

# Application for

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Any material submitted with this application, including plans and personal information, will be made available for public viewing, including electronically, and copies may be made for interested parties for the purpose of enabling consideration and review as part of a planning process under the *Planning and Environment Act 1987*. If you have any concerns, please contact Council's planning department.

Planning Enquiries  
Phone: 03 9205 2200  
Web: <http://www.hume.vic.gov.au>

- ⚠ Questions marked with an asterisk (\*) are mandatory and must be completed.
- ⚠ If the space provided on the form is insufficient, attach a separate sheet.

Clear Form

## The Land i ① Address of the land. Complete the Street Address and one of the Formal Land Descriptions.

Street Address \*

Unit No.:	St. No.: 12	St. Name: Shandeen
Suburb/Locality: Meadow heights		Postcode: 3048

Formal Land Description \*  
Complete either A or B.

⚠ This information can be found on the certificate of title.

A   Lodged Plan  Title Plan  Plan of Subdivision

OR

B

If this application relates to more than one address, please click this button and enter relevant details. Add Address

## The Proposal i ⚠ You must give full details of your proposal and attach the information required to assess the application. Insufficient or unclear information will delay your application.

② For what use, development or other matter do you require a permit? \*  
i

If you need help about the proposal, read:  
[How to Complete the Application for Planning Permit Form](#)

Proposed two double story units to the rear of existing dwelling

Provide additional information on the proposal, including: plans and elevations; any information required by the planning scheme, requested by Council or outlined in a Council planning permit checklist; and if required, a description of the likely effect of the proposal.

③ Estimated cost of development for which the permit is required \*  
i

Cost \$

⚠ You may be required to verify this estimate. Insert '0' if no development is proposed.

If the application is for land within **metropolitan Melbourne** (as defined in section 3 of the *Planning and Environment Act 1987*) and the estimated cost of the development exceeds \$1 million (adjusted annually by CPI) the Metropolitan Planning Levy **must** be paid to the State Revenue Office and a current levy certificate **must** be submitted with the application. Visit [www.sro.vic.gov.au](http://www.sro.vic.gov.au) for information.

## Existing Conditions i

④ Describe how the land is used and developed now \*  
i

eg. vacant, three dwellings, medical centre with two practitioners, licensed restaurant with 80 seats, grazing.

Single dwelling

Provide a plan of the existing conditions. Photos are also helpful.

## Title Information i

### 5 Encumbrances on title \*

If you need help about the title, read:  
[How to complete the Application for Planning Permit form](#)

Does the proposal breach, in any way, an encumbrance on title such as a restrictive covenant, section 173 agreement or other obligation such as an easement or building envelope?

Yes. (If 'yes' contact Council for advice on how to proceed before continuing with this application.)

No  
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Not applicable (no such encumbrance applies)

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(The title includes the copy of the plan and the associated title documents, known as instruments, eg restrictive covenants.)

## Applicant and Owner Details i

### 6 Provide details of the applicant and the owner of the land.

#### Applicant \*

The person who wants the permit.

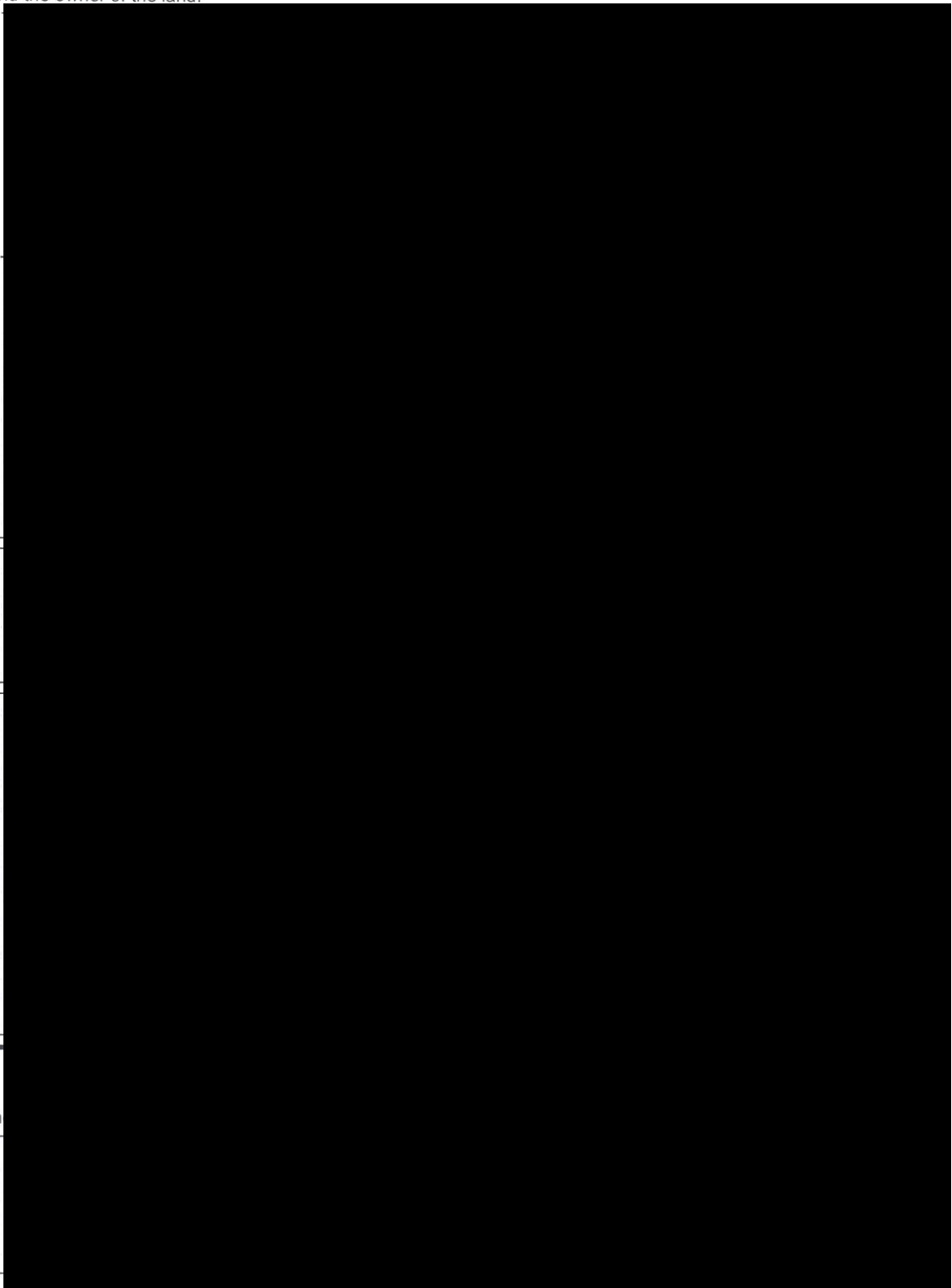
*Where the preferred contact person for the application is different from the applicant, provide the details of that person.*

*Please provide at least one contact phone number \**

#### Owner \*

The person or organisation who owns the land

*Where the owner is different from the applicant, provide the details of that person or organisation.*



## Declaration i

### 7 This form must be signed by the

**⚠** Remember it is against the law to provide false or misleading information, which could result in a heavy fine and cancellation of the permit.

## Need help with the Application?

If you need help to complete this form, read [How to complete the Application for Planning Permit form](#)  
General information about the planning process is available at [www.delwp.vic.gov.au/planning](http://www.delwp.vic.gov.au/planning)


Contact Council's planning department to discuss the specific requirements for this application and obtain a planning permit checklist. Insufficient or unclear information may delay your application.

- 8 Has there been a pre-application meeting with a Council planning officer?

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## Checklist

- 9 Have you:

- Filled in the form completely?
- Paid or included the application fee?  Most applications require a fee to be paid. Contact Council to determine the appropriate fee.
- Provided all necessary supporting information and documents?
- A full, current copy of title information for each individual parcel of land forming the subject site
  - A plan of existing conditions.
  - Plans showing the layout and details of the proposal
  - Any information required by the planning scheme, requested by council or outlined in a council planning permit checklist.
  - If required, a description of the likely effect of the proposal (eg traffic, noise, environmental impacts).
  - If applicable, a current Metropolitan Planning Levy certificate (a levy certificate expires 90 days after the day on which it is issued by the State Revenue Office and then cannot be used). Failure to comply means the application is void.
- Completed the relevant Council planning permit checklist?
- Signed the declaration (section 7)?

## Lodgement

Lodge the completed and signed form, the fee payment and all documents with:

Hume City Council  
PO Box 119 Dallas VIC 3047  
Pascoe Vale Road Broadmeadows VIC 3047

### Contact information:

Telephone: 61 03 9205 2200  
Email: [email@hume.vic.gov.au](mailto:email@hume.vic.gov.au)  
DX: 94718  
Translation: 03 9205 2200 for connection to Hume Link's multilingual telephone information service

### Deliver application in person, by fax, or by post:

Print Form

Make sure you deliver any required supporting information and necessary payment when you deliver this form to the above mentioned address. This is usually your local council but can sometimes be the Minister for Planning or another body.

### Save Form:

Save Form To  
Your Computer

You can save this application form to your computer to complete or review later or email it to others to complete relevant sections.

**REGISTER SEARCH STATEMENT (Title Search) Transfer of  
Land Act 1958**

VOLUME 09339 FOLIO 560

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Produced 31/10/2023 11:55 AM  
61J  
AM

**LAND DESCRIPTION**

Lot 387 on Plan of Subdivision 127524.

PARENT TITLES :

Volume 08950 Folio 934      Volume 09164 Folio 840

Created by instrument LP127524 08/06/1979

**REGISTERED PROPRIETOR**

Estate Fee Simple

Sole Proprietor



**ENCUMBRANCES, CAVEATS AND NOTICES**

MORTGAGE AW888661K 01/06/2023

AUSTRALIA AND NEW ZEALAND BANKING GROUP LTD

COVENANT K431066 24/06/1983

Any encumbrances created by Section 98 Transfer of Land Act 1958 or Section 24 Subdivision Act 1988 and any other encumbrances shown or entered on the plan or imaged folio set out under DIAGRAM LOCATION below.

**DIAGRAM LOCATION**

SEE LP127524 FOR FURTHER DETAILS AND BOUNDARIES

**ACTIVITY IN THE LAST 125 DAYS**

NIL

-----END OF REGISTER SEARCH STATEMENT-----

Additional information: (not part of the Register Search Statement)

Street Address: 12 SHANDEEN COURT MEADOW HEIGHTS VIC 3048

**ADMINISTRATIVE NOTICES**

NIL

eCT Control 16165A AUSTRALIA AND NEW ZEALAND BANKING GROUP LIMITED

Effective from 06/06/2023

DOCUMENT END



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#82

K431066

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REGD

J. P. H. Rowan + Co. H 11/138

~~WILLIAM M. BERONG~~

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10-2

URBAN LAND AUTHORITY. Please note that the plan may not be to scale. Melbourne being

registered as proprietor of an estate in fee simple in the land hereinafter described subject to the encumbrances notified hereinunder IN CONSIDERATION of the sum of ELEVEN THOUSAND FOUR HUNDRED DOLLARS (\$11,400.00) paid to it by JOHN ATTARD, Labourer and DIANE ATTARD, Married Woman, both of 47 Japonica Street, Bundoora DO TH HEREBY TRANSFER to the said John Attard and Diane Attard as joint tenants all its estate and interest in ALL THAT piece of land being Lot 387 on Plan of Subdivision No. 127524 and being the/land more particularly described in Certificate of Title Volume 9339 Folio 560 and the Transferees DO HEREBY for themselves their heirs executors administrators and transferees the registered proprietor or proprietors for the time being of the Lot hereby transferred COVENANT with URBAN LAND AUTHORITY pursuant to the provisions of Section 14 of the Urban Land Authority Act 1979 that they will within a period of five years following the date hereof erect or cause to be erected on the said land a house for their own occupation and it is intended that this covenant shall appear as an encumbrance affecting the same and every part thereof on the Certificate of Title to be issued in respect of the Lot hereby transferred and FURTHER that this covenant shall forever run at law.

DATED this 21<sup>st</sup> day of June 1983.

THE COMMON SEAL of URBAN LAND )

AUTHORITY was hereunto affixed )

in the presence of: )

Chairman: ..... *M. Hill* .....

Marketing Manager: *J. Johnson* .....

SIGNED by the said JOHN ATTARD)

and DIANE ATTARD in Victoria )

in the presence of:

*WITNESSES*  
*Mrs M. Farrugia*

ENCUMBRANCES REFERRED TO

As set forth at the foot of the said Certificate of Title.



*J. A.*  
*John Attard*  
*D. A.*  
*Diane Attard*

9339 B R T

93-80  
94

JUN 23 1983 2 4 9 9 9 39901

LA 1111 \*\*\* 195500

*13*

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DATE

1903

URBAN LAND AUTHORITY

- To -

JOHN ATTARD and DIANE ATTARD

TRANSFER OF LAND

WILLIAM M. SERONG  
SOLICITOR  
FIRST FLOOR  
274 QUEENS PARADE  
CLIFTON HILL. VIC. 3068  
489.2677  
JGS:AJ

A memorandum of this instrument has been entered in the Register Book.



