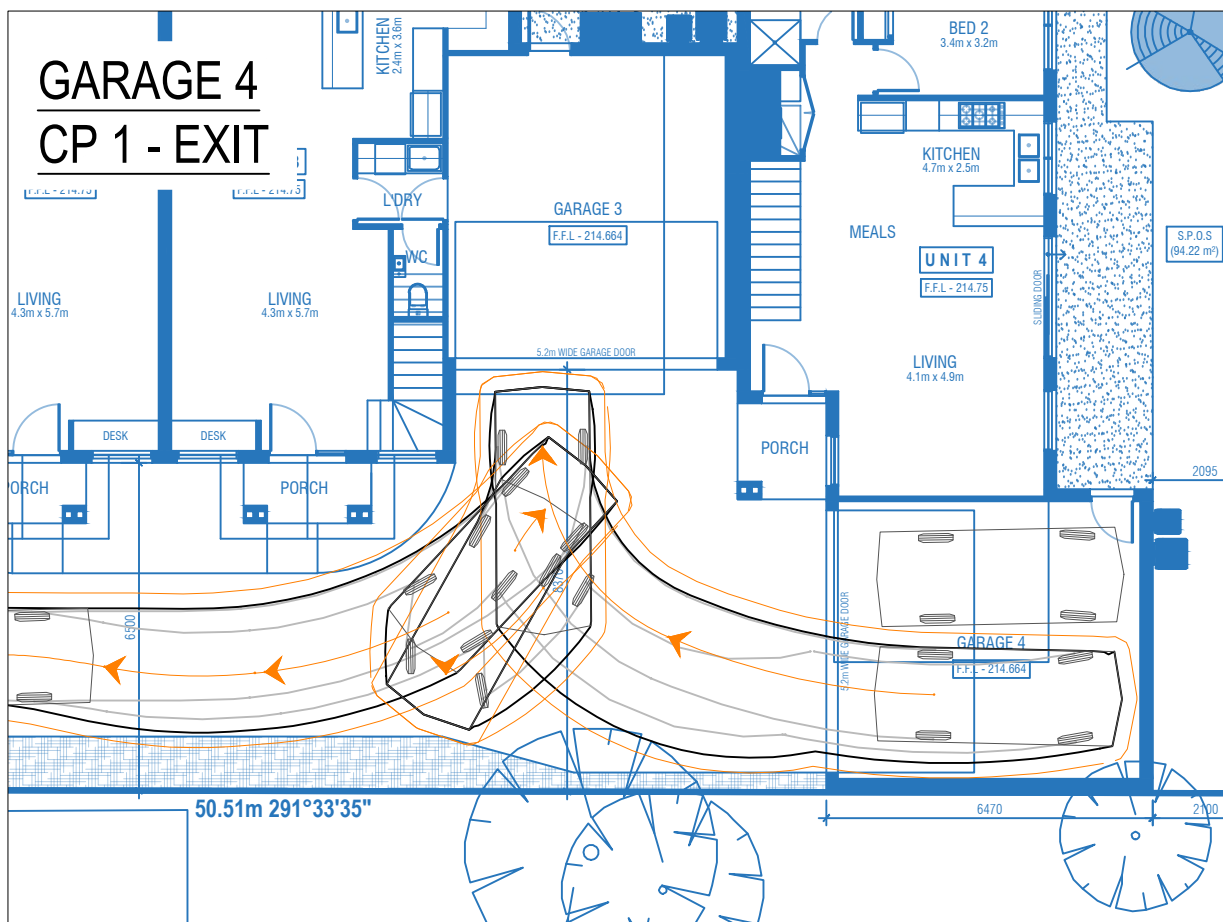
REVISION	DATE	DESCRIPTION
A	09/08/24	DRAFT FOR DISCUSSION
B	02/09/24	FINAL FOR SUBMISSION