DK431086-2-7



LENGTHS ARE IN METRES.  
 "LEVELS ARE TO AUSTRALIAN HEIGHT DATUM"  
 "PLEASE REFER TO SEPARATE PLAN FOR  
 TITLE RE-ESTABLISHMENT SURVEY"

"E-1 ... DRAINAGE & SEWERAGE EASEMENT"

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APPROX  
TRUE NORTH

MARTIN POWELL  
*Martin Powell*  
 LICENSED SURVEYOR NO.1933 (S.R.B.V.)  
 Date 28/08/2024

FEATURE & LEVEL SURVEY	
PROJECT	12 SHANDEN COURT, MEADOW HEIGHTS
TITLE	LOT 387 ON LP127524
SCALE	1:150 @ A1
DATE	28/08/2024
REF. No.	7328F
CONTOUR INT.	0.10m
DRAWN	M.A.P.
CHECKED	M.A.P.
LEVEL DATUM	AHD
CONTOUR INDEX	0.50m

**MAP LAND SURVEYORS** PTY LTD  
 LICENSED SURVEYORS / PROFESSIONAL SERVICE

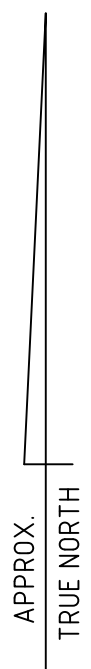
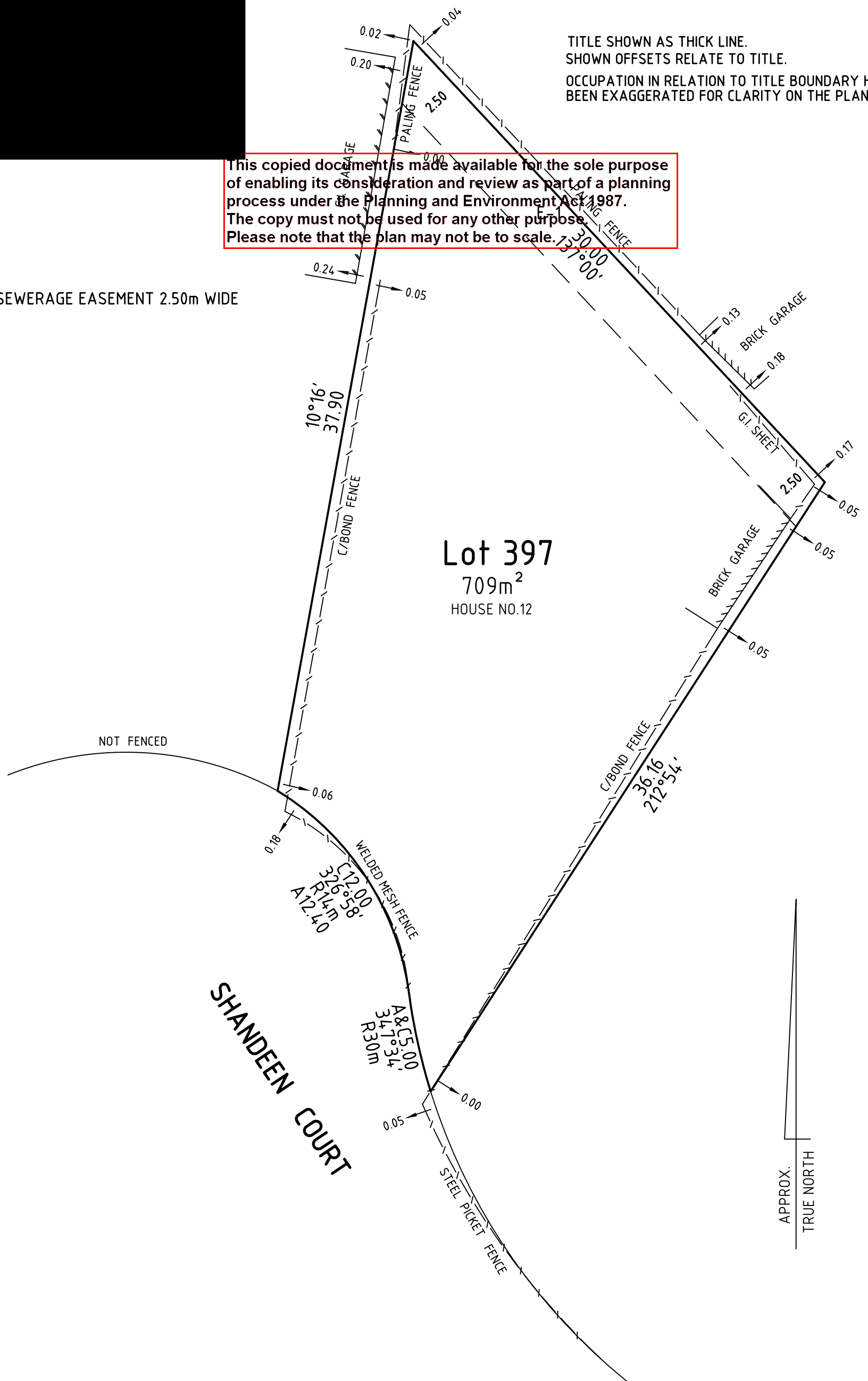
**CONTACT DETAILS**  
 Phone: (03) 9465 9385  
 Mobile: 0449 924 249  
 Post: PO Box 1349, Bundoora, Vic 3083  
 Email: info@maplandsurveyors.com.au  
 Website: www.maplandsurveyors.com.au

TITLE SHOWN AS THICK LINE.  
SHOWN OFFSETS RELATE TO TITLE.  
OCCUPATION IN RELATION TO TITLE BOUNDARY HAS  
BEEN EXAGGERATED FOR CLARITY ON THE PLAN.

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E-1 ... DRAINAGE & SEWERAGE EASEMENT 2.50m WIDE

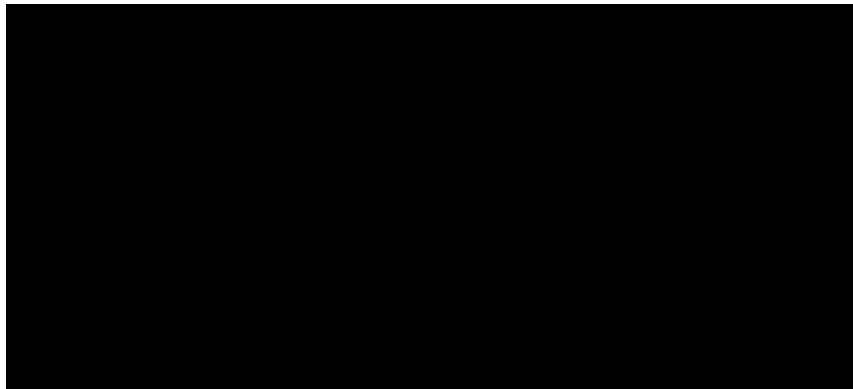
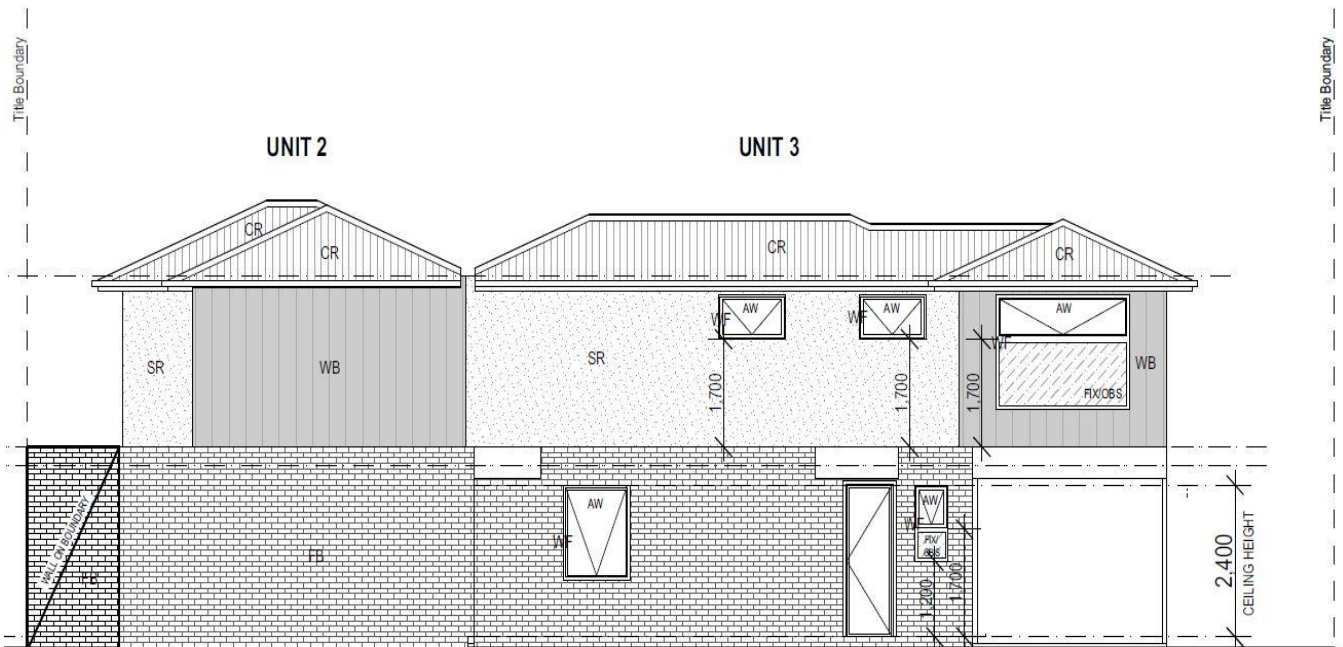
NOTE: WHERE FENCING OR BUILDINGS INTRUDE INTO THE PROPERTY, ADJOINING OWNERS MAY HAVE ACCRUED POSSESSORY RIGHTS.  
IF THE POSITION OF INTRUDING FENCE/BUILDING, IMPEDES PROPOSED DEVELOPMENT, SUGGEST NEGOTIATIONS BE INITIATED  
WITH ADJOINING OWNER, PRIOR TO THE START OF CONSTRUCTION.



# TITLE RE-ESTABLISHMENT SURVEY

**Rescode Clause 65**  
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Town Planning Report for a Unit Development at  
**No. 12 SHANDEEN COURT, MEADOW HEIGHTS 3048**



# Table of Contents

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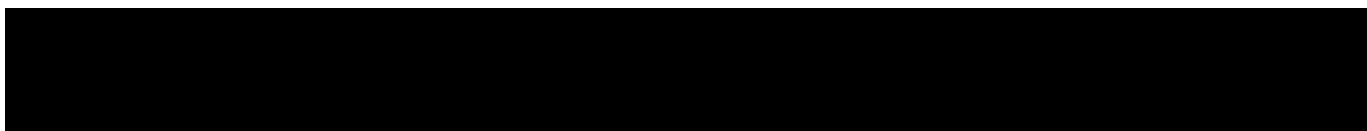
**Rescode Clause 55.01-1 Neighbourhood and site description**  
Scale Neighbourhood site description plan (1:200)  
Written site analysis  
Locality map and report  
City of HUME Planning Scheme-Local Provision maps

**Rescode Clause 55.01- Design Response to the neighbourhood and site description**  
Scaled Design response plan (1:200)  
Written Design response

**Rescode Clause 55 Assessment Summary Table**  
Development Summary  
Rescode Clause 55

**Design Response to the objectives and standards of Clause 55 of the City of HUME Planning Scheme**  
Written report including response to State planning policy framework (Standard B2)

**Appendix**  
Existing Site photos



## Clause 55.01 Neighbourhood and Site Description

---

In relation to the neighbourhood (refer neighbourhood and site description plan)

### *The pattern of development of the neighbourhood:*

- Predominantly 1980s and 1990s dwellings and recent development of brick is under the Planning and Environment Act 1987.
- Generally, a mixture of brick and weatherboard dwellings in a range of cream and red tones.
- Predominantly concrete tiles of various colours.
- Subdivision pattern site sizes are generally 500-800 Sqm. Frontages are generally 6-16m.
- Subdivision pattern provides similar size, shape and orientation of sites in the direct area.
- Land topography is generally flat with a slight slope across the area from South to North.
- Front gardens are generally low level with lawn and shrubs.
- Dwelling heights are generally single storey dwellings and double storey.
- Street tree plantings are irregular. Where present street trees are predominantly small/medium size natives.
- Kerb and channel are standard concrete square profile.
- Concrete 1.9m wide footpaths are provided both sides of the street.
- Formal 3.7m nature strips are provided and centrally located.
- Vehicle Side driveways are provided with carports and garages present, adjacent to access/storage the dwelling.
- Properties in the immediate and surrounding area are residential.
- Surrounding homes are sited on similar sized allotments with a side setback from one side boundary to accommodate vehicle accommodation and access and a side setback from the other side boundary.

### *The built form, scale and character of surrounding development including front fencing:*

- The predominant dwelling style is single and double storey detached dwelling.
- The building form is rectangular extending the width of the allotment.
- Predominantly 1980s and 1990s dwellings and recent developments.
- Generally, a mixture of brick and weatherboard dwellings in a range of cream and red tones.
- Front boundary fences when present are a mix of brick, metal and timber construction.

### *Architectural and roof styles:*

- Predominantly concrete tiles of various colours.
- Combination of gable and hip roof forms.

### *Any other notable features or characteristics of the neighbourhood:*

- Front setbacks of dwellings along Shandeen Court are generally uniform ranging from 6.0m to 10.0m.
- Front gardens of adjoining properties are a combination of low maintenance and fully established with lawn cover, flower beds and small to medium sized native trees and shrubs.
- Front boundary fences are generally predominantly brick, Metal and Timber.
- Front gardens are generally low level with lawn and shrubs becoming more established with larger trees to rear yards.
- There are instances of brick fences along Shandeen Court.

## In relation to the site (refer neighbourhood and site description plan)

### *Site shape, size, orientation and easements:*

- The site is rectangular in shape with a frontage width of approximately 17.00m along Shandeen Court.
- There is an easement on the rear of this site.
- Allotment area 697.03 Sgm.
- The site is currently a single storey dwelling.
- The site has a single storey brick dwelling.
- The site has no landscaping at its present state.
- A 1.8m timber paling fence extends the boundaries.
- There is 0.9m metal mesh front fence on the site.
- Transmission lines form part of the streetscape to Shandeen Court.

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### *Levels of the site and the difference in levels between the site and surrounding properties:*

- The site is relatively flat, refer to future land survey plan.
- There are minimal height variations along the street frontage and to adjacent land.

### *The location of existing buildings on the site and on surrounding properties, including the location and height of walls built to the boundary of the site:*

- The site is currently a single storey brick dwelling.
- A single storey dwelling occupies the site to the West with a front setback of 9.0 m
- A single storey dwelling occupies the site to the East with a front setback of 7.8m

### *The use of surrounding buildings:*

- Properties in the immediate and surrounding area are residential.
- There are several unit developments within the immediate and surrounding area.

### *The location of secluded private open space and habitable room windows of surrounding properties which have an outlook to the site within 9m:*

- The private open space of the property is located in the rear yard facing North.

### *Solar access to the site and to surrounding properties:*

- Site is currently a single storey brick dwelling.
- Dwellings on surrounding properties are setback from boundaries to allow for adequate solar access.

### *Location of significant trees existing on the site and any significant trees to be removed from the site 12 months prior to the application being made, where known:*

- There are no mature significant trees that have been removed from the site within the last 12 months.

### *Any contaminated soils and filled areas, where known:*

- There are no contaminated soil or fill on the site.

***Views to and from the site:***

- Views to the site from the street are at the front.
- Views from the site are of the front yard and street which provides casual surveillance of the street.
- Views of the rear yard are restricted from neighbouring properties by existing fencing.

***Street frontage features such as poles, street trees and kerb crossings:***

- There is no light pole central to the nature strip in front of the site.
- No drains are present in the nature strip.
- The site has a single cross-section to the plan may not be to scale.
- There is one native tree on the nature strip in front of the site.

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***The location of local shops, public transport services and public open spaces within walking distance:***

- Refer locality map and report (next page).

***Any other notable features or characteristics of the site:***

- N/A





# PLANNING PROPERTY REPORT

From [www.planning.vic.gov.au](http://www.planning.vic.gov.au) at 18 December 2023 03:16 PM

## PROPERTY DETAILS

Address: 12 SHANDEEN COURT, MEADOW HEIGHTS 3048  
Lot and Plan Number: Lot 387 LP127524  
Standard Parcel Identifier (SPI): 387\LP127524  
Local Government Area (Council): **HUME**  
Council Property Number: **523644**  
Planning Scheme: **Hume**  
Directory Reference: **Melway 6 G1**

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[www.hume.vic.gov.au](http://www.hume.vic.gov.au)

[Planning Scheme - Hume](#)

## UTILITIES

Rural Water Corporation: **Southern Rural Water**  
Melbourne Water Retailer: **Yarra Valley Water**  
Melbourne Water: **Inside drainage boundary**  
Power Distributor: **JEMENA**

## STATE ELECTORATES

Legislative Council: **NORTHERN METROPOLITAN**  
Legislative Assembly: **GREENVALE**

## OTHER

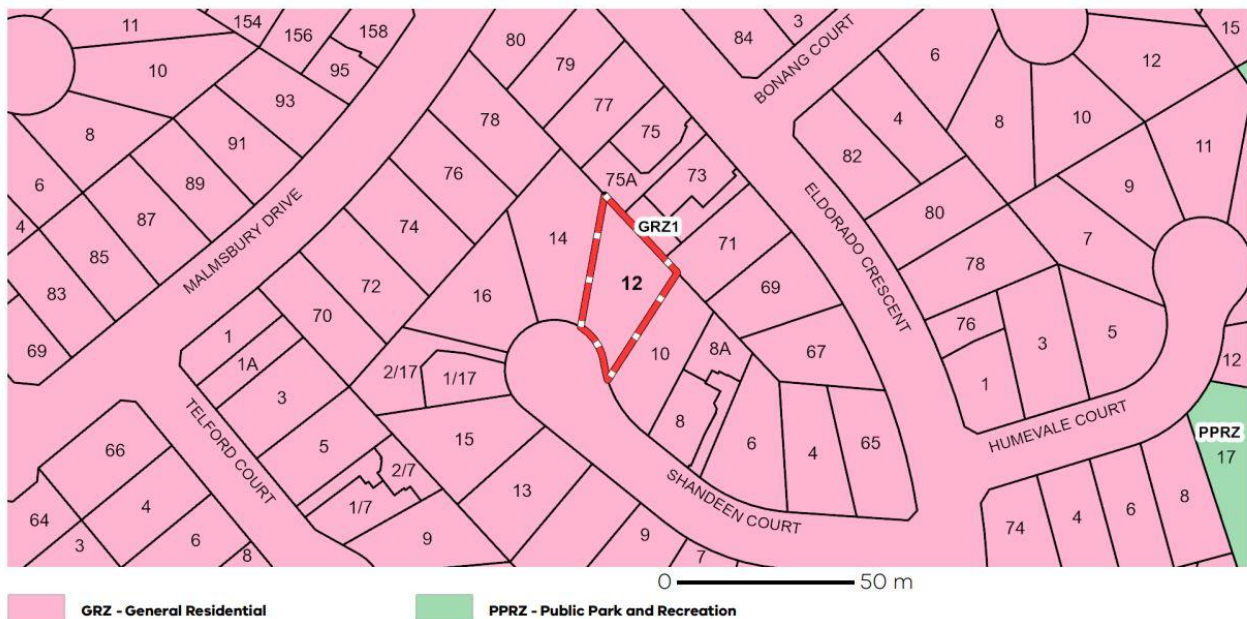
Registered Aboriginal Party: **Wurundjeri Woi Wurrung Cultural Heritage Aboriginal Corporation**

[View location in VicPlan](#)

## Planning Zones

[GENERAL RESIDENTIAL ZONE \(GRZ\)](#)

[GENERAL RESIDENTIAL ZONE - SCHEDULE 1 \(GRZ1\)](#)



Note: labels for zones may appear outside the actual zone - please compare the labels with the legend.

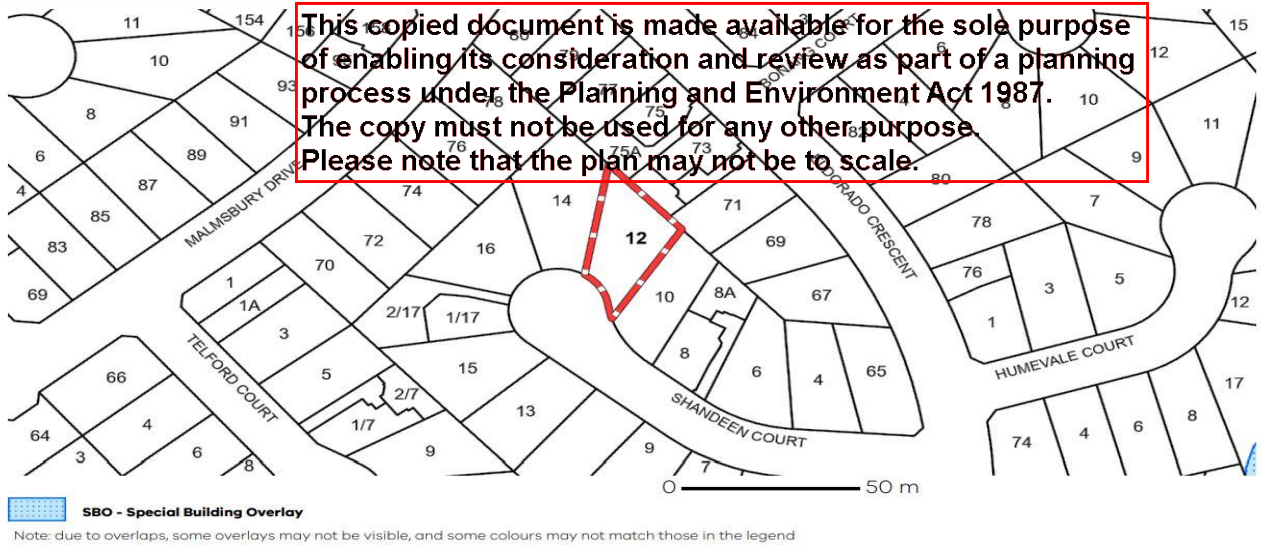
## Planning Overlay

None affecting this land - there are overlays in the vicinity

### OTHER OVERLAYS

Other overlays in the vicinity not directly affecting this land

### SPECIAL BUILDING OVERLAY (SBO)



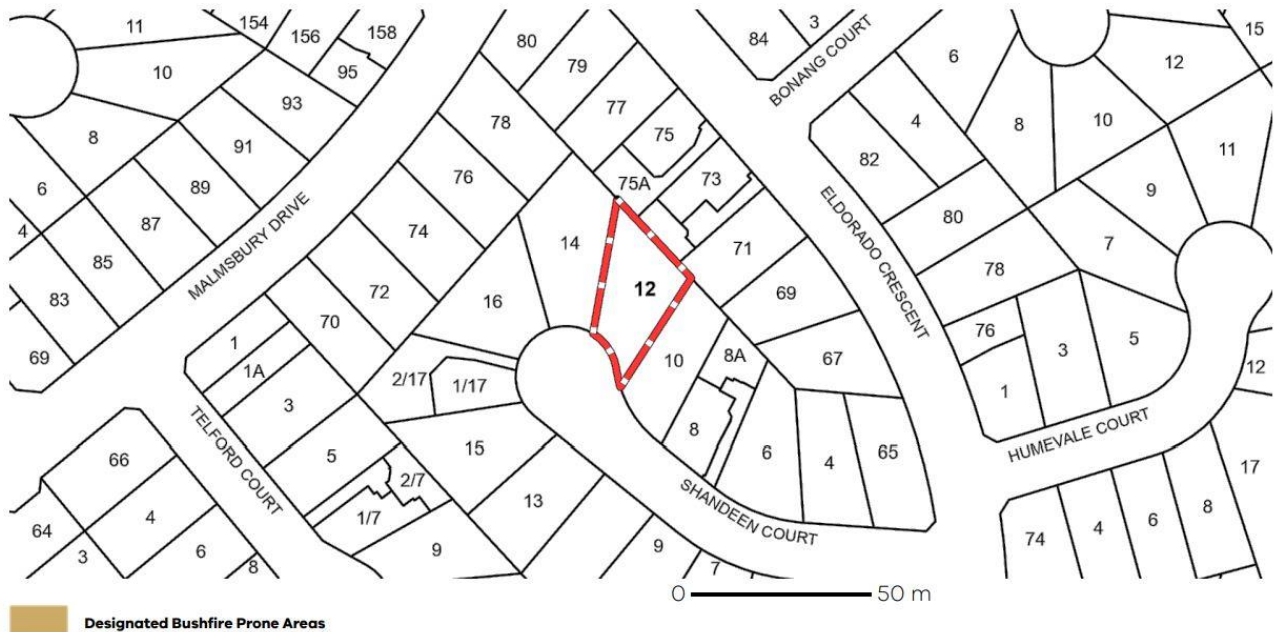
## Designated Bushfire Prone Areas

**This property is not in a designated bushfire prone area.**

**No special bushfire construction requirements apply. Planning provisions may apply.**

Where part of the property is mapped as BPA, if no part of the building envelope or footprint falls within the BPA area, the BPA construction requirements do not apply.