REFERENCE	REVISION	SHEET	STATE/TERRITORY	SCALE
24-0293	B	2 of 3	VIC	1:150 @ A3

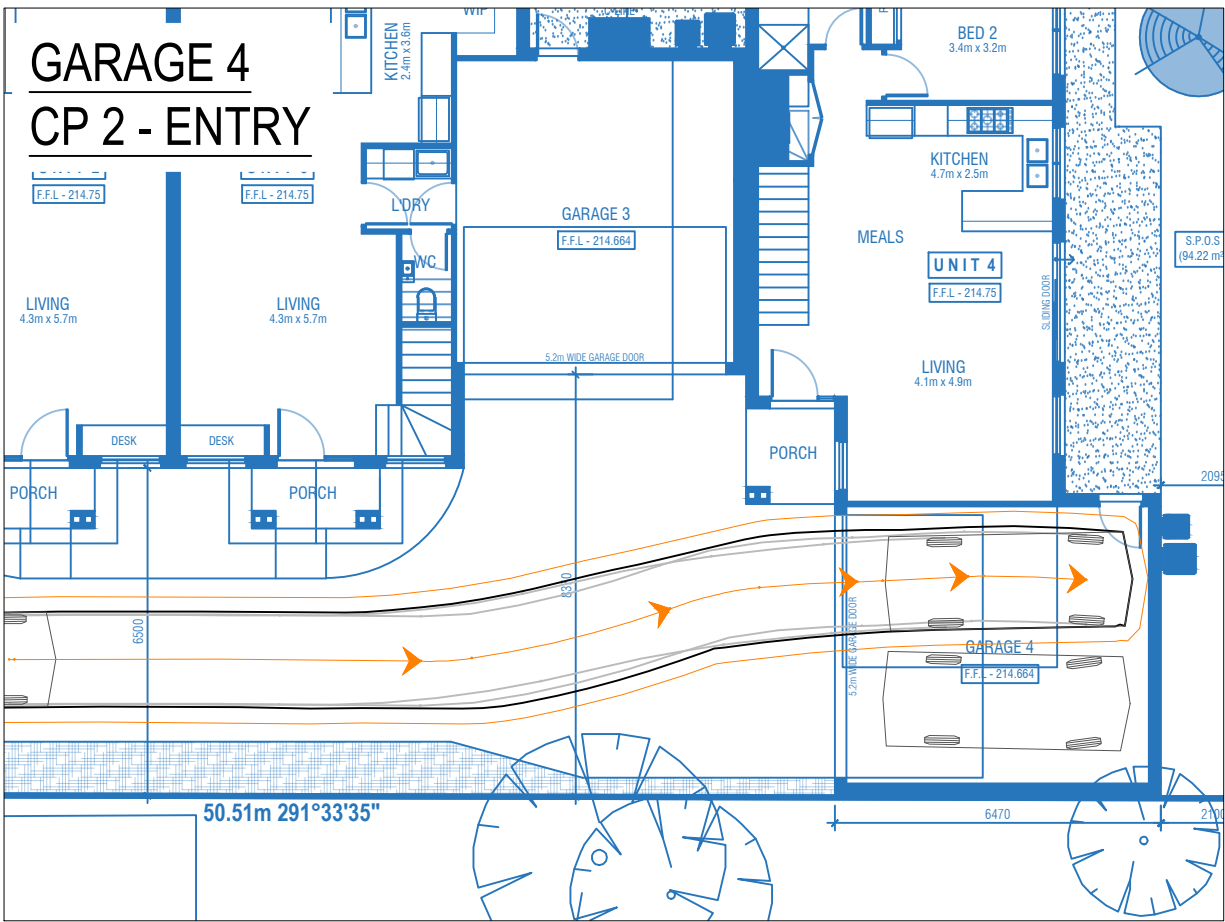
GARAGE 4 CP 1 - ENTRY



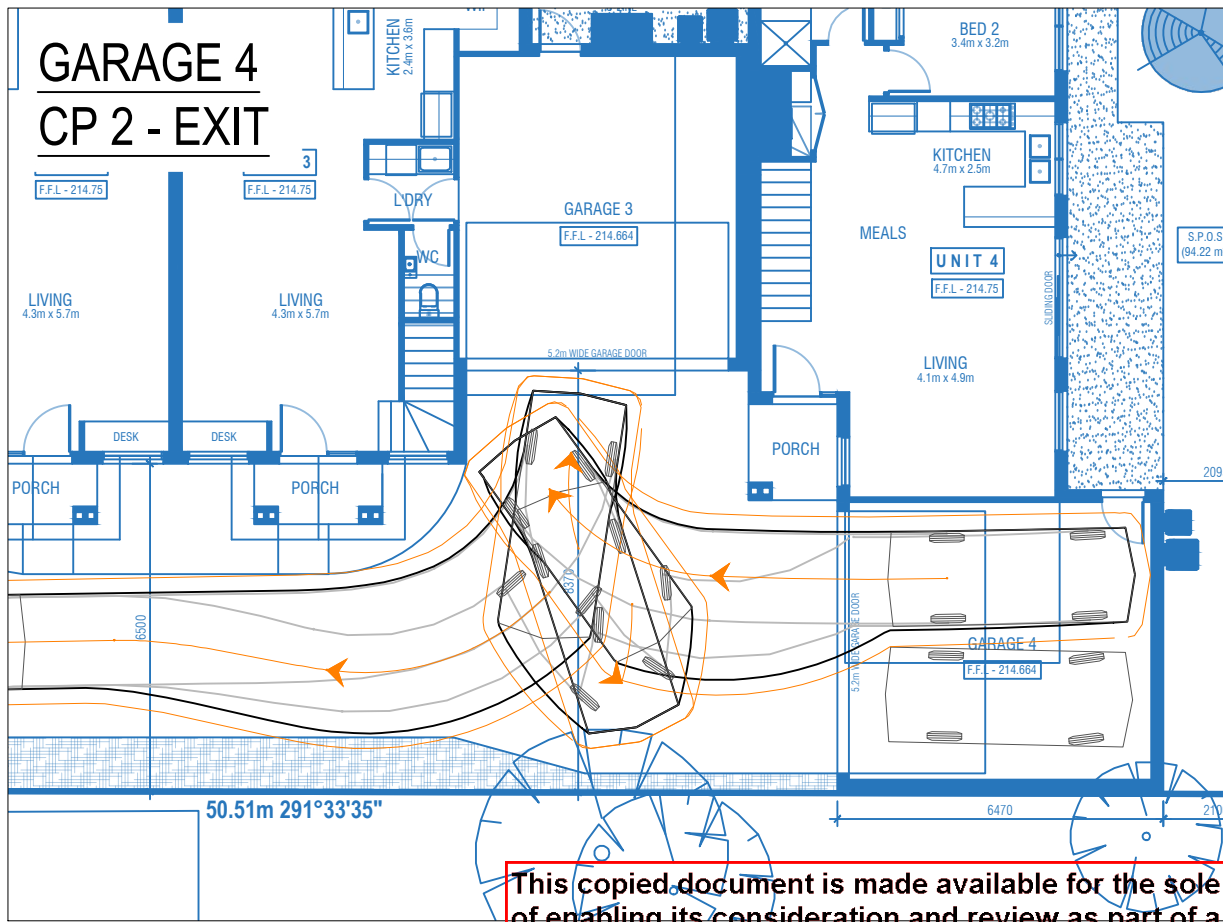
GARAGE 4 CP 1 - EXIT



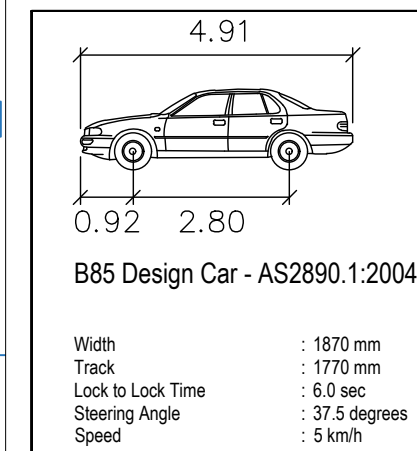
GARAGE 4 CP 2 - ENTRY



GARAGE 4 CP 2 - EXIT



DESIGN VEHICLE USED IN SIMULATION



LEGEND

- Vehicle Body
- Wheel Tracks
- Clearance Lines (300mm)

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REVISION	DATE	DESCRIPTION
A	09/08/24	DRAFT FOR DISCUSSION
B	02/09/24	FINAL FOR SUBMISSION

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Water Sensitive Urban Design Report

Job details

Date: 5th September 2024
Project: Proposed 4 Townhouse Development
Client: [REDACTED]
Address: 15 Pasley Street, Sunbury VIC 3429
Planning No: Planning No
Assessor: Rob Iacono
Job No: 240691

Revision

A:	12 th August 2024	Preliminary WSUD Report
B:	5 th September 2024	WSUD Report

Please Note

The purpose of this report is to demonstrate that the development will achieve the minimum 100% result using the industry accepted STORM rating scorecard. The calculation of the rainfall, discharge and flow rate must be calculated and designed by a suitable civil/building services engineer. This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The copy must not be used for any other purpose. Please note that the plan may not be to scale.

WSUD Objectives

This report has been prepared to satisfy Hume City Council Stormwater management (Water Sensitive Urban Design) Clause 53.18.

This policy applies to applications for:

- New Buildings
- Extensions to existing buildings which are 50m² in floor area or greater
- A subdivision in a commercial zone

This policy does not apply to an application for:

- A subdivision of an existing building.

The objective of the policy is to achieve best practice water quality performance objectives set out in the Urban Storm Water Best Practice Environment Management Guidelines, CSIRO 1999 (or as amended).

Currently, these water quality performances objectives are:

- Suspended Solids – 80% retention of typical urban annual load.
 - Total Nitrogen – 45% retention of typical urban annual load
 - Total Phosphorus – 45% retention of typical urban load
 - Litter – 70% reduction of typical urban annual load
- To promote the use of water sensitive urban design, including stormwater re-use.
 - To mitigate the detrimental effect of development on downstream waterways, by the application of best practice stormwater management through water sensitive urban design for new development.
 - To minimise peak stormwater flows and stormwater pollutants to improve the health of water bodies, including creeks, rivers and bays.

WSUD Policy

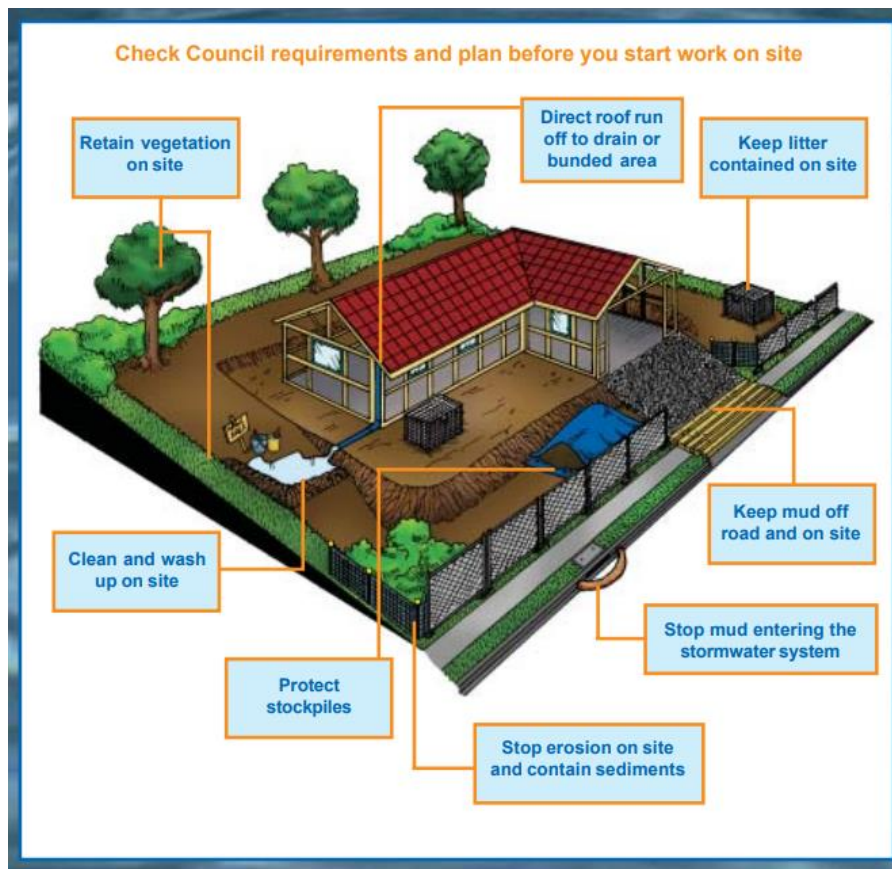
It is policy to:

Require that the development applications provide for the achievement of the best practice performance objectives for suspended solids, total phosphorus and total nitrogen, as set out in the Urban Storm Water Best Practice Environment Management Guidelines, CSIRO 1999 (or as amended).

- Requires the use of stormwater treatment measures that improve the quality and reduce the flow of water discharged to waterways. This can include but not limited to:
 - Collections and reuse of rainwater and stormwater on site
 - Vegetated swales and buffer strips
 - Rain gardens
 - Installation of water recycling systems
 - Multiple use of water within a single manufacturing site
 - Direction of flow from impervious ground surfaces to landscape areas.
- Encourage the use of measures to prevent litter being carried off-site in stormwater flows, including;
 - Appropriately designed waste enclosures and storage bins, and
 - The use of litter traps for developments with the potential to generate significant amounts of litter.
- Encourage the use of green roofs, walls and facades on buildings where practicable (to be irrigated with rainwater/stormwater) to enhance the role of vegetation on buildings in managing the quality and quantity of stormwater.

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Stormwater Site Management Initiatives



Sourced from: *Keeping our Stormwater Clean – A Builder's Guide*, Melbourne Water.

6 Site Rules To Keep The Stormwater Clean:

1. Check council requirements and plan before you start work on site.
2. Stop erosion onsite and contain sediments.
3. Protect stockpiles.
4. Keep mud off road and on site.
5. Keep litter contained on site.
6. Clean and wash up on site.

The methods and processes specified in “Keeping our Stormwater Clean – A Builder’s Guide, developed by Melbourne Water will be adhered to by the builder/developer for managing the construction site.

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Excavation & Sediment & Dust Control

No excavation will be required near the footpath or public land, except authorities (Telstra etc) except the driveway. Footpath to be fenced as stated. Site water retention will not cause structural damage to excavations or retaining walls

Drainage of the site to the legal point of discharge throughout construction

Prevention of stormwater entering adjoining properties into the sewerage system

Capture and filtering stormwater in sediment control points before entering the legal point of discharge.

Natural rainwater run-off must be controlled to prevent sediment draining into stormwater system.

Upslope water must be diverted to prevent it from travelling through the site. Downpipes must be connected as soon as a roof is installed on the site.

Pump out any water collected at the bottom of excavation sites.

Activities on construction sites need to consider permanent water saving measures regulated in Victoria. All hoses must be in good condition and fitted with a trigger nozzle. A high-pressure water cleaning unit is to be used for all washdown activities.