Note: the relevant building surveyor determines the need for compliance with the bushfire construction requirements.



## City of HUME Planning Scheme- Local Provision

The subject site is situated within a Neighbourhood Residential 1 Zone (NRZ1) with a Development Contributions Plan Overlay. There are no neighbourhood character features for the area identified in a Local planning policy or a Neighbourhood Character overlay.

This planning submission highlights the development's ability to comply with the relevant Clauses of the City of HUME Planning Scheme, Clause 32.01 Residential I Zone and Clause 55 Two or more dwellings on a lot and residential buildings.

## Development Summary

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## AREA ANALYSIS

SITE AREA	697.03m <sup>2</sup>	100%
SITE COVERAGE	244.18m <sup>2</sup>	35.03%
NON-PERMEABLE SURFACES	187.21m <sup>2</sup>	26.85%
PERMEABLE SURFACES	265.43m <sup>2</sup>	38.08%
GARDEN AREA	263.58m <sup>2</sup>	37.81%

## EXISTING UNIT 1

GROUND FLOOR	112.70m <sup>2</sup>	
GARAGE	113.03m <sup>2</sup>	
PORCH	5.39m <sup>2</sup>	
<b>TOTAL</b>	<b>310.72m<sup>2</sup></b>	<b>33.44sqr</b>

## UNIT 2

GROUND FLOOR	48.90m <sup>2</sup>	
FIRST FLOOR	52.10m <sup>2</sup>	
GARAGE	27.06m <sup>2</sup>	
PORCH	1.20m <sup>2</sup>	
<b>TOTAL</b>	<b>129.26m<sup>2</sup></b>	<b>13.91sqr</b>

## UNIT 3

GROUND FLOOR	42.49m <sup>2</sup>	
FIRST FLOOR	55.74m <sup>2</sup>	
CARPORT	22.54m <sup>2</sup>	
PORCH	1.50m <sup>2</sup>	
<b>TOTAL</b>	<b>122.27m<sup>2</sup></b>	<b>13.16qr</b>

Rescode Clause 55 Assessment Summary Table

**Rescode Clause 55 (Two or more dwelling on a lot and residential buildings) Checklist**

Rescode Objectives and Standards	Objectives (Complies)	Standards (Complies)	Comments
Standard B1: Neighbourhood character objectives	Yes	Yes	
Standard B2: Residential policy objectives	Yes	Yes	
Standard B3: Dwelling diversity objective	Yes	Yes	
Standard B4: Infrastructure objectives	Yes	Yes	
Standard B5: Integration with the street objective	Yes	Yes	
Standard B6: Street setback objective	Yes	Yes	
Standard B7: Building height objective	Yes	Yes	
Standard B8: Site coverage objective	Yes	Yes	
Standard B9: Permeability objectives	Yes	Yes	
Standard B10: Energy efficiency objectives	Yes	Yes	
Standard B11: Open space objective	Yes	Yes	
Standard B12: Safety objective	Yes	Yes	
Standard B13: Landscaping objectives	Yes	Yes	
Standard B14: Access objective	Yes	Yes	
Standard B15: Parking location objectives	Yes	Yes	
Clause 56.6: Parking provision objectives	Yes	Yes	
Standard B17: Side and rear setbacks objective	Yes	Yes	
Standard B18: Walls on boundaries objective	Yes	Yes	
Standard B19: Daylight to existing windows objective	Yes	Yes	
Standard B20: North-facing windows objective	Yes	Yes	
Standard B21: Overshadowing open space objective	Yes	Yes	
Standard B22: Overlooking objective	Yes	Yes	
Standard B23: Internal views objective	Yes	Yes	
Standard B24: Noise impacts objectives	Yes	Yes	
Standard B25: Accessibility objective	Yes	Yes	
Standard B26: Dwelling entry objective	Yes	Yes	
Standard B27: Daylight to new windows objective	Yes	Yes	
Standard B28: Private open space objective	Yes	Yes	
Standard B29: Solar access to open space objective	Yes	Yes	
Standard B30: Storage objective	Yes	Yes	
Standard B31: Design detail objective	Yes	Yes	
Standard B32: Front fences objective	Yes	Yes	
Standard B33: Common property objectives	Yes	Yes	
Standard B34: Site services objectives	Yes	Yes	

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# Design Response to the objectives and standards of Clause 55 of the City of HUME Planning Scheme

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## **Standard B1: Neighbourhood character objectives**

*To ensure that the design respects the existing neighbourhood character or contributes to a preferred neighbourhood character.*

*To ensure that development respects the character of the Planning and Environment Act 1987.*

- The proposed development is appropriate to the neighbourhood and the site.
- The design respects the neighbourhood character.
- The proposed dwellings are a modern, contemporary interpretation of the traditional dwelling-built form in the area to distinguish the old from the new.
- The building materials for the proposed dwellings have the dual purpose of softening the appearance of the development whilst providing different textures that compliment the architectural style of the dwelling and enhance the neighbourhood and streetscape character of the area.
- The rectangular site provides excellent opportunities for the proposed dwellings to have direct street access and provide amenities to the proposed dwellings.
- The proposed dwellings on the site beside each other which is consistent with residential developments in the immediate and surrounding area.
- The existing dwelling will be retained.
- The hip roof form design helps integrate the new dwelling within the neighborhood character.
- The neutral and earthy colours and textures selected provide a smooth transition between the old and new.
- The proposed dwellings to the site will not interrupt the existing streetscape.

## **Standard B2: Residential policy objectives**

*To ensure that residential development is provided in accordance with any policy for housing in the State Planning Policy Framework and the Local Planning Policy Framework, including the Municipal Strategic Statement and local planning policies.*

*To support medium densities in areas where development can take advantage of public transport and community infrastructure and services.*

- The proposed development of the land for two proposed dwellings with the existing dwelling on a lot is consistent with the State Planning Policy Framework, the Local Planning Policy Framework of the City of HUME Planning Scheme and Council's Municipal Strategic Statement.
- The development can readily take advantage of public transport and community infrastructure and services.
- The proposed development, which includes two proposed dwellings with the existing dwelling on a lot, meets the objectives in aspects such as affordable housing and providing needs of residents at various stages of life.
- The quality of the design, site layout, side and rear setbacks, provision of car parking and open space allocation will ensure that the development provides a good standard of amenity for future residents and good standard for future development in the area.
- The subject site is within proximity of several regional facilities and services including open space facilities, schools and shopping facilities all of which are within close proximity of the site.
- The proposed development complies with the State Government's initiatives of urban consolidation and will not cause detriment to the amenity of adjoining properties and will not be out of character with the area.

## **Standard B3: Dwelling diversity objective**

*To encourage a range of dwelling sizes and types in developments of one or more dwellings.*

- The proposed dwelling provides two bedrooms.
- The proposed dwellings provide their own kitchen, wc and laundry facilities at ground floor level. With a bath located on the first-floor level.

#### **Standard B4: Infrastructure objectives**

*To ensure development is provided with appropriate utility services and infrastructure.*

*To ensure development does not unreasonably overload the capacity of utility services and infrastructure.*

- The proposed dwellings should not represent any unreasonable burden on existing services and facilities.

#### **Standard B5: Integration with the street objective**

*To integrate the layout of development with the street.*

- The proposed dwellings will not have a direct impact on the streetscape.

#### **Standard B6: Street setback objective**

*To ensure that the setbacks of buildings from a street respect the existing or preferred neighbourhood character and make efficient use of the site.*

- The proposed dwellings sited beside each other but behind the existing dwelling on the site will not impact on the front setback.
- The development provides the opportunity to enhance the site and streetscape by the implementation of new planting. Areas throughout the development have been allocated for such planting.

#### **Standard B7: Building height objective**

*To ensure that the height of buildings respects the existing or preferred neighbourhood character.*

- The overall total height of proposed dwelling ( 1 ) is 7.20m to the top of the roof ridge which is less than the 9m as specified to the zone.
- The overall total height of proposed dwelling ( 2 ) is 7.20m to the top of the roof ridge which is less than the 9m as specified to the zone.
- The proposed dwellings are double storey and integrate with the surrounding dwellings.
- Articulation of the proposed dwellings will reduce visual bulk and with adjacent dwellings.
- The proposed dwellings will not add a negative visual impact when viewed from the street and from adjoining properties. Solid high fencing to the East, West and rear North boundaries ensures minimal visual impact when viewed from neighbouring properties.

#### **Standard B8: Site coverage objective**

*To ensure that the site coverage respects the existing or preferred neighbourhood character and responds to the features of the site.*

- The proposed site coverage is 35.03%, which is acceptable in this neighbourhood setting.
- There are no constraints imposed by existing development or the features of the site.
- The site coverage of adjacent properties is approximately 30% to 50%.
- The proposed dwellings will have full vision from the street and therefore have a reduced effect of visual bulk. Façade articulation and pitched roof also help reduce the effect of visual bulk.

#### **Standard B9: Permeability objectives**

*To reduce the impact of increased stormwater run-off on the drainage system.*

*To facilitate on-site stormwater infiltration.*

- The proposed site permeability is 38.03%, which is acceptable in this neighbourhood setting.
- There are no constraints imposed by existing development or the features of the site. The existing site is currently a single storey dwelling and will be retained.
- The proposed development will not cause an increase in storm water run-off than usually permitted.

## Standard B10: Energy efficiency objectives

*To achieve and protect energy efficient dwellings and residential buildings.*

*To ensure the orientation and layout of development reduce fossil fuel energy use and make appropriate use of daylight and solar energy.*

- Thermal mass in concrete slab, maximise windows to living areas facing north, carpets to bedroom areas, tiles to wet floor areas, increase roof insulation, seal external doors, increase external wall insulation to bulk insulation plus reflective foil will all provide for an energy efficient development.
- The proposal is deemed to be in compliance with the Planning and Environment Act 1987.
- The proposed open space is orientated towards the North.
- The rectangular site is orientated East West.
- Proposed North, East and West facing windows will have adequate solar access.
- There is appropriate solar access to abutting properties.
- The main living space to the proposed dwelling will face North with large, glazed windows opening to the private open space which gains northern sun and subsequent landscaping.

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## Standard B11: Open space objective

*To integrate the layout of development with any public and communal open space provided in or adjacent to the development.*

- The proposed dwellings have direct access to secluded private open space.
- There is a Private open space provided for the proposed dwelling and is accessible and internally visible, providing occupants with natural daylight and views.
- Communal open space is provided at the front and throughout the site providing areas for landscaping.

## Standard B12: Safety objective

*To ensure the layout of development provides for the safety and security of residents and property.*

- The entrances are not obscured or isolated. The proposed dwelling has been provided with slightly obscured views to the street.
- The entry provides shelter and a sense of personal address. The entrance incorporates features to enable casual surveillance of visitors and the street.
- Plant selection for landscaping will ensure that the entrance and views to the street from the proposed dwelling on site will not be obscured and/or isolated.
- Access ways have been designed with views from the proposed dwelling at the rear of the site for security and surveillance.
- The private open space for the proposed dwellings will be protected by the installation of side and rear fences so that it is not used as a public thoroughfare.

## Standard B13: Landscaping objectives

*To encourage development that respects the landscape character of the neighbourhood.*

*To encourage development that maintains and enhances habitat for plants and animals in locations of habitat importance.*

*To provide appropriate landscaping.*

*To encourage the retention of mature vegetation on the site.*

- The site is not situated in an area of habitat importance.
- The site is not situated within a Vegetation Protection Overlay.
- Refer landscape plan (to be provided as a condition of the permit).
- There is no significant tree to the front yard of the site to be retained.
- There have been no trees removed from the site.

### **Standard B14: Access objectives**

*To ensure vehicle access to and from a development is safe, manageable, and convenient.*

*To ensure the number and design of vehicle crossovers respects the neighbourhood character.*

- Vehicle access to and from the development is safe, manageable, and convenient. The access ways have been designed to allow convenient, safe, and efficient vehicle movements and connections within the development and the street network.
- The existing single crossover (South East) will be provided from the driveway to the proposed units (2 & 3) with the existing dwelling.
- Vehicle access has been designed to allow forward movement when exiting the site.
- The existing crossover is less than 33% of the total street frontage.
- The site is not located in a Road Zone.
- Access for service, emergency and delivery vehicles is safe and convenient to the dwellings on site.
- The existing crossover will have no effect to the amount of on-street parking.

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### **Standard B15: Parking location objectives**

*To provide convenient parking for resident and visitor vehicles.*

*To avoid parking and traffic difficulties in the development and the neighbourhood.*

*To protect residents from vehicular noise within developments.*

- A new single garage will be erected to the proposed dwelling unit ( 2 ). Which will be close and convenient to the dwelling on site.
- A new single carport will be erected to the proposed dwelling unit ( 3 ). Which will be close and convenient to the dwelling on site.
- The driveway has been designed to allow safe and efficient movements within the development.
- The driveway/access way is not enclosed and therefore does not reduce ventilation to the dwellings on site or adjoining properties.

### **Standard B16: Parking provision objectives**

*To ensure that car and bicycle parking for residents and visitors is appropriate to the needs of residents.*

*To ensure that the design of parking and access areas is practical and attractive and that these areas can be easily maintained.*

- On street parking is also available to residents of the development and surrounding properties.
- Public transport is within safe walking distance from the site.

### **Standard B17: Side and rear setbacks objective**

*To ensure that the height and setback of a building from a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.*

- The proposed development complies with the side and rear setback as outlined in the standard: *1m, plus 0.3m for every metre of height over 3.6m up to 6.9m, plus 1m for every metre of height over 6.9m.*
- There are habitable room windows directly adjacent to where the proposed dwelling is situated.
- Overshadowing the secluded principal private open space of the dwelling to the adjoining POS will be minimal and not substantially greater than the extent of shadows cast by the existing boundary fences and outbuildings.



### **Standard B18: Walls on boundaries objective**

*To ensure that the location, length and height of a wall on a boundary respects the existing or preferred neighbourhood character and limits the impact on the amenity of existing dwellings.*

- There are structures built to the common boundaries from adjoining properties.
- There is a wall boundary belonging garage unit ( 2 ) around ( 4,290 m ) on the West boundary of the site.
- There is a carport on boundary belong unit ( 3 ) on the North boundary of the site.
- There is an example of a garage and carport built to boundaries in the immediate and surrounding area.
- The percentage of wall on the boundaries is within the allowable amount as specified in the standard.
- The virtually flat site will require retaining plan may not be to scale.

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### **Standard B19: Daylight to existing windows objective**

*To allow adequate daylight into existing habitable room windows.*

- The proposed dwellings are sited with sufficient distance from existing windows.
- Habitable room windows of adjoining dwellings will maintain direct access to daylight.
- The proposed dwellings will not impact on the amenity of the occupants of adjoining properties.

### **Standard B20: North-facing windows objective**

*To allow adequate solar access to existing north-facing habitable room windows.*

- The proposed dwellings are sited with sufficient distance from existing north-facing windows.
- Sunlight to the north-facing habitable room windows of the proposed dwelling will have minimal disturbance on the existing dwelling.
- The proposed dwellings will not impact on the amenity of the occupants of adjoining properties.

### **Standard B21: Overshadowing open space objective.**

*To ensure buildings do not significantly overshadow existing secluded private open space.*

- The shadow diagram illustrates that the adjoining open space will receive a minimum of five hours of direct sunlight on the 22 of September between 9am and 3pm.
- The proposed dwellings will not have a detrimental impact on the amenity of the occupants of adjoining properties.
- The proposed dwellings will have minimal impact on the private open space of the proposed dwelling on site (refer shadow diagrams).

### **Standard B22: Overlooking objective.**

*To limit views into existing secluded private open space and habitable room windows.*

- Windows at ground floor level do not allow overlooking of adjacent properties.
- Windows at first floor level have been screened/obscured to prevent overlooking of adjacent properties.
- Views from living areas are orientated towards the private open space when possible.

### **Standard B23: Internal views objective**

*To limit views into the secluded private open space and habitable room windows of dwellings and residential buildings within a development.*

- The proposed dwellings have been designed to limit the views into the secluded private open space and habitable room windows of the dwellings on site. Overlooking within the site has been restricted.
- All the windows have been designed to minimise overlooking of private open spaces to below 50%.

### **Standard B24: Noise impacts objective**

*To contain noise sources in developments that may affect existing dwellings.*

*To protect residents from external noise.*

- The proposed development has been designed to contain noise sources within the development and to protect residents from external noise.
- The proposed dwellings will be constructed in selected brick on all boundaries. This will help accommodate any noise concerns.
- There are no mechanical plants proposed adjacent to or located near bedrooms of immediately adjacent existing dwellings. Noise sensitive rooms and secluded private open space of the new dwellings has been designed and sited to take into consideration noise sources on immediately adjacent properties.
- The site is not situated close to industry and/or a railway line.

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### **Standard B25: Accessibility objective**

*To encourage the consideration of the needs of people with limited mobility in the design of developments.*

- The proposed dwellings have been designed to take into consideration people with limited mobility.
- The internal layout and configuration of the proposed dwelling can be altered to accommodate people with limited mobility.
- Each dwelling has access to the entrance from the pedestrian links and access ways.

### **Standard B26: Dwelling entry objective**

*To provide each dwelling or residential building with its own sense of identity.*

- The proposed dwellings on site will have their own sense of identity and address.
- The proposed dwellings will not have direct interface with Shandeen Court.

### **Standard B27: Daylight to new windows objective**

*To allow adequate daylight into new habitable room windows.*

- The proposed dwellings have been designed to provide adequate daylight into new habitable room windows.

### **Standard 28: Private open space objective**

*To provide adequate private open space for the reasonable recreation and service needs of residents.*

- The proposed dwelling ( 2 ) will be 61.28 sqm SPOS.
- The proposed dwelling ( 3 ) will be 43.12 sqm SPOS.
- Open space on site for each dwelling is distributed to the rear and throughout the site. The development will provide sufficient private open space for the reasonable recreation, service and storage needs of residents.
- The private open spaces for both dwellings on site are located off living areas.
- Local public parkland is within walking distance.
- The lot runs West East providing good solar access to the open spaces.

### **Standard B29: Solar access to open space objective**

*To allow solar access into the secluded private open space of new dwellings and residential buildings.*

- The lot runs North to South providing good solar access to the open spaces.
- Open space for the proposed dwelling is orientated to the north and west for adequate solar access.

### **Standard B30: Storage objective**

*To provide adequate storage facilities for each dwelling.*

- Each dwelling will be provided with convenient access to 6 cubic metres of externally accessible, secure storage space.
- The storage facilities will not be visible from the street.

### **Standard B31: Design detail objective**

*To encourage design detail that respects the existing or preferred neighbourhood character.*

- The design detail of the proposed dwellings respects the neighborhood character of the area.
- The height and width, massing and detailing, different building materials is designed to both enhance and integrate with the streetscape.
- The proposed dwellings have been designed in order to respect neighbourhood characteristics.
- Dwelling materials and finishes were carefully selected to compliment to the character of neighbouring dwellings.
- Window and door are placed to respect the proposed setbacks.
- Pitched roof reduces visual bulk and integrates the proposed dwellings into the surrounding area.

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### **Standard B32: Front fences objective**

*To encourage front fence design that respects the existing or preferred neighbourhood character.*

- There is retain the existing front fence.

### **Standard B33: Common property objectives**

*To ensure that communal open space, car parking, access areas and site facilities are practical, attractive and easily maintained.*

- The proposed development avoids future management difficulties in areas of common ownership, as the subject site can be functionally subdivided into separate allotments except for the vehicle access ways and pedestrian pathways which will be in common property.
- Vehicle access way to both dwellings on site will be functional and capable of efficient management.
- Car parking, access areas and site facilities are practical, attractive, and easily maintained.

### **Standard B34: Site services objectives**

*To ensure that site services can be installed and easily maintained.*

*To ensure that site facilities are accessible, adequate, and attractive.*

- Bins will be kept at the side of each dwelling and located to the front of the properties on collection days only.
- A new mailbox to face the street will be provided for the proposed dwellings.
- Site services can be installed and easily maintained.
- Site facilities have been designed to be accessible, adequate, and attractive.
- Bins can easily be accommodated in the open space area of each dwelling.

## **CONCLUSION**

The proposed development of a two new dwellings with the existing dwelling on a rectangular site meets the objectives and standards of Clause 55 of the City of HUME Planning Scheme. The proposed development is an appropriate form of infill for the site based on existing development in the immediate and surrounding area and the size and orientation of the allotment.

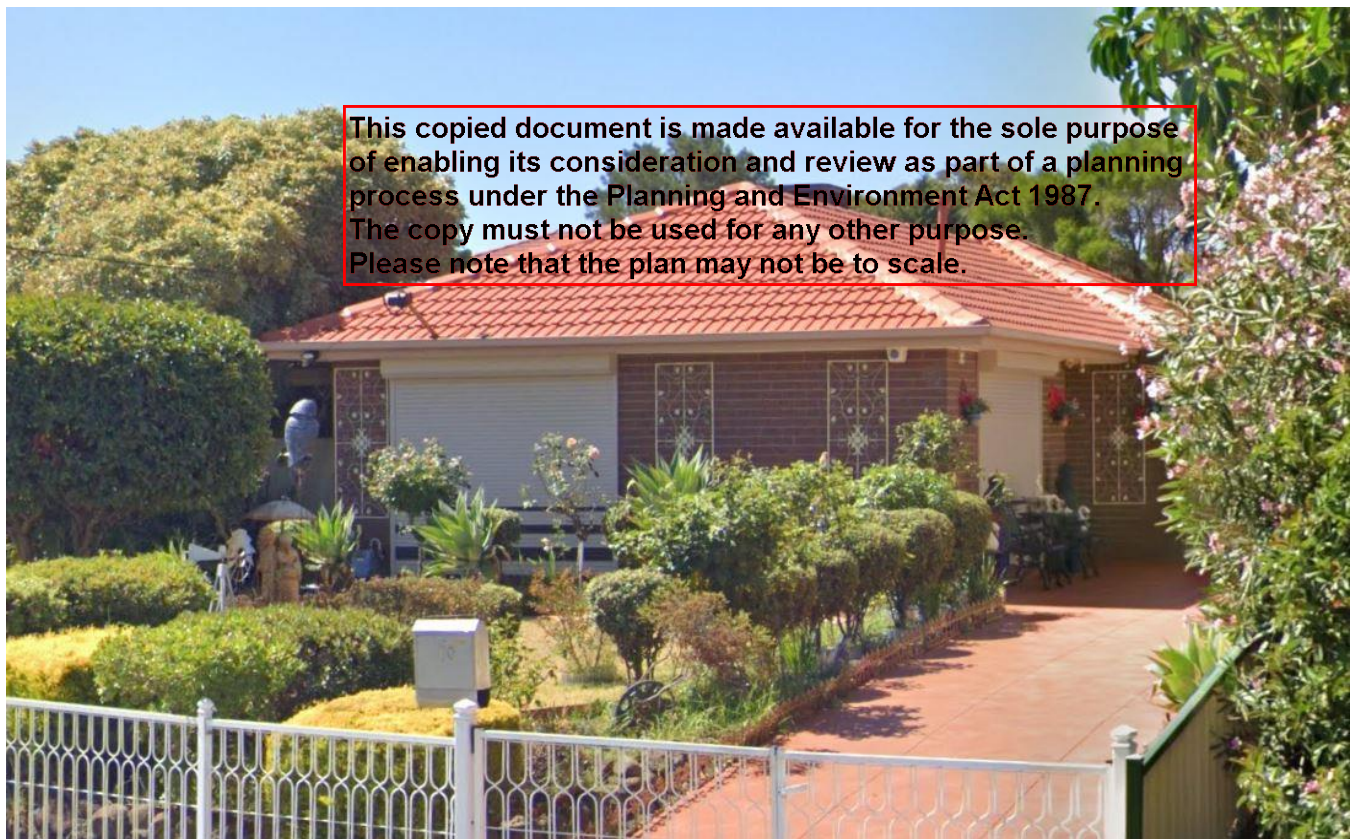
## Existing Site ( google photo )



## Existing Site Photos ( 12 Shandeen Court, Meadow heights )



## Existing Site Photos ( 10 Shandeen Court, Meadow heights )



## Existing Site Photos ( 14 Shandeen Court, Meadow heights )



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**NO.66**  
SINGLE STOREY  
BRICK VENEER  
TILED ROOF

**NO.66**  
SINGLE STOREY  
BRICK VENEER  
TILED ROOF

**NO.7**  
DOUBLE STOREY  
BRICK VENEER  
TILED ROOF

**NO.15**  
SINGLE STOREY  
BRICK VENEER  
TILED ROOF

**NO.13**  
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**NO.78**  
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BRICK VENEER  
SHEET ROOF

**NO.79**  
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BRICK VENEER  
TILED ROOF

**NO.77**  
SINGLE STOREY  
BRICK VENEER  
TILED ROOF

**NO.75B**  
DOUBLE STOREY  
BRICK VENEER  
TILED ROOF

**NO.75A**  
SINGLE STOREY  
BRICK VENEER  
TILED ROOF

**NO.84**  
SINGLE STOREY  
BRICK VENEER  
TILED ROOF

**NO.82**  
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AFTERNOON  
SUN

MIDDAY  
SUN

MORNING  
SUN

SHANDEEN  
COURT

ELDORADO  
CRESENT

BONANG COURT

ELDORADO  
CRESENT

**SITE ANALYSIS**

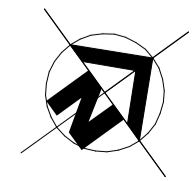
SCALE: 1:200

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**PROPOSED - SITE ANALYSIS**