Sediment control barriers around all stormwater drains to be in place and maintained daily.



Rumble grids to be used and must be cleaned daily with consideration given to water saving measures including recycling, furthermore the existing gravel driveway to be maintained in good condition throughout the building works to ensure minimal clay or earth contamination to vehicle wheels.

For activities that may induce excess dust which is unlikely as the soil is of clay nature, hose down measures will be employed. This is unlikely during construction, or excavation.

Sediment barriers & rubble grids will be maintained during construction phase by the builder and undergo regular checking and maintenance when required.

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Development Details

The Subject site is located at 15 Pasley Street, Sunbury. The plans prepared by Plantech (Job No: 0366-24) proposes 4 double storey units.

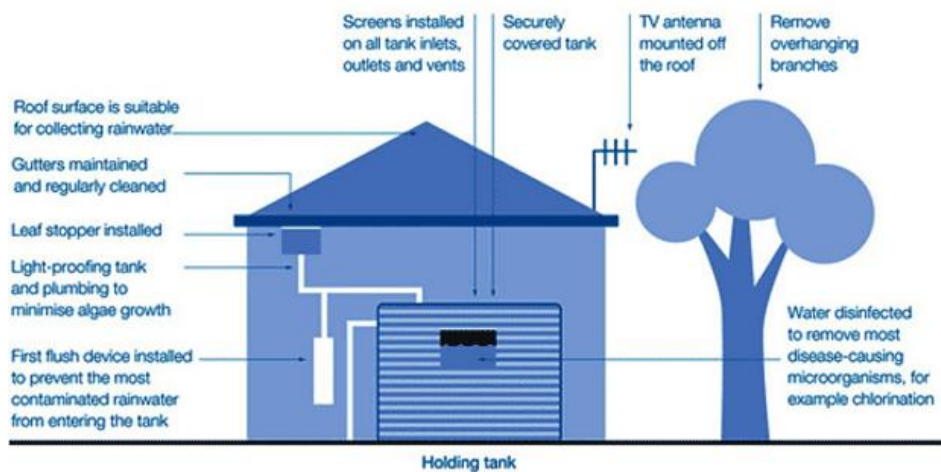
The site has a total area of 1036m² and the hard surfaces

- Dwelling 1: 144.4m²
- Dwelling 2: 105.3m²
- Dwelling 3: 105.3m²
- Dwelling 4: 107.54m²
- Common driveway: 179.2m²
- Driveway 1: 26.8m²

STORM Assessment

A Stormwater Treatment Objective- Relative Measure (STORM) calculator was used to produce a 100% outcome.

- All driveways will be left untreated.
- Each unit will require
 - 3000 litre water tanks connected to roof space each.
- Each unit is connected to a 3000 litre rainwater tank, which will be connected to the toilets.



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STORM Rating Report



STORM Rating Report

TransactionID: 0
 Municipality: HUME
 Rainfall Station: HUME
 Address: 15 Pasley Street,
 Sunbury
 VIC 3429




Assessor:
 Development Type: Residential - Multiunit
 Allotment Site (m2): 1,036.00
 STORM Rating %: 100

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Unit 1 RWT roof area	144.40	Rainwater Tank	3,000.00	4	124.10	92.60
Unit 2 RWT roof area	105.30	Rainwater Tank	3,000.00	4	154.00	87.60
Unit 3 RWT roof area	105.30	Rainwater Tank	3,000.00	4	154.00	87.60
Unit 4 RWT roof area	107.54	Rainwater Tank	3,000.00	4	154.00	87.60
Driveway 1	26.80	None	0.00	0	0.00	0.00
Common Driveway	179.20	None	0.00	0	0.00	0.00

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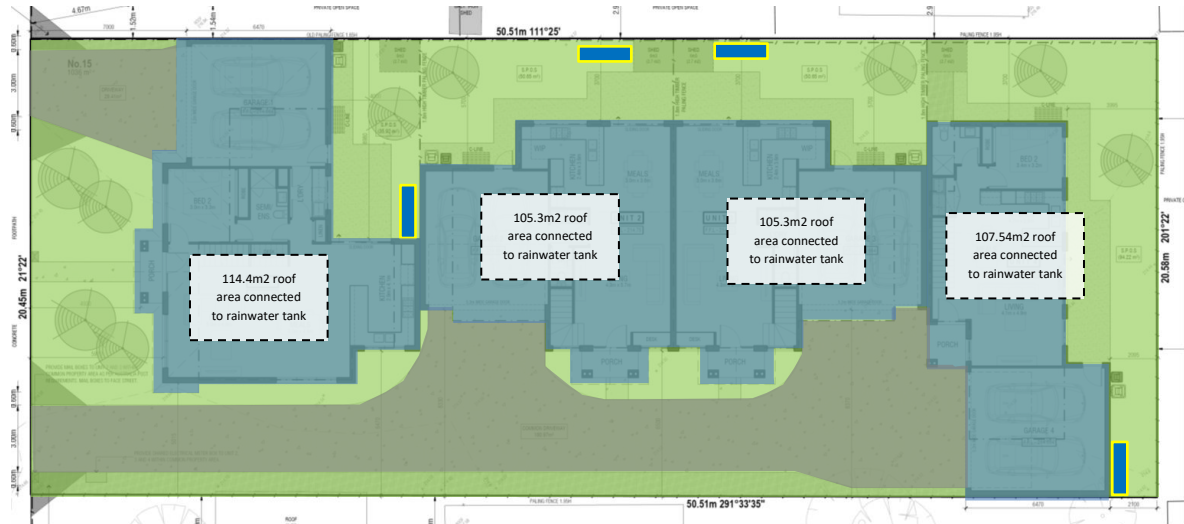
Stormwater Treatment Plan

STORM WATER TREATMENT METHODS

-  **IMPERVIOUS AREA: Treated Surfaces**
Rainwater tank
-  **IMPERVIOUS AREA:**
Untreated Surfaces
-  **PERVIOUS AREA:**
Vegetation and Permeable Paving



3000L RAINWATER TANK CONNECTED TO UNIT ROOF AREA



Note: Plan is indicative only and final locations of treatment systems and roof catchment area is subject to civil engineering.

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Water Tank Maintenance Schedule



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NCC. Volume 2 – Gutters and Downpipe Minimum Requirements

2 3.5.2.3 Selection of guttering

The size of the guttering must –

- (a) For eaves gutters, be in accordance with Table 3.5.2.2 an
- (b) For box gutters, be in accordance with AS/NZ 3500.3 or section 5 of AS/NZ 3500.5;
And
- (c) Be suitable to remove rainwater falling at the appropriate 5 minute duration rainfall intensity listed in Table 3.5.2.1 as follows –
 - (i) For eaves gutters – 20 year average recurrence interval; and
 - (ii) For eaves gutter overflow measures – 100 year average recurrence interval; and
 - (iii) For box and valley gutters – 100 years recurrence interval.

3.5.2.4 Installation of gutters

- (a) Gutters must be installed with a fall of not less than –
 - (i) 1:500 for eaves gutters, unless fixed to metal fascia's; and
 - (ii) 1:100 for box gutters.
- (b) Eaves gutters must be –
 - (i) Supported by brackets securely fixed at stop ends and at not more than 1.2m centres; and
 - (ii) Be capable of removing the overflow volume specified in Table 3.5.2.3.
- (c) Overflow measures in accordance with Table 3.5.2.4 are deemed to be capable of removing the overflow volume specified in that Table.
- (d) Valley gutters on a roof with a pitch –
 - (i) More than 12.5 degrees – must have width of not less than 400mm and be wide enough to allow the roof covering to overhang not less than 150mm each side of the gutter; or
 - (ii) Not more than 12.5 degrees – must be designed as a box gutter.
- (e) The requirement of (b)(ii) does not apply to eaves gutters fixed to a verandah or an eave that is greater than 450mm in width, which –
 - (i) Has no lining; or
 - (ii) Is a raked verandah or a raked eave with a lining sloping away from the building.

3.5.2.5 Downpipes – Size and installation

Downpipes must –

- (a) Not serve more than 12m of gutter length for each downpipe; and
- (b) Be located as close as possible to valley gutters; and
- (c) Be selected in accordance with the appropriate eaves gutter section in Table 3.5.2.2.

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Construction Management WSUD

The developer must ensure that throughout the construction of the building(s) and construction and carrying out of works allowed by this permit.

- No water containing oil, foam, grease, scum or litter will be discharged to the stormwater drainage system from the site.
- All stored wastes are kept in designated areas or covered containers that prevent escape into the stormwater system.
- The amount of mud, dirt, sand, soil, clay or stones deposited by vehicles on the abutting roads is minimised when vehicles are leaving the site.
- No mud, dirt, sand, soil, clay or stones are washed into, or are allowed to enter the stormwater drainage system.
- The site is developed and managed to minimise the risks of stormwater pollution through the contamination of run-off by chemicals, sediments, animal wastes or gross pollutants in accordance with currently accepted best practice.

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Job Details

Date: 5th September 2024
Project: Sustainable Design Assessment for 4 Townhouse Development
Client: [REDACTED]
Address: 15 Pasley Street, Sunbury VIC 3429
Planning No: Planning No
Assessor: Rob Iacono
Job No: 240691

Revision

A:	12 th August 2024	Preliminary SDA Report
B:	5 th September 2024	SDA Report

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Introduction

The Subject site is located at 15 Pasley Street, Sunbury. The plans prepared by Plantech (Job No: 0366-24) proposes 4 double storey units. The site has a total area of 1036m² and is orientated west to east and has minimal wall on boundary construction. The driveways are proposed to the west of the development.