CAD REF:	DRAWN BY: A.A.D.F.	PROJECT NO.:	REVISION NO.:
	SCALE: 1:200 @ A1	REVISION DATE:	DRAWING No: TP
	DATE: 18.09.24	3/10/2024	1 of 15

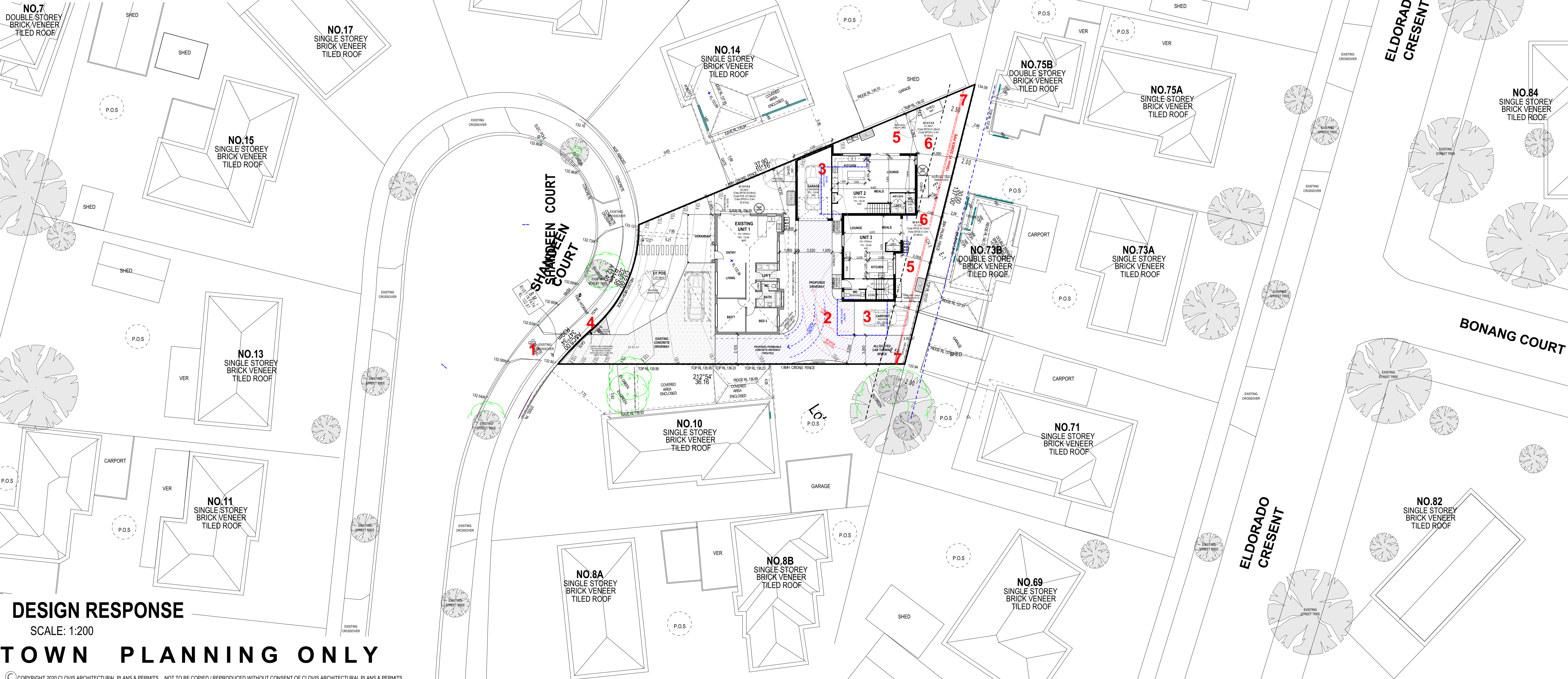


# DESIGN RESPONSE

- 1** EXISTING CROSSOVER TO BE RETAINED FOR ACCESS TO UNITS 1-3
- 2** NEW CONCRETE DRIVEWAY FOR ACCESS TO ALL DWELLINGS.
- 3** NEW GARAGE & CARPORT TO PROPOSED DWELLINGS TO BE SUBSTANTIALLY SETBACK FROM STREET TO AVOID VISIBLE IMPACT ON EXISTING STREETScape.
- 4** NEW MAILBOXES FOR ALL DWELLINGS.
- 5** LAWN AREA PROVIDES SPACE FOR LANDSCAPING.
- 6** OPEN SPACE ON SITE FOR EACH DWELLING IS DISTRIBUTED TO THE REAR AND THROUGHOUT THE SITE. THE DEVELOPMENT WILL PROVIDE SUFFICIENT PRIVATE OPEN SPACE FOR THE REASONABLE RECREATION, SERVICE AND STORAGE NEEDS OF RESIDENTS. THE PRIVATE OPEN SPACES FOR BOTH DWELLING ARE LOCATED OFF LIVING AREAS.
- 7** LANDSCAPING LOCATION TO PROVIDE SOFT BUFFER AND SCREENING BETWEEN THE ADJOINING PROPERTIES. EXTENSIVE LANDSCAPING TO BE IMPLEMENTED.

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# DESIGN RESPONSE

SCALE: 1:200

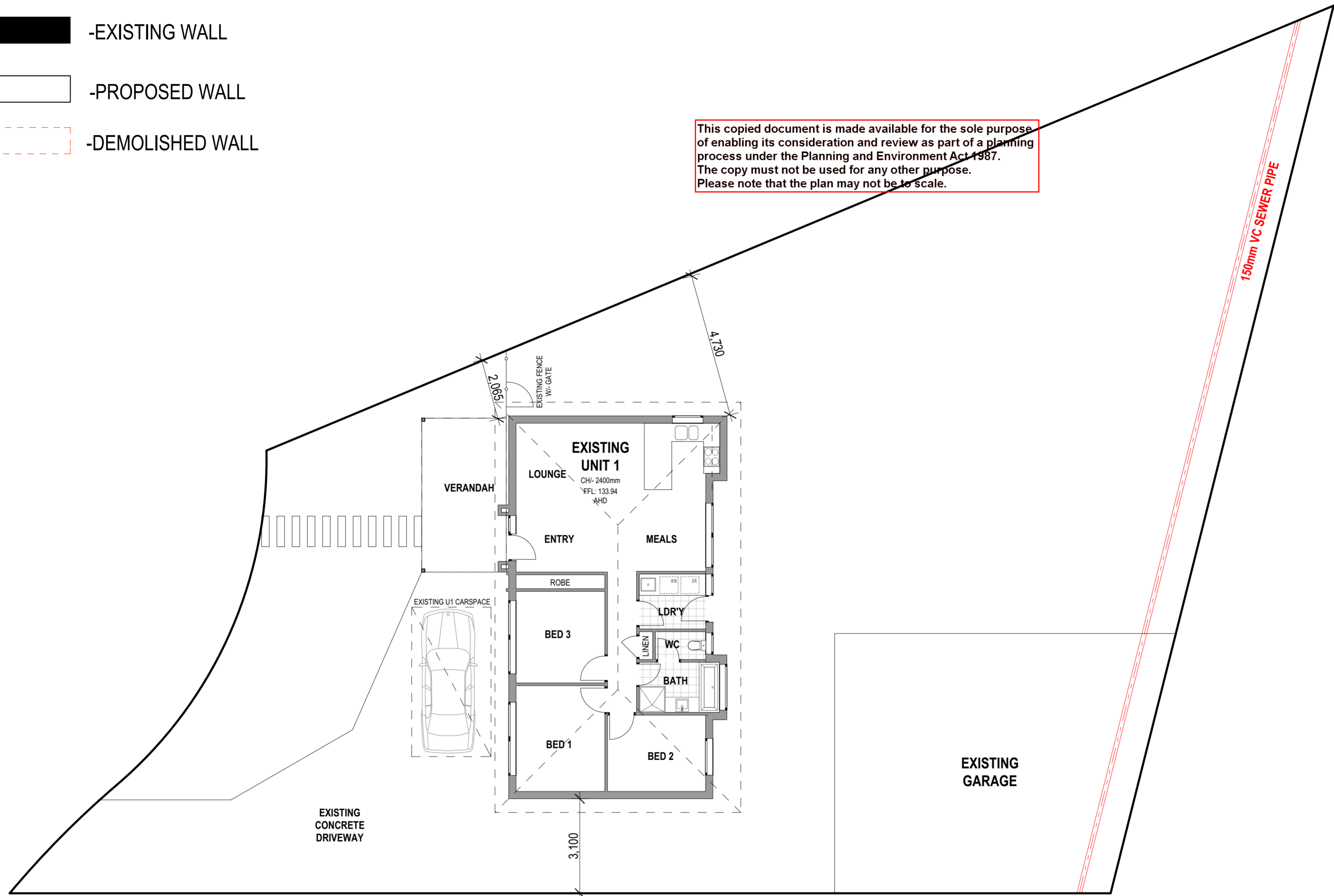
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PROPOSED - DESIGN RESPONSE			
CAD REF:	DRAWN BY: A.A. D.F.	PROJECT NO.:	REVISION NO.:
DATE: 18.09.24	SCALE: 1:200 @ A1	REVISION DATE:	DRAWING No: TP
		3/10/2024	2 of 15

- EXISTING WALL
- PROPOSED WALL
- DEMOLISHED WALL

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# EXISTING FLOOR PLAN

SCALE: 1:100

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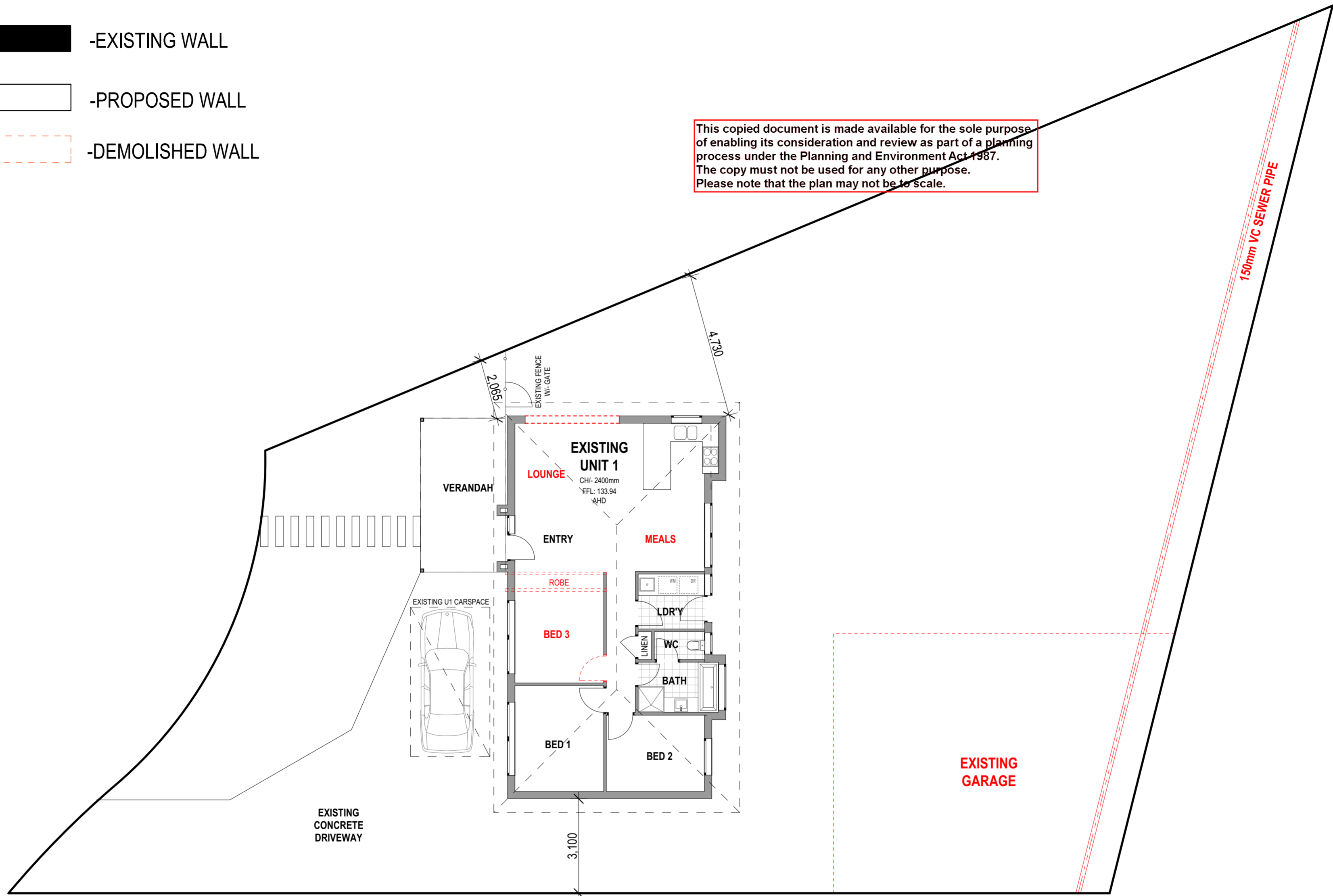