The following report is to be read in conjunction with the following documents.

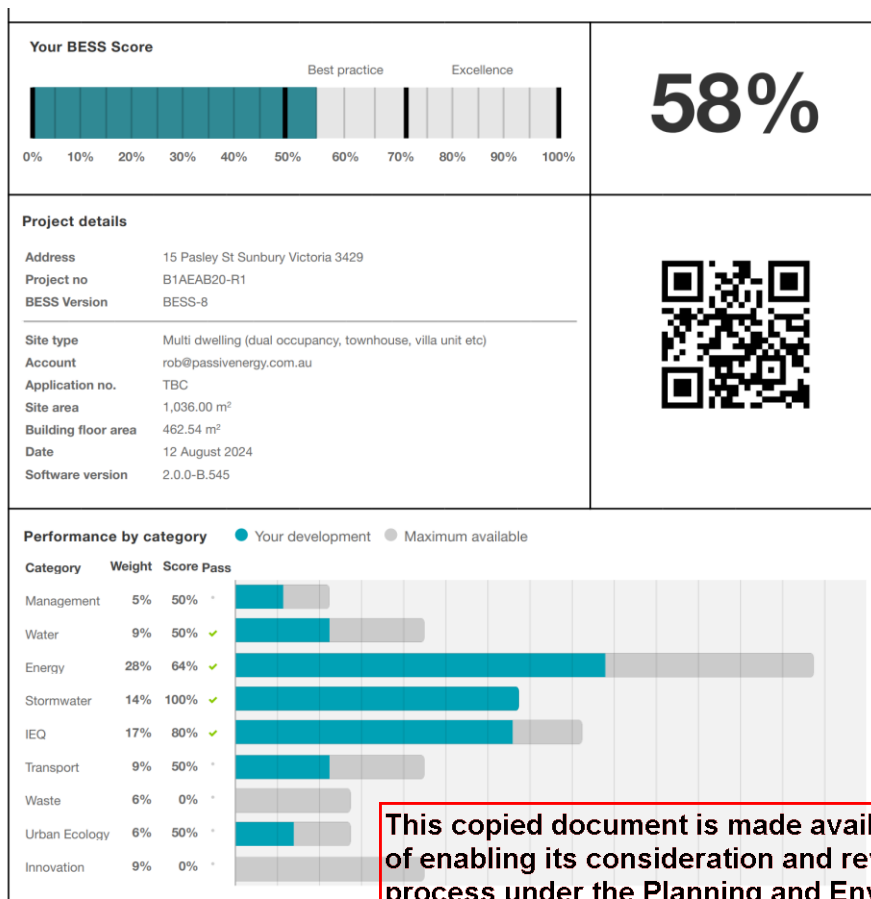
- BESS assessment
- NatHERs ratings
- STORM assessment
- Walk score

BESS Assessment (Project number B1AEAB20)

The BESS (Built Environment Sustainable Scorecard) V8, 1.8 was used to assess

- Water
- Energy
- Stormwater
- Indoor Environment Quality (IEQ)
- Transport
- Waste
- Urban Ecology &
- Innovation

Following is a list of initiatives inputted into the scorecard to achieve a best practice score of 58%



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Water requirements

Objectives

- To improve water efficiency.
- To reduce total operating potable water use.
- To encourage the collection and reuse of stormwater.
- To encourage the appropriate use of alternative water sources (eg. Grey water)

Initiatives

- 3000L water tank connect to each unit roof area.
- Rainwater tanks connected to toilet flushing.
- Water efficient landscaping. A landscape plan prepared by a suitable landscape architect to nominate water efficient vegetation throughout the development.
- For outdoor water reductions, plants, shrubs and lawn which require low amounts of water (drought-resistance) should be chosen. Native plants will be selected as they use less water and are more resistant to local plant diseases. Plant slopes with plants that will retain water and help reduce runoff.
- Group plants according to their watering needs.
- Mulch will slow evaporation of moisture while discouraging weed growth. Adding 2 - 4 inches of organic material such as compost or bark mulch will increase the ability of the soil to retain moisture.
- Shower heads to be 4 Star WELS rating(>6.0L/min but <= 7.5L/min).
- Kitchen taps to be 5 Star WELS rating.
- Bathroom taps to be 5 Star WELS rating.
- Toilets to be 4 Star WELS rating.

Energy

Objectives

- To improve the efficient use of energy, by ensuring development demonstrates design potential for ESD initiatives.

Initiatives

- Each dwelling will achieve a minimum 7 star energy rating.
- Internal lighting will achieve a maximum 4watts/m2.
- Provision of LED lighting fixtures with best practice efficiency.
- External lighting will be controlled by motion sensors.
- Nominated heating and cooling systems will be 4 stars or within 1 star of the best relevant system in the market.
- Nominated electric heat pump hot water system and electric cooktop.

Stormwater

Objectives

- To reduce the impact of stormwater run-off.
- To improve the water quality of the water run-off.
- To achieve best practice stormwater quality outcomes.
- To incorporate the use of water sensitive urban design, including storm water re-use.

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Initiatives

A Stormwater Treatment Objective- Relative Measure (STORM) calculator was used to produce a 100% outcome.

- All driveways will be left untreated.
- Each unit will require
 - 3000 litre water tanks connected to roof space each.
- Each unit is connected to a 3000 litre rainwater tank, which will be connected to the toilets.

Note: See the WSUD report prepared by PassivEnergy (Job No:240691) for more information on the stormwater management of the development.

Indoor Environment Quality (IEQ)

Objectives

- To achieve a healthy indoor environment quality for the wellbeing of building occupants, including the provision of fresh air intake, cross ventilation, and natural daylight.
- To achieve thermal comfort levels with minimised need for mechanical heating, ventilation and cooling.
- To reduce indoor air pollutants by encouraging use of materials with low toxic chemicals.
- To reduce reliance on mechanical heating, ventilation, cooling and lighting systems.
- To minimise noise levels and noise transfer within and between buildings and associated external areas.

Initiatives

- All habitable rooms will allow for natural cross ventilation.
- Double glazed windows have been nominated to all living areas and bedrooms to assist with the thermal comfort.
- 50% of living areas have been designed to take in northern sunlight.
- All carpets, internal paints and all finishes and flooring will be selected for their low VOC properties.
- Engineered wood products will be E1 – E0 grade.
- Where artificial lighting is required, only sealed energy efficient LED light fixtures should be selected or CFL's for common areas like kitchens.
- All kitchen rangehoods to be externally ducted.

Transport

Objectives

- To ensure that the built environment is designed to promote the use of walking, cycling and public transport, in that order and to minimise car dependency.
- To promote the use of low emissions vehicle technologies and supporting infrastructure.
- The Walk Score is a number between 0 and 100 that measures the walkability of any address to shops, restaurant, parks, entertainment etc.

Initiatives

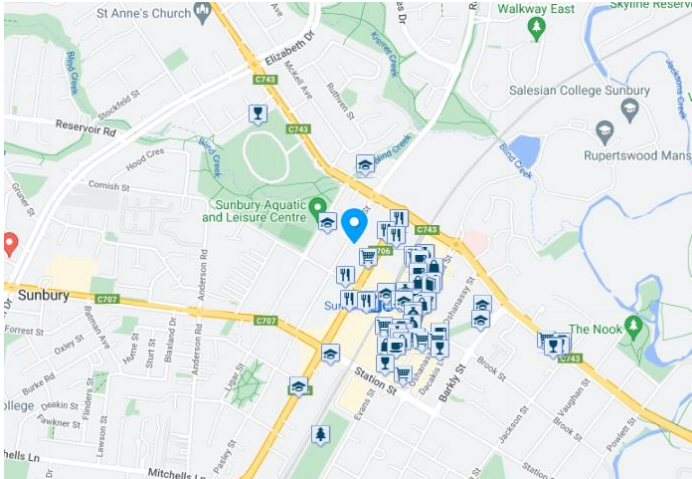
- There is 1 parking spot for bicycles per unit. Bike storage can be located in the following areas:

- o Bicycle parking should be visible, accessible and convenient for residents, with a clear path of travel from the building entrance and including wayfaring signage when bicycle parking is located in a central room or cage.
- o This credit is not available for enabling bicycle parking above car parks due to access difficulties when a car is parked in the space.

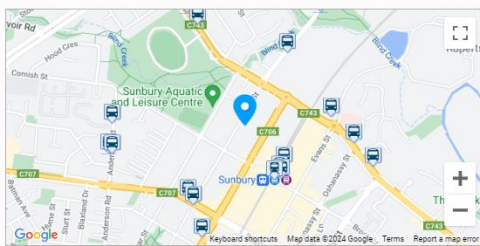
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Sustainable Design Assessment – 15 Pasley Street, Sunbury VIC 3429

- For more information please click on this link to see council approved bike rake: <https://store.standards.org.au/reader/as-2890-3-2015?preview=1>
- 15 Pasley Street has a Walk Score of 77 out of 100. This location is Very Walkable so most errands can be accomplished on foot.
- This location is in Sunbury. The closest park is Evans Street Grassland Reserve.
- The site is situated 400m to Sunbury train station.

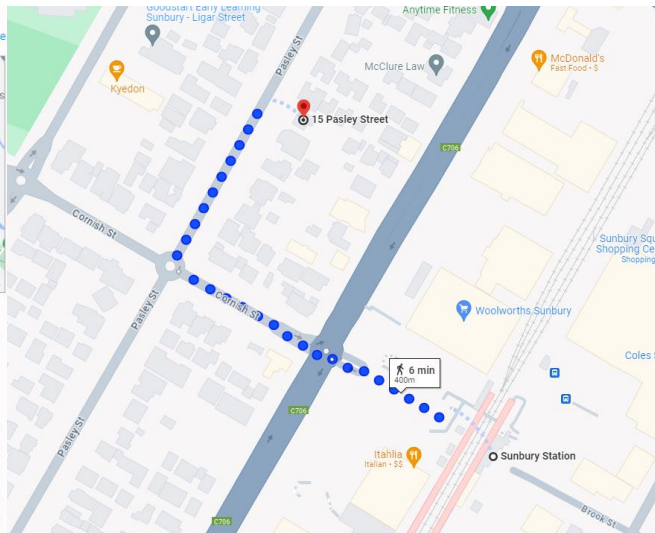


Nearby Public Transit



Rail lines:	
Sunbury City (Flinders Street)	0.3 km
Melbourne - Echuca/Moam	0.3 km
Bendigo - Melbourne Via Sunbury	0.3 km

Bus lines:	
481 Sunbury - Mount Lion	0.3 km
487 Sunbury - Killara Heights	0.3 km
483 Sunbury - Moonee Ponds	0.3 km
489 Sunbury - Canterbury Hills	0.3 km
Melbourne - Bendigo Via Sunbury	0.3 km
486 Sunbury - Rolling Meadows	0.3 km
485 Sunbury - Wilsons Lane	0.3 km
479 Airport West SC - Sunbury	0.3 km
488 Sunbury - Jacksons Hill	0.3 km



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Waste management

Objectives

- To promote waste avoidance, reuse and recycling during the design construction and operation stages of the development.
- To ensure durability and long term reusability of building materials.
- To ensure sufficient space is allocated for future change in waste management needs, including (where possible) composting and green waste facilities.

Initiatives

- Recycling and waste receptacles to be installed in the kitchen cabinetry.
- The development is to recycle or reuse a minimum of 80% of construction demolition waste.
- Re-use of excavated material on-site and disposal of any excess to an approved site;
- Green waste mulched and re-used in landscaping either on-site or off-site;
- Bricks, tiles, concrete recycled off-site and plasterboard returned to supplier for recycling;
- Framing timber to be recycled elsewhere;
- Windows, doors, joinery, plumbing, fittings and metal elements recycled off-site;
- All asbestos, hazardous and/or intractable wastes are to be disposed of in accordance with Workcover Authority and EPA requirements;
- Locations of on-site storage facilities for material to be reused on-site, or separated for recycling off-site

Materials

Objectives

- To reduce the environmental impact of materials by recycling of existing material or use of environmentally friendly materials and materials with low embodied energy.

Initiatives

- The development will use sustainable timber, where it meets the Australian Forestry Standard(AFS) or Forest Stewardship Council(FSC) standard and will use E1 or E0-grade engineered wood products.
- The development will use 20-35% supplementary cementitious materials(SCM) as a partial cement alternative, subject to the structural engineer's approval.
- Using recyclable and long lifecycle materials, such as steel, concrete and bricks.
- Materials proposed are local and readily available reducing embodied energy from transportation.
- Industry accepted benchmarks and/or third party certified low VOC and non-toxic products will be used for the development.
- All steel to be sourced from a Responsible Steel Maker i.e. must have facilities with a currently valid and certified ISO 14001 Environmental Management System (EMS) in place and be a member of the World Steel Association's (WSA) Climate Action Program (CAP)
- All concrete to use recycled aggregate where appropriate and recycled water in its manufacture.

Urban ecology

Objectives

- To protect and enhance biodiversity with the municipality
- To provide environmentally sustainable landscapes and natural habitats, and minimise the urban heat island effect.
- To encourage the retention of significant trees and the planting of indigenous vegetation, for productive gardens
- To encourage the provision of space for productive gardens

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Initiatives

- The vegetation percentage area to be at least 35%.
- The development will include native/indigenous plants.
- Landscape architect to prepare water efficient landscape design.
- Light/medium coloured roofing and/or paving will be used to minimise UHI effect.

NatHERs Ratings

- Energy ratings were modelled in First Rate 5 software version 5.5.5 (3.22)

	Heating	Cooling	Total	Rating
Unit 1	83.1MJ/m2	15.6MJ/m2	98.7MJ/m2	7.0 Stars
Unit 2/3	87.1MJ/m2	11MJ/m2	98.1MJ/m2	7.0 Stars
Unit 4	78MJ/m2	20.1MJ/m2	98.1MJ/m2	7.0 Stars

Preliminary Energy Rating Assumptions:

Insulation:	Value	
Floor	R2.5	R2.5 insulation to the underside of the concrete slab(excluding garage) – Unit 1.
	R2.5	R2.5 insulation installed between all posi-trusses/floor joists.
External Walls	R2.5	R2.5 insulation installed between all external stud walls with anti-glare foil (excluding garage).
Internal Walls	R2.5	R2.5 insulation installed between all party walls, garage, WC and bathroom internal stud walls.
Roof	R5.0	R5.0 insulation installed between all roof trusses (excluding garage).
	R6.0	R6.0 insulation installed between all roof trusses (excluding garage) – Unit 1 only.

Glazing – Unit 1	Type -
	Aluminum framed double-glazed (high-performance) Awning U-Value: 3.0 SHGC: 0.27 Sliding Door/Fixed U-Value: 3.0 SHGC: 0.26
Location -	All proposed windows and glazed doors (excluding WC and Bath).

Glazing – Unit 2/3	Type -
	Aluminum framed double-glazed Awning U-Value: 4.1 SHGC: 0.47 Sliding Door/Fixed U-Value: 4.1 SHGC: 0.52
Location -	All proposed windows and glazed doors .

Glazing – Unit 4	Type -
	Aluminum framed double-glazed (high-performance) Awning U-Value: 2.91 SHGC: 0.44 Sliding Door/Fixed U-Value: 2.9 SHGC: 0.44
Location -	All proposed windows and glazed doors (excluding WC, Bath 1& 2 and ENS).

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Exhaust Fans:	Location – As per working drawings Kitchen, ensuite and bathroom. Note: All exhaust fans to be installed with self closing dampers
Weather Protection:	Note - Weatherstrip draft protection device to be installed to the bottom of all external doors

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BESS Report

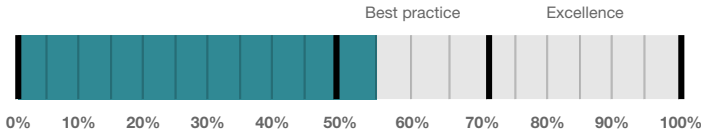
Built Environment Sustainability Scorecard



This BESS report outlines the sustainable design commitments of the proposed development at 15 Pasley St Sunbury Victoria 3429. The BESS report and accompanying documents and evidence are submitted in response to the requirement for a Sustainable Design Assessment or Sustainability Management Plan at Hume City Council.

Note that where a Sustainability Management Plan is required, the BESS report must be accompanied by a report that further demonstrates the development's potential to achieve the relevant environmental performance outcomes and documents the means by which the performance outcomes can be achieved.

Your BESS Score



58%

Project details

Address 15 Pasley St Sunbury Victoria 3429
Project no B1AEAB20-R1
BESS Version BESS-8

Site type Multi dwelling (dual occupancy, townhouse, villa unit etc)
Account rob@passivenenergy.com.au
Application no. TBC
Site area 1,036.00 m²
Building floor area 462.54 m²
Date 12 August 2024
Software version 2.0.0-B.545



Performance by category

● Your development ● Maximum available

Category	Weight	Score	Pass
Management	5%	50%	*
Water	9%	50%	✓
Energy	28%	64%	✓
Stormwater	14%	100%	✓
IEQ	17%	80%	✓
Transport	9%	50%	*
Waste	6%	0%	*
Urban Ecology	6%	50%	*
Innovation	9%	0%	*

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Dwellings & Non Res Spaces

Dwellings

Name	Quantity	Area	% of total area
Townhouse			
Unit 2/3	2	105 m ²	45%
Unit 1	1	144 m ²	31%
Unit 4	1	108 m ²	23%
Total	4	462 m²	100%

Supporting information

Floorplans & elevation notes

Credit	Requirement	Response	Status
Water 3.1	Annotation: Water efficient garden details		-
Energy 3.3	Annotation: External lighting controlled by motion sensors		-
Energy 3.4	Location of clothes line (if proposed)		-
Stormwater 1.1	Location of any stormwater management systems (rainwater tanks, raingardens, buffer strips)		-
IEQ 2.2	Annotation: Dwellings designed for 'natural cross flow ventilation' (If not all dwellings, include a list of compliant dwellings)		-
IEQ 3.1	Annotation: Glazing specification (U-value, SHGC)		-
IEQ 3.3	North-facing living areas		-
Transport 1.1	Location of residential bicycle parking spaces		-
Urban Ecology 2.1	Location and size of vegetated areas		-

Supporting evidence

Credit	Requirement	Response	Status
Management 2.2	Preliminary NatHERS assessments		-
Energy 3.5	Average lighting power density and lighting type(s) to be used		-
Stormwater 1.1	STORM report or MUSIC model		-
IEQ 2.2	A list of dwellings with natural cross flow ventilation		-
IEQ 3.1	Reference to floor plans or energy modelling showing the glazing specification (U-value and Solar Heat Gain Coefficient, SHGC)		-
IEQ 3.3	Reference to the floor plans showing living areas orientated to the north		-