PROPOSED - EXISTING FLOOR PLAN			
DRAWN BY: A.A. D.F.	PROJECT NO. -	REVISION NO:	
CAD REF:	SCALE: 1:100 @ A2	REVISION DATE:	DRAWING No: TP
DATE: 18.09.24	3/10/2024	3 of 15	



- EXISTING WALL
- PROPOSED WALL
- DEMOLISHED WALL

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# DEMO. FLOOR PLAN

SCALE: 1:100

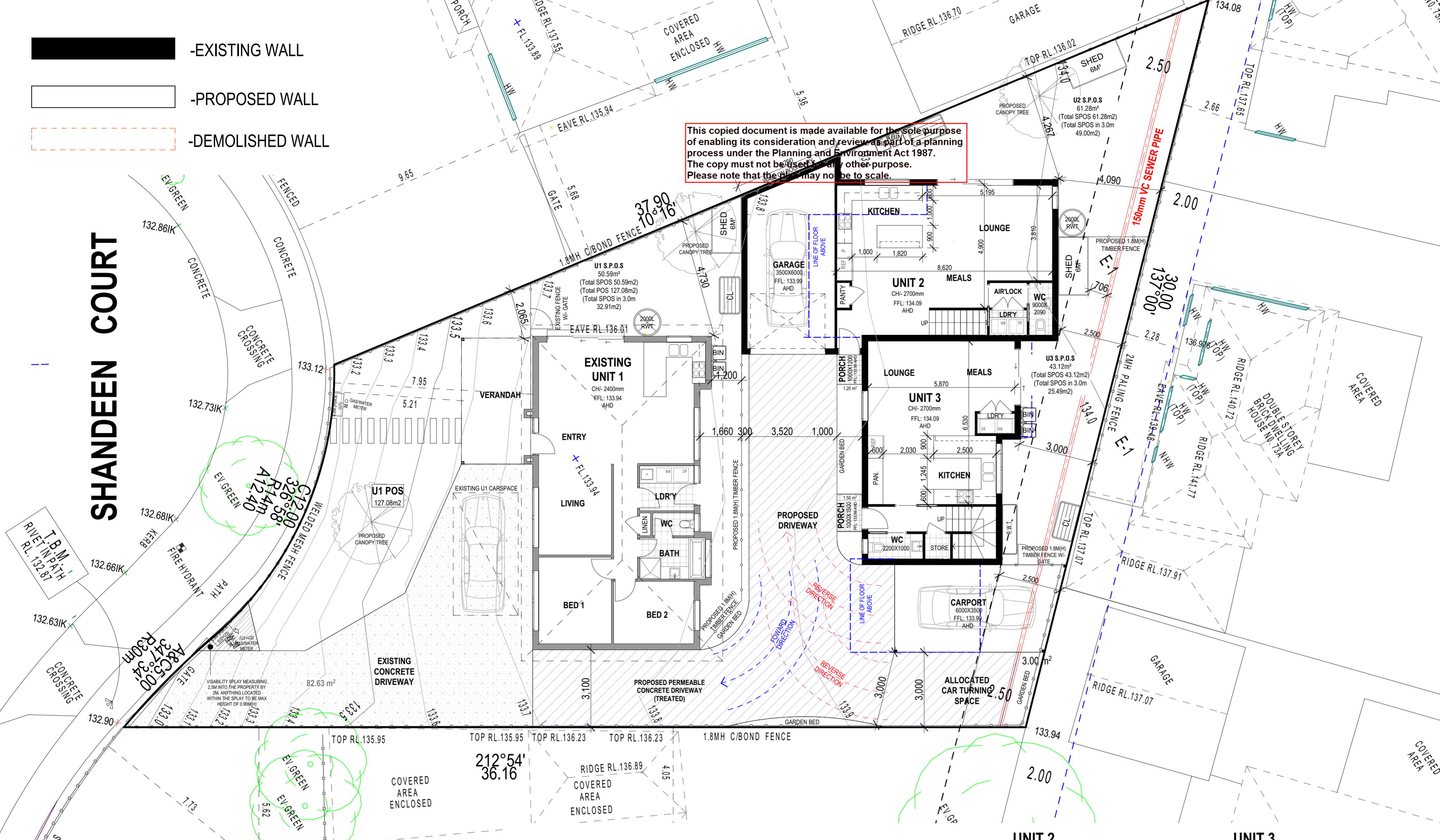
## TOWN PLANNING ONLY

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PROPOSED - DEMO PLAN			
CAD REF:	DRAWN BY: A.A. D.F.	PROJECT NO.:	REVISION NO.:
DATE: 18.09.24	SCALE: 1:100 @ A2	REVISION DATE: 3/10/2024	DRAWING No: TP
			4 of 15

- EXISTING WALL
- PROPOSED WALL
- DEMOLISHED WALL

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# PROPOSED GROUND FLOOR PLAN

SCALE: 1:100

## TOWN PLANNING ONLY

SINGLE STOREY BRICK DWELLING HOUSE NO. 10

### AREA ANALYSIS

SITE AREA	697.03m <sup>2</sup>	100%
SITE COVERAGE	264.28m <sup>2</sup>	37.91%
NON-PERMEABLE SURFACES	82.63m <sup>2</sup>	11.85%
PERMEABLE SURFACES	350.47m <sup>2</sup>	50.28%
GARDEN AREA	246.74m <sup>2</sup>	35.39%

### EXISTING UNIT 1

GROUND FLOOR	89.83m <sup>2</sup>
GARAGE	86.14m <sup>2</sup>
VERANDAH	14.38m <sup>2</sup>

**TOTAL** 190.35m<sup>2</sup> 20.48sq

### UNIT 2

GROUND FLOOR	52.63m <sup>2</sup>
FIRST FLOOR	55.96m <sup>2</sup>
GARAGE	26.94m <sup>2</sup>
PORCH	1.20m <sup>2</sup>

**TOTAL** 135.53m<sup>2</sup> 14.58sq


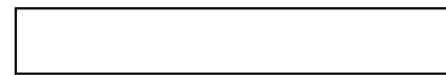

### UNIT 3

GROUND FLOOR	48.99m <sup>2</sup>
FIRST FLOOR	71.72m <sup>2</sup>
CARPORT	22.54m <sup>2</sup>
PORCH	1.50m <sup>2</sup>

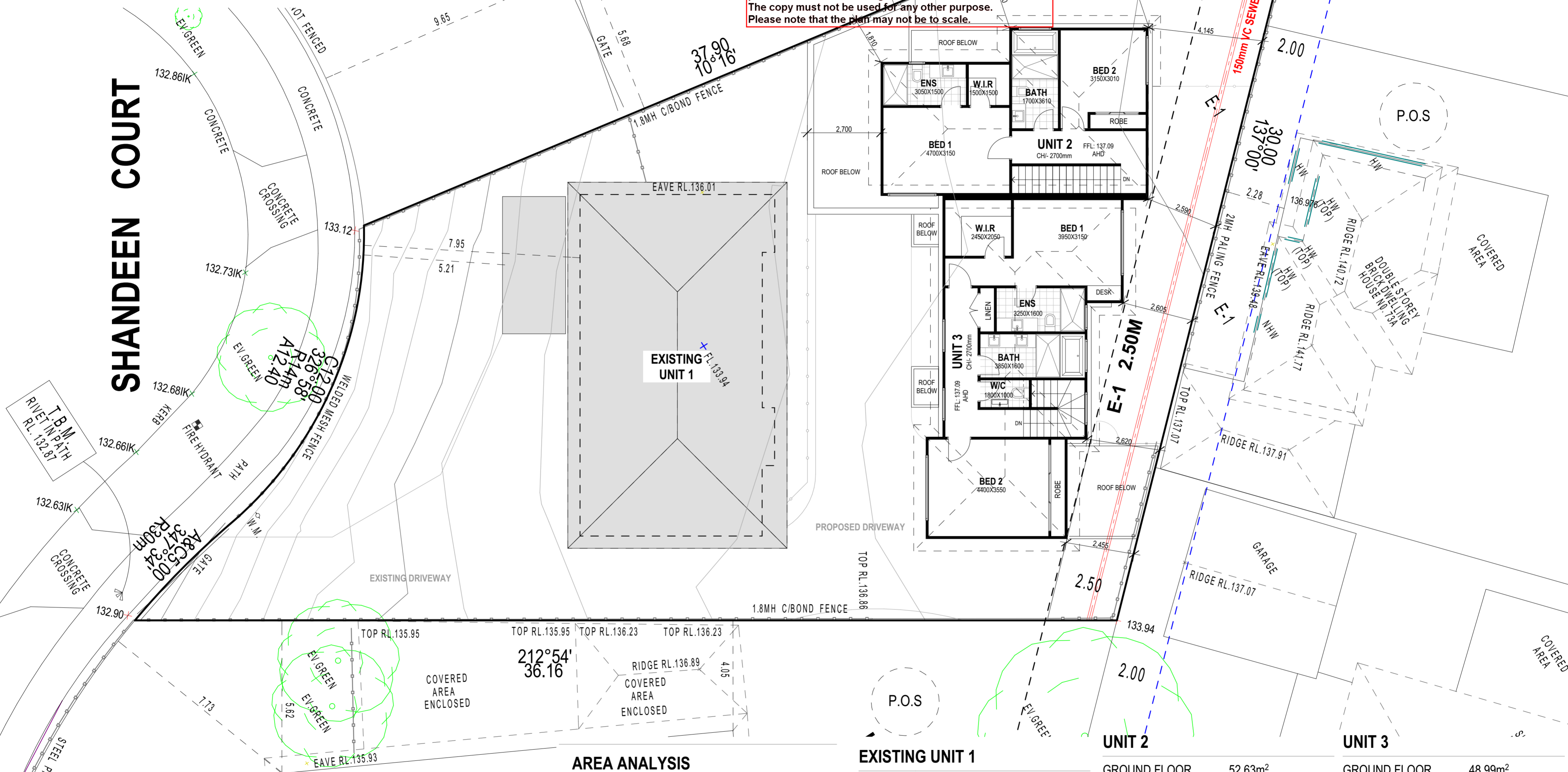
**TOTAL** 144.75m<sup>2</sup> 15.58sq

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PROPOSED - PROPOSED GROUND FLOOR			
DRAWN BY: A.A. D.F.	PROJECT NO.:	REVISION NO.:	
CAD REF.:	SCALE: 1:100 @ A2	REVISION DATE:	DRAWING NO. TP
DATE: 18.09.24	3/10/2024	5 of 15	

-  -EXISTING WALL
-  -PROPOSED WALL
-  -DEMOLISHED WALL

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# PROPOSED FIRST FLOOR PLAN

SCALE: 1:100  
TOWN PLANNING ONLY

### AREA ANALYSIS

SITE AREA	697.03m <sup>2</sup>	100%
SITE COVERAGE	264.28m <sup>2</sup>	37.91%
NON-PERMEABLE SURFACES	82.63m <sup>2</sup>	11.85%
PERMEABLE SURFACES	350.47m <sup>2</sup>	50.28%
GARDEN AREA	246.74m <sup>2</sup>	35.39%

### EXISTING UNIT 1

GROUND FLOOR	89.83m <sup>2</sup>
GARAGE	86.14m <sup>2</sup>
VERANDAH	14.38m <sup>2</sup>
<b>TOTAL</b>	<b>190.35m<sup>2</sup> 20.48sqr</b>

### UNIT 2

GROUND FLOOR	52.63m <sup>2</sup>
FIRST FLOOR	55.96m <sup>2</sup>
GARAGE	26.94m <sup>2</sup>
PORCH	1.20m <sup>2</sup>
<b>TOTAL</b>	<b>135.53m<sup>2</sup> 14.58sqr</b>

### UNIT 3

GROUND FLOOR	48.99m <sup>2</sup>
FIRST FLOOR	71.72m <sup>2</sup>
CARPORT	22.54m <sup>2</sup>
PORCH	1.50m <sup>2</sup>
<b>TOTAL</b>	<b>144.75m<sup>2</sup> 15.58sqr</b>

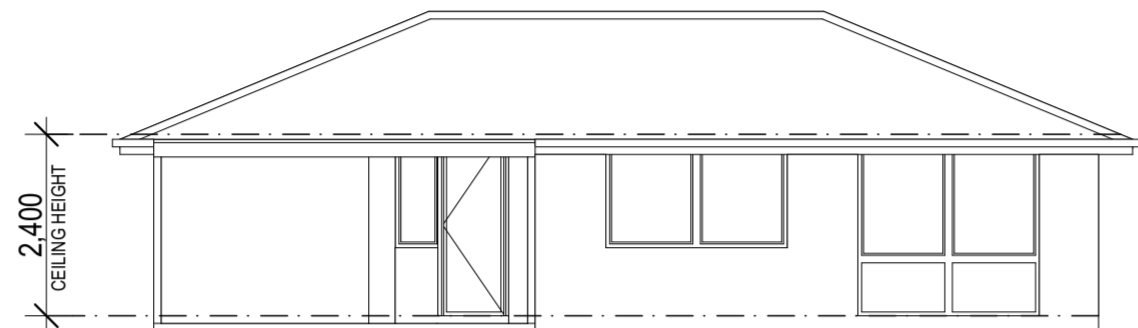
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PROPOSED - FIRST FLOOR PLAN			
DRAWN BY: A.A.D.F.	PROJECT NO.:	REVISION NO.:	
CAD REF.:	SCALE: 1:100 @ A2	REVISION DATE:	DRAWING No: TP
DATE: 18.09.24	3/10/2024	6 of 15	