Credit summary

Management Overall contribution 4.5%



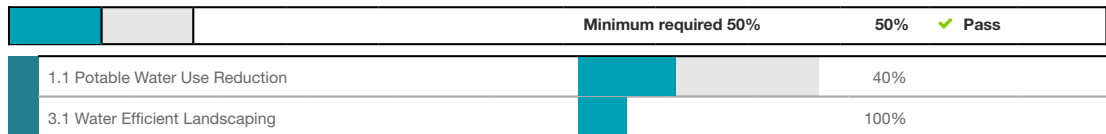
1.1 Pre-Application Meeting	0%
2.2 Thermal Performance Modelling - Multi-Dwelling Residential	100%
4.1 Building Users Guide	100%

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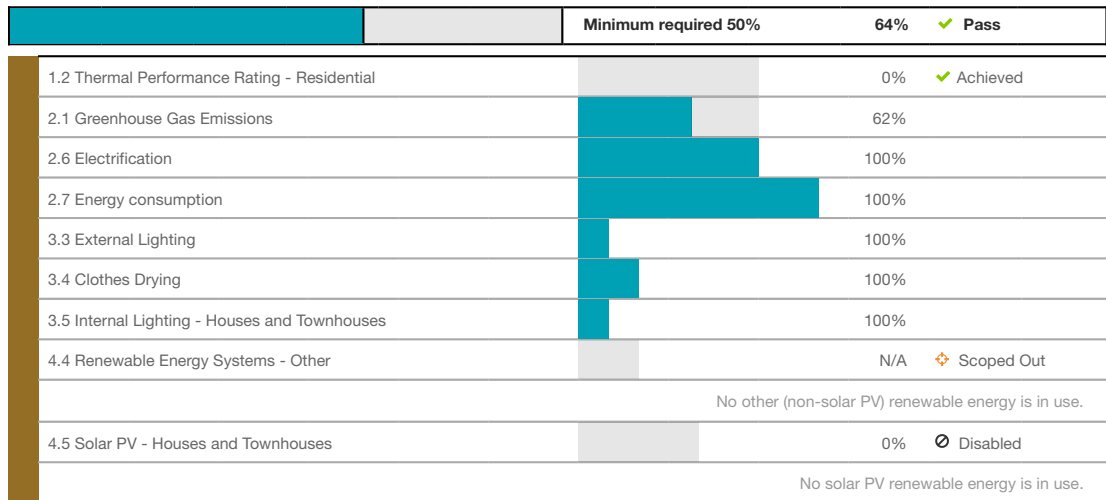
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Water Overall contribution 9.0%



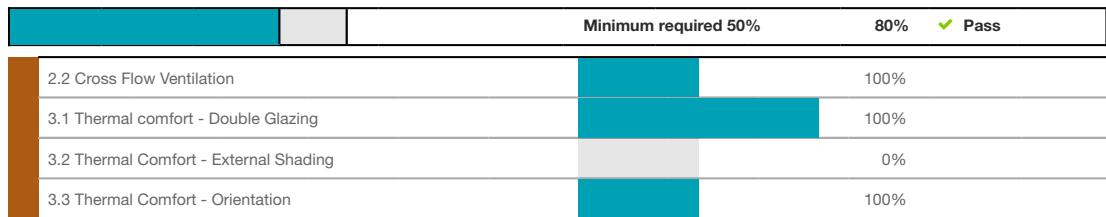
Energy Overall contribution 27.5%



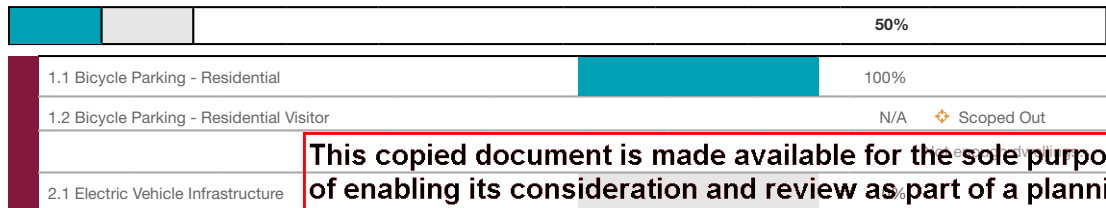
Stormwater Overall contribution 13.5%



IEQ Overall contribution 16.5%



Transport Overall contribution 9.0%



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Waste Overall contribution 5.5%

		0%
1.1 - Construction Waste - Building Re-Use		0%
2.1 - Operational Waste - Food & Garden Waste		0%

Urban Ecology Overall contribution 5.5%

		50%
2.1 Vegetation		100%
2.2 Green Roofs		0%
2.3 Green Walls and Facades		0%
2.4 Private Open Space - Balcony / Courtyard Ecology		0%
3.1 Food Production - Residential		0%

Innovation Overall contribution 9.0%

		0%
1.1 Innovation		0%

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Credit breakdown

Management Overall contribution 2%

1.1 Pre-Application Meeting		0%
Score Contribution	This credit contributes 50% towards the category score.	
Criteria	Has an ESD professional been engaged to provide sustainability advice from schematic design to construction? AND Has the ESD professional been involved in a pre-application meeting with Council?	
Question	Criteria Achieved ?	
Project	No	
2.2 Thermal Performance Modelling - Multi-Dwelling Residential		100%
Score Contribution	This credit contributes 33.3% towards the category score.	
Criteria	Have preliminary NatHERS ratings been undertaken for all thermally unique dwellings?	
Question	Criteria Achieved ?	
Townhouse	Yes	
4.1 Building Users Guide		100%
Score Contribution	This credit contributes 16.7% towards the category score.	
Criteria	Will a building users guide be produced and issued to occupants?	
Question	Criteria Achieved ?	
Project	Yes	

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Water Overall contribution 4% Minimum required 50%

Water Approach	
What approach do you want to use for Water?:	Use the built in calculation tools
Do you have a reticulated third pipe or an on-site water recycling system?:	No
Are you installing a swimming pool?:	No
Are you installing a rainwater tank?:	Yes
Fixtures, fittings & connections profile	
Showerhead: All	4 Star WELS (>= 6.0 but <= 7.5)
Bath: All	Medium Sized Contemporary Bath
Kitchen Taps: All	>= 5 Star WELS rating
Bathroom Taps: All	>= 5 Star WELS rating
Dishwashers: All	Default or unrated
WC: All	>= 4 Star WELS rating
Urinals: All	Scope out
Washing Machine Water Efficiency: All	Occupant to Install
Which non-potable water source is the dwelling/space connected to?:	
Unit 1	RWT 1
Unit 2/3	RWT 2/3
Unit 4	RWT 4
Non-potable water source connected to Toilets: All	Yes
Non-potable water source connected to Laundry (washing machine): All	No
Non-potable water source connected to Hot Water System: All	No
Rainwater tank profile	
What is the total roof area connected to the rainwater tank?:	
RWT 1	144 m ²
RWT 2/3	207 m ²
RWT 4	108 m ²
Tank Size:	
RWT 1	3,000 Litres
RWT 2/3	6,000 Litres
RWT 4	3,000 Litres
Irrigation area connected to tank:	
RWT 1	-
RWT 2/3	-
RWT 4	-
Is connected irrigation area a water efficient garden?:	
RWT 1	
RWT 2/3	
RWT 4	

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Other external water demand connected to tank?:	
RWT 1	-
RWT 2/3	-
RWT 4	-
1.1 Potable Water Use Reduction	40%
Score Contribution	This credit contributes 83.3% towards the category score.
Criteria	What is the reduction in total potable water use due to efficient fixtures, appliances, rainwater use and recycled water use? To achieve points in this credit there must be >25% potable water reduction.
Output	Reference
Project	706 kL
Output	Proposed (excluding rainwater and recycled water use)
Project	591 kL
Output	Proposed (including rainwater and recycled water use)
Project	528 kL
Output	% Reduction in Potable Water Consumption
Project	25 %
Output	% of connected demand met by rainwater
Project	100 %
Output	How often does the tank overflow?
Project	Very Often
Output	Opportunity for additional rainwater connection
Project	261 kL
3.1 Water Efficient Landscaping	100%
Score Contribution	This credit contributes 16.7% towards the category score.
Criteria	Will water efficient landscaping be installed?
Question	Criteria Achieved ?
Project	Yes

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Energy Overall contribution 18% Minimum required 50%

Dwellings Energy Approach

What approach do you want to use for Dwellings?: Use the built in calculation tools

Are you installing any solar photovoltaic (PV) system(s)?: No

Are you installing any other renewable energy system(s)?: No

Energy Supply: All-electric

Dwelling Energy Profiles

Below the floor is: All Ground or Carpark

Above the ceiling is: All Outside

Exposed sides: All 3

NatHERS Annual Energy Loads - Heat:

Unit 1 83.1 MJ/sqm

Unit 2/3 87.1 MJ/sqm

Unit 4 78.0 MJ/sqm

NatHERS Annual Energy Loads - Cool:

Unit 1 15.6 MJ/sqm

Unit 2/3 11.0 MJ/sqm

Unit 4 20.1 MJ/sqm

NatHERS star rating: All 7.0

Type of Heating System: All Reverse cycle space

Heating System Efficiency: All Current Default / MEPS

Type of Cooling System: All Refrigerative space

Cooling System Efficiency: All Current Default / MEPS

Type of Hot Water System: All Electric Heat Pump Band 1

Clothes Line: All Private outdoor clothesline

Clothes Dryer: All Occupant to install

1.2 Thermal Performance Rating - Residential 0% ✔ Achieved

Score Contribution This credit contributes 17.6% towards the category score.

Criteria What is the average NatHERS rating?

Output Average NATHERS Rating (Weighted)

Townhouse 7.0 Stars

2.1 Greenhouse Gas Emissions 62%

Score Contribution This credit contributes 17.6% towards the category score.

Criteria What is the % reduction in annual greenhouse gas emissions against the benchmark?

Output Reference Building with Reference Services (BCA only)

Townhouse 10,736 kg CO2

Output Proposed Building with Proposed Services (Actual Building)

Townhouse 9,389 kg CO2

Output % Reduction in GHG Emissions:

Townhouse 12 %

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2.6 Electrification	100%
Score Contribution	This credit contributes 17.6% towards the category score.
Criteria	Is the development all-electric?
Question	Criteria Achieved?
Project	Yes

2.7 Energy consumption	100%
Score Contribution	This credit contributes 23.5% towards the category score.
Criteria	What is the % reduction in annual energy consumption against the benchmark?
Output	Reference Building with Reference Services (BCA only)
Townhouse	93,842 MJ
Output	Proposed Building with Proposed Services (Actual Building)
Townhouse	39,765 MJ
Output	% Reduction in total energy
Townhouse	57 %

3.3 External Lighting	100%
Score Contribution	This credit contributes 2.9% towards the category score.
Criteria	Is the external lighting controlled by a motion detector?
Question	Criteria Achieved ?
Townhouse	Yes

3.4 Clothes Drying	100%
Score Contribution	This credit contributes 5.9% towards the category score.
Criteria	What is the % reduction in annual energy consumption (gas and electricity) from a combination of clothes lines and efficient driers against the benchmark?
Output	Reference
Townhouse	2,016 kWh
Output	Proposed
Townhouse	403 kWh
Output	Improvement
Townhouse	80 %

3.5 Internal Lighting - Houses and Townhouses	100%
Score Contribution	This credit contributes 2.9% towards the category score.
Criteria	Does the development achieve a maximum illumination power density of 4W/sqm or less?
Question	Criteria Achieved?
Townhouse	Yes

4.4 Renewable Energy Systems - Other	N/A	✦ Scoped Out
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This credit was scoped out

4.5 Solar PV - Houses and Townhouses	No solar PV renewable energy is in use.
This credit is disabled	

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Stormwater Overall contribution 14% Minimum required 100%


Which stormwater modelling software are you using?:		Melbourne Water STORM tool
1.1 Stormwater Treatment		100%
Score Contribution	This credit contributes 100% towards the category score.	
Criteria	Has best practice stormwater management been demonstrated?	
Question	STORM score achieved	
Project	100	
Output	Min STORM Score	
Project	100	

IEQ Overall contribution 13% Minimum required 50%

2.2 Cross Flow Ventilation		100%
Score Contribution	This credit contributes 20% towards the category score.	
Criteria	Are all habitable rooms designed to achieve natural cross flow ventilation?	
Question	Criteria Achieved ?	
Townhouse	Yes	
3.1 Thermal comfort - Double Glazing		100%
Score Contribution	This credit contributes 40% towards the category score.	
Criteria	Is double glazing (or better) used to all habitable areas?	
Question	Criteria Achieved ?	
Townhouse	Yes	
3.2 Thermal Comfort - External Shading		0%
Score Contribution	This credit contributes 20% towards the category score.	
Criteria	Is appropriate external shading provided to east, west and north facing glazing?	
Question	Criteria Achieved ?	
Townhouse	-	
3.3 Thermal Comfort - Orientation		100%
Score Contribution	This credit contributes 20% towards the category score.	
Criteria	Are at least 50% of living areas orientated to the north?	
Question	Criteria Achieved ?	
Townhouse	Yes	

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Transport Overall contribution 4%

1.1 Bicycle Parking - Residential		100%
Score Contribution	This credit contributes 50% towards the category score.	
Criteria	How many secure and undercover bicycle spaces are there for residents?	
Question	Bicycle Spaces Provided ?	
Townhouse	4	
Output	Min Bicycle Spaces Required	
Townhouse	4	
1.2 Bicycle Parking - Residential Visitor		N/A  Scoped Out
This credit was scoped out		Not enough dwellings.
2.1 Electric Vehicle Infrastructure		0%
Score Contribution	This credit contributes 50% towards the category score.	
Criteria	Are facilities provided for the charging of electric vehicles?	
Question	Criteria Achieved ?	
Project	No	

Waste Overall contribution 0%

1.1 - Construction Waste - Building Re-Use		0%
Score Contribution	This credit contributes 50% towards the category score.	
Criteria	If the development is on a site that has been previously developed, has at least 30% of the existing building been re-used?	
Question	Criteria Achieved ?	
Project	No	
2.1 - Operational Waste - Food & Garden Waste		0%
Score Contribution	This credit contributes 50% towards the category score.	
Criteria	Are facilities provided for on-site management of food and garden waste?	
Question	Criteria Achieved ?	
Project	No	

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Urban Ecology Overall contribution 3%

2.1 Vegetation	100%
Score Contribution	This credit contributes 50% towards the category score.
Criteria	How much of the site is covered with vegetation, expressed as a percentage of the total site area?
Question	Percentage Achieved ?
Project	35 %
2.2 Green Roofs	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Does the development incorporate a green roof?
Question	Criteria Achieved ?
Project	No
2.3 Green Walls and Facades	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Does the development incorporate a green wall or green façade?
Question	Criteria Achieved ?
Project	No
2.4 Private Open Space - Balcony / Courtyard Ecology	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Is there a tap and floor waste on every balcony and courtyard (including any roof terraces)?
Question	Criteria Achieved ?
Townhouse	No
3.1 Food Production - Residential	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	What area of space per resident is dedicated to food production?
Question	Food Production Area
Townhouse	-
Output	Min Food Production Area
Townhouse	3 m²

Innovation Overall contribution 0%

1.1 Innovation	0%
Score Contribution	This credit contributes 100% towards the category score.
Criteria	What percentage of the Innovation points have been claimed (10 points maximum)?

Disclaimer

The Built Environment Sustainability Scorecard is a tool developed by the Council Alliance for a Sustainable Built Environment (CASBE) in an effort to ensure that material is accurate and up to date (except where denoted as 'final'). This disclaimer does not constitute the provision of professional or specific advice. You should seek appropriate, independent, professional advice before acting on any of the areas covered by BESS.

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Nationwide House Energy Rating Scheme® NatHERS® Certificate No. 00Q5XRKDZ4

Thermal performance
star rating

Generated on 12 Aug 2024 using FirstRate5: 5.5.5 (3.22)

Property

Address 1, 15 Pasley Street,
Sunbury, VIC, 3429

Lot/DP -

NCC Class* Class 1a

Floor/all Floors

Type New Home

Plans

Main plan 0366-24 / 02-08-24

Prepared by Plantech

Construction and environment

Assessed floor area [m²]*

Conditioned*	141.6	Exposure type	suburban
Unconditioned*	40.5	NatHERS climate zone	60 Tullamarine
Total	182.1		
Garage	32.6		



Accredited assessor

Name Robert Iacono

Business name PassivEnergy

Email rob@passivenergy.com.au

Phone 0401 248 348

Accreditation No. DMN/11/1259

Assessor Accrediting Organisation
Design Matters National

Declaration of interest No

NCC Requirements

NCC provisions Volume 2

State/Territory variation Yes

National Construction Code (NCC) requirements

The NCC allows the use of NatHERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 sole-occupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 42 of NCC Volume Two. For apartments the requirements are detailed in clauses J3D3 and J3D15 of NCC Volume One.

NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the major equipment in the home.

The NCC, and associated ABCB Standards and support material, can be accessed at www.abcb.gov.au.

Note, variations and additions to the NCC energy efficiency requirements may apply in some states and territories.



98.7 MJ/m²

Predicted annual energy load for heating and cooling based on standard occupancy assumptions.

For more information on your dwelling's rating see:
www.nathers.gov.au

Thermal performance [MJ/m²]

Limits taken from ABCB Standard 2022

	Heating	Cooling
Modelled	83.1	15.6
Load limits	95	27

Features determining load limits

Floor type (lowest conditioned area)	CSOG
NCC climate zone 1 or 2	N
Outdoor living area	N
Outdoor living area ceiling fan	N

Whole of Home performance rating

No Whole of Home performance rating generated for this certificate

Verification

To verify this certificate, scan the QR code or visit www.nathers.gov.au using either link, ensure you are using the correct URL.

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*Refer to glossary.

Nationwide House Energy Rating Scheme[®] NatHERS[®] Certificate No. R6OWSOU2WZ

Thermal performance star rating

Generated on 12 Aug 2024 using FirstRate5: 5.5.5 (3.22)

Property

Address 2, 15 Pasley Street,
Sunbury, VIC, 3429

Lot/DP -

NCC Class* Class 1a

**Floor/all Floors
Type** New Home

Plans

Main plan 0366-24 / 02-08-24

Prepared by Plantech

Construction and environment

Assessed floor area [m²]*	Exposure type
Conditioned* 125.5	suburban
Unconditioned* 34.3	NatHERS climate zone
Total 159.8	60 Tullamarine
Garage 32.7	

Accredited assessor

Name Robert Iacono

Business name PassivEnergy

Email rob@passivenergy.com.au

Phone 0401 248 348

Accreditation No. DMN/11/1259

Assessor Accrediting Organisation
Design Matters National

Declaration of interest No

NCC Requirements

NCC provisions Volume 2

State/Territory variation Yes

National Construction Code (NCC) requirements

The NCC allows the use of NatHERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 sole-occupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 42 of NCC Volume Two. For apartments the requirements are detailed in clauses J3D3 and J3D15 of NCC Volume One.

NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the major equipment in the home.

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Note, variations and additions to the NCC energy efficiency requirements may apply in some states and territories.



98.1 MJ/m²

Predicted annual energy load for heating and cooling based on standard occupancy assumptions.

For more information on your dwelling's rating see:
www.nathers.gov.au

Thermal performance [MJ/m²]

Limits taken from ABCB Standard 2022

	Heating	Cooling
Modelled	87.1	11
Load limits	95	27

Features determining load limits

	CSOG
Floor type (lowest conditioned area)	
NCC climate zone 1 or 2	N
Outdoor living area	N
Outdoor living area ceiling fan	N

Whole of Home performance rating

No Whole of Home performance rating generated for this certificate

Verification

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*Refer to glossary.

Nationwide House Energy Rating Scheme[®] NatHERS[®] Certificate No. EK3WHSOEY5

Thermal performance star rating

Generated on 12 Aug 2024 using FirstRate5: 5.5.5 (3.22)

Property

Address 4, 15 Pasley Street,
Sunbury, VIC, 3429

Lot/DP -

NCC Class* Class 1a

**Floor/all Floors
Type** New Home

Plans

Main plan 0366-24 / 02-08-24

Prepared by Plantech

Construction and environment

Assessed floor area [m²]*	Exposure type
Conditioned* 105.5	suburban
Unconditioned* 42.9	NatHERS climate zone
Total 148.4	60 Tullamarine
Garage 32.6	



Accredited assessor

Name Robert Iacono

Business name PassivEnergy

Email rob@passivenergy.com.au

Phone 0401 248 348

Accreditation No. DMN/11/1259

Assessor Accrediting Organisation
Design Matters National

Declaration of interest No

NCC Requirements

NCC provisions Volume 2

State/Territory variation Yes

National Construction Code (NCC) requirements

The NCC allows the use of NatHERS accredited software to comply with the energy efficiency requirements for houses (Class 1 buildings) and apartments (Class 2 sole-occupancy units and Class 4 parts of buildings). The applicable requirements for houses are detailed in Specification 42 of NCC Volume Two. For apartments the requirements are detailed in clauses J3D3 and J3D15 of NCC Volume One.

NCC 2022 includes enhanced thermal performance requirements for houses and apartments. It also includes a new whole-of-home annual energy use budget which applies to the major equipment in the home.

The NCC, and associated ABCB Standards and support material, can be accessed at www.abcb.gov.au.

Note, variations and additions to the NCC energy efficiency requirements may apply in some states and territories.



98.1 MJ/m²

Predicted annual energy load for heating and cooling based on standard occupancy assumptions.

For more information on your dwelling's rating see:
www.nathers.gov.au

Thermal performance [MJ/m²]

Limits taken from ABCB Standard 2022

	Heating	Cooling
Modelled	78	20.1
Load limits	95	27

Features determining load limits

	CSOG
Floor type (lowest conditioned area)	
NCC climate zone 1 or 2	N
Outdoor living area	N
Outdoor living area ceiling fan	N

Whole of Home performance rating

No Whole of Home performance rating generated for this certificate

Verification

To verify this certificate, scan the QR code or visit www.nathers.gov.au

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*Refer to glossary.



STORM Rating Report

TransactionID: 0
Municipality: HUME
Rainfall Station: HUME
Address: 15 Pasley Street,

Sunbury
VIC 3429

Assessor:

Development Type: Residential - Multiunit
Allotment Site (m2): 1,036.00
STORM Rating %: 100

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Unit 1 RWT roof area	144.40	Rainwater Tank	3,000.00	4	124.10	92.60
Unit 2 RWT roof area	105.30	Rainwater Tank	3,000.00	4	154.00	87.60
Unit 3 RWT roof area	105.30	Rainwater Tank	3,000.00	4	154.00	87.60
Unit 4 RWT roof area	107.54	Rainwater Tank	3,000.00	4	154.00	87.60
Driveway 1	26.80	None	0.00	0	0.00	0.00
Common Driveway	179.20	None	0.00	0	0.00	0.00

Date Generated: 12-Aug-2024

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Rainwater Tanks



Stormwater Sensitive Homes

How does a rainwater tank help protect our local streams?

Most people install a rainwater tank primarily to harvest stormwater from their roof and conserve their mains water use. In addition to conserving water, a rainwater tank also helps treat stormwater and protect local streams from high storm flows by reducing the volume of stormwater and quantity of pollutants coming from a house block that would otherwise be delivered to the local stream.

What do I use my tank water for?

Garden irrigation, laundry and toilet flushing consume much of our home water use. In most cases these uses do not require the water to be of drinking quality standard that is provided by mains water. By plumbing your rainwater tank to your toilet or laundry and substituting these mains water needs with the rainwater harvested from your roof, you can conserve mains water whilst reducing the amount of stormwater that enters our streams.



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A typical home uses approximately 250,000 litres of water each year.



Why can't I use my rainwater tank for my garden alone?

So that your tank is not too full to collect rainwater when it rains, you need to be consistently using your tank water all year round.

If tank water is used for your garden alone, your tank will remain full and unused during the winter months when your garden does not require watering. With a full tank, your capacity to capture and store the regular winter rainfall and thus benefit the local waterway is significantly reduced.

By plumbing your rainwater tank to your toilet or laundry, your tank water is used consistently all year round allowing rainfall to refill the tank more often especially in winter. This ultimately reduces the volume of stormwater that is delivered to the stream and the quantity of pollutants that are washed with it.

The Victorian Government has recognised the importance of plumbing your tank to your toilet and offers a cash rebate for the installation of connected rainwater tanks (www.dse.vic.gov.au). In addition, a 5 star energy standard has been introduced that requires a connected 2000Lt rainwater tank or solar hot water service to be installed in all new houses and apartments (class 1 and 2 buildings). (www.buildingcommission.com.au).

How do I choose a rainwater tank?

The most important thing to consider when choosing a rainwater tank is to first identify what you want from your rainwater tank. The size and type of rainwater tank you choose will vary depending on your homes water needs and the reliability you seek from your rainwater tank supply. There are a number of factors that may influence this and the following questions should be considered when planning your tank installation:

- what is the water demand of your home?
- how many people are living in your home?
- what is your intended use of rainwater?
- what reliability do you want from your tank?
- what is the total area of roof draining into your tank?
- what is average rainfall of your area?
- do you need extras like a pressure pump, the ability to top up your tank with drinking water, a backflow prevention device or a first flush device?
- are the materials used on your roof suitable to collect rainwater?
- are there physical constraints of your property that may influence the type of rainwater tank you need?

Once you know how much water you can collect and how much water you are going to use then a tank size can be selected to provide the reliability of water supply that you need.

For more information:

Melbourne Water's Water Sensitive Urban Design Website: www.wsud.melbournewater.com.au

Municipal Association of Victoria Clearwater Program: www.clearwater.asn.au

Water Sensitive Urban Design in the Sydney Region: www.wsud.org

Types of rainwater tanks

Rainwater tanks come in a variety of materials, shapes and sizes and can be incorporated into building design so they don't impact on the aesthetics of the development. They can be located above ground, underground, under the house or can even be incorporated into fences or walls.

There are three main tank systems to consider and a variety of materials to choose from. Features of these are outlined below and in the pictures above:

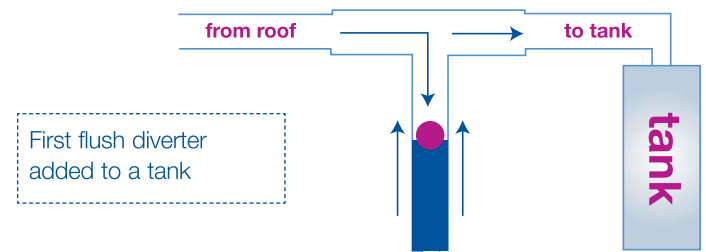
Tank systems:

Gravity Systems - rely on gravity to supply rainwater to the household and the garden by placing the tank on a stand at height.

Dual Supply Systems - top your rainwater tank with mains water when tank level is low ensuring reliable water supply.

Pressure Systems - use a pump to deliver rainwater to household and garden fixtures.

To reduce the amount of sediment and debris entering a tank, mesh screens and 'first flush diverters' can be fitted. A screen will filter large debris such as leaves and sticks while 'first flush diverters' store the 'first flush' of the rainfall that carries the sediment and other pollutants initially washed from your roof (see figure below).



Costs & rebates

Costs of installing a tank vary however a standard 2000Lt tank or bladder will cost around \$1000.

Additional plumbing and/or.....

- Above ground tanks cost approximately \$250 for a 500 litre tank.
- Below ground tanks cost between \$300-\$600 per 1000 litres of storage
- The costs of pumps start from \$200.

Additional plumbing and/or excavation costs vary on intended use, pipe layout, materials and site accessibility.

The Victorian Government offers a total rebate of \$300 for the installation of a rainwater tank that is plumbed to toilet and connected by a licensed plumber. For further details refer to the Department of Sustainability and Environment website

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WSUD Engineering Procedures: Stormwater, Melbourne Water, 2005.

Delivering Water Sensitive Urban Design: Final Report of Clean Stormwater – a planning framework, ABM, 2004.