The Boundary

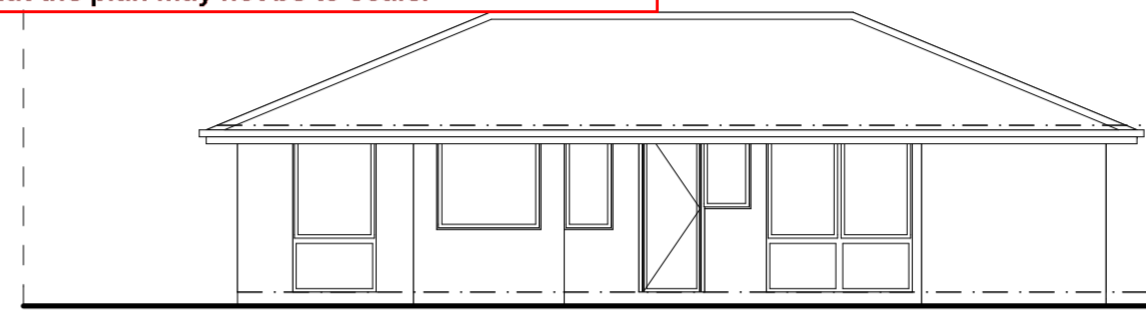
The Boundary

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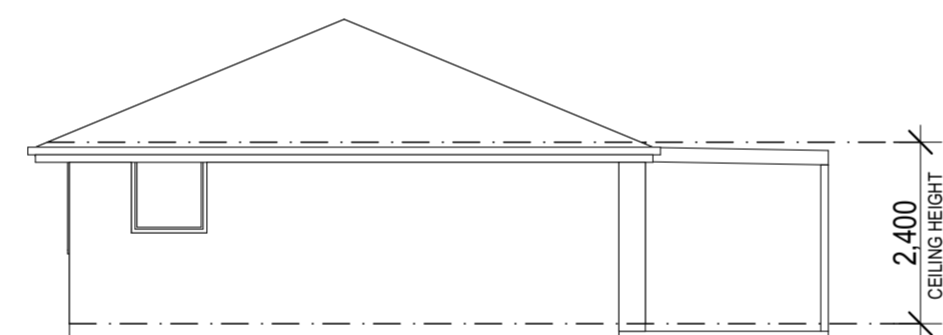
### EXISTING NORTH ELEVATION

SCALE: 1:100



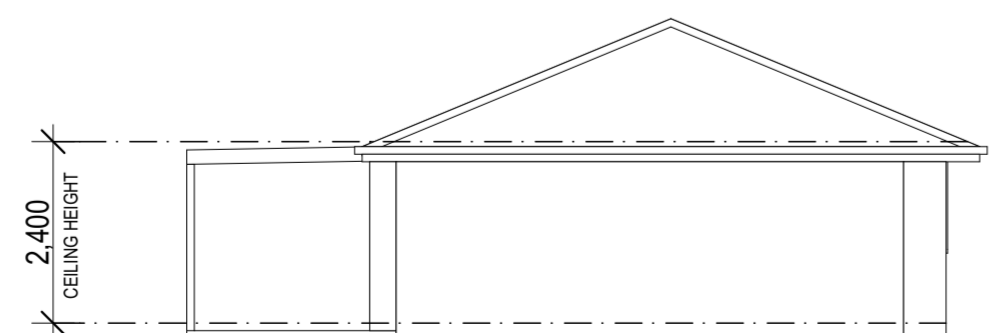
### EXISTING SOUTH ELEVATION

SCALE: 1:100



### EXISTING EAST ELEVATION

SCALE: 1:100

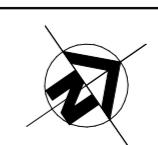


### EXISTING WEST ELEVATION

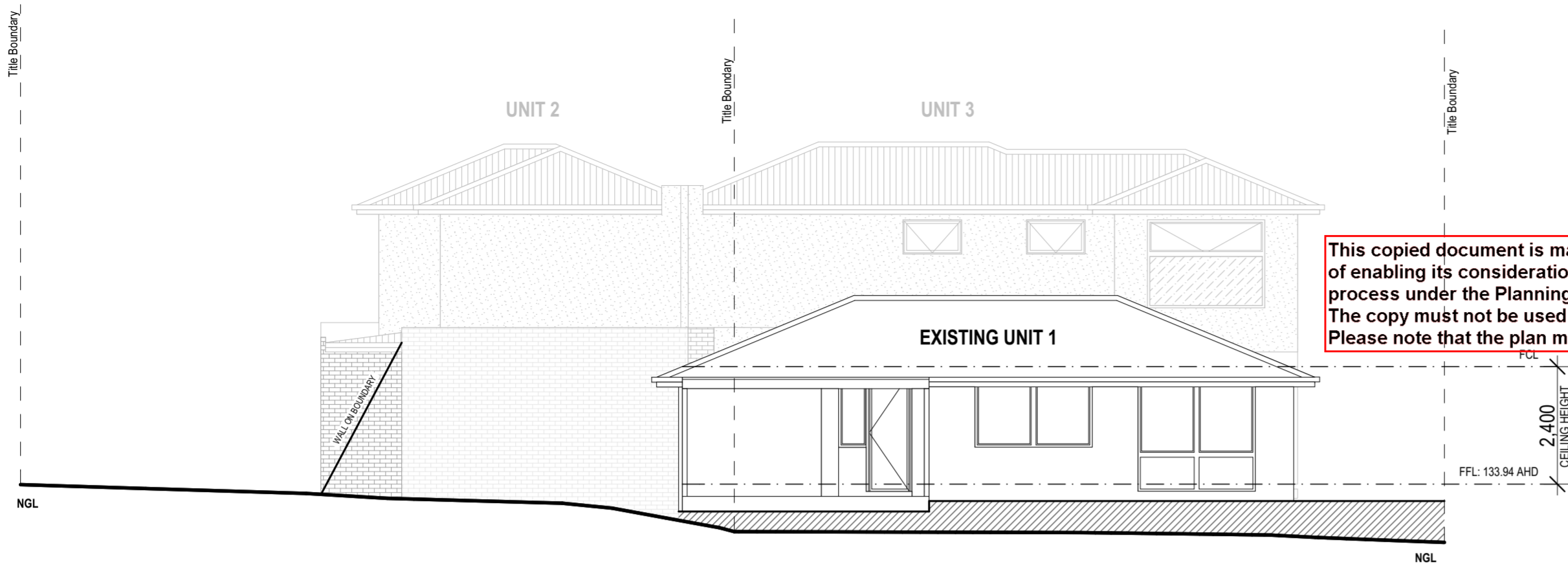
SCALE: 1:100

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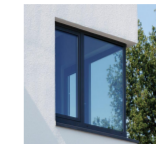



PROPOSED - EXISTING ELEVATIONS			
CAD REF:	SCALE: 1:100, 1:108.81	REVISION DATE:	REVISION NO:
DATE: 18.09.24	3/10/2024		TP
			7 of 15



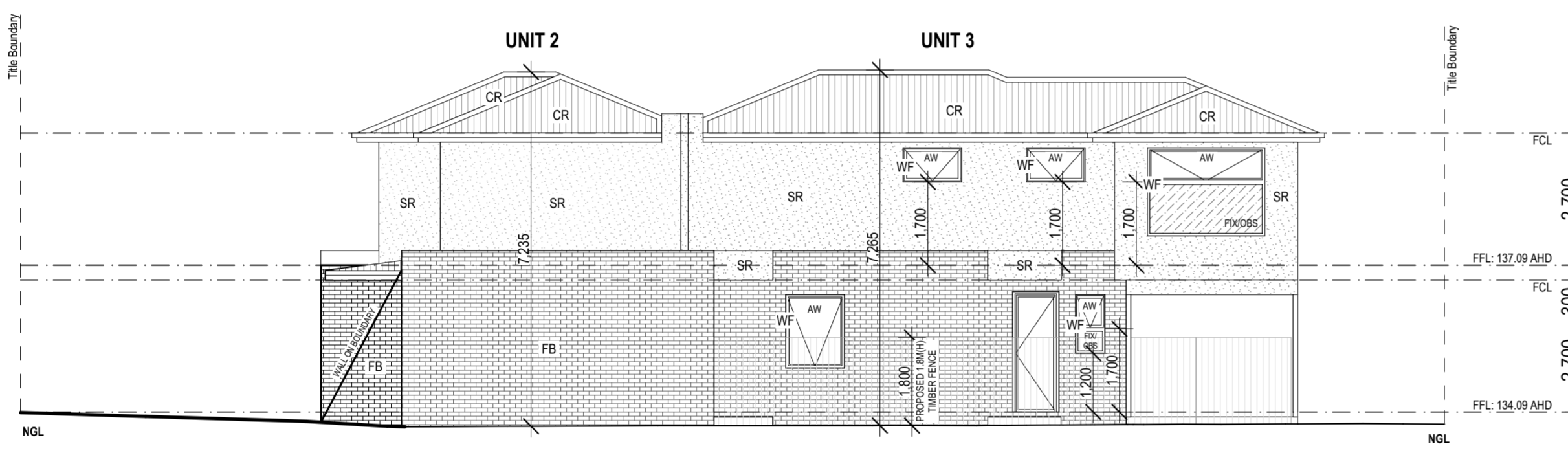
## PROPOSED SOUTH ELEVATION

SCALE: 1:100

MATERIAL SCHEDULE	
	<b>SR</b> SMOOTH RENDER FINISH - LIGHT GREY COLOUR
	<b>FB</b> FACE BRICKWORK - SELKIRK MOONSHADOW - COLOUR
	<b>WF</b> ALUMINIUM FRAMED WINDOWS & DOORS - BLACK COLOUR
	<b>CR</b> COLOURBOND ROOF- GREY COLOUR

**NOTE:**

- PLEASE REFER TO MATERIAL SCHEDULE FOR EXACT MATERIAL FINISH.
- ALL OBSCURE GLAZING WITH NOT MORE THAN 25 PER CENT TRANSPARENCY
- EXTERNAL LIGHTING TO BE CONTROLLED BY MOTION DETECTOR



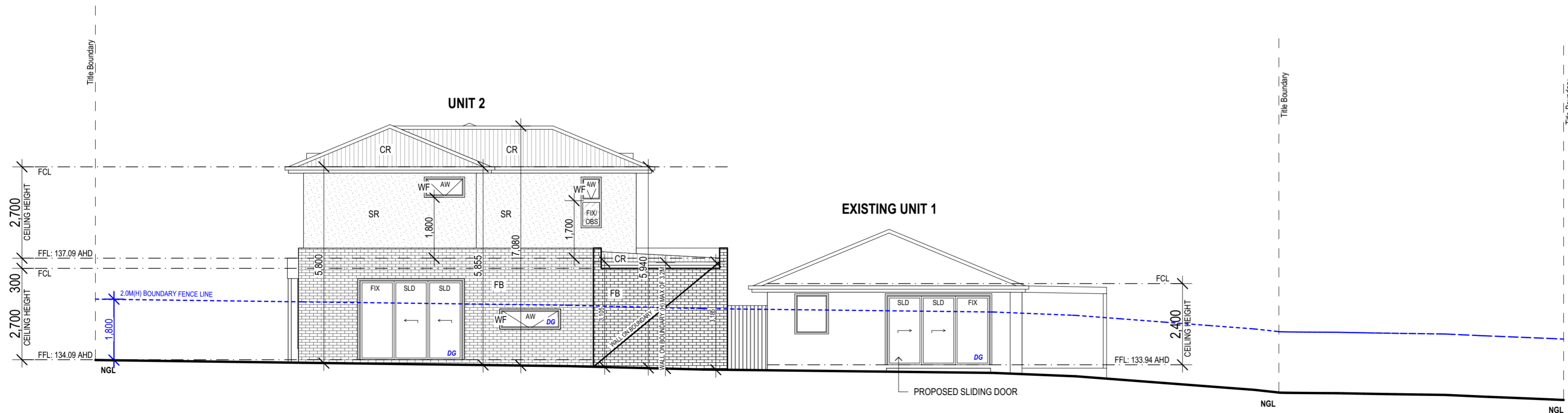
## PROPOSED INTERNAL SOUTH ELEVATION

SCALE: 1:100

**LEGEND**

SLD	SLIDING PANEL
SLD/OBS	OBSCURE SLIDING PANEL
FIX	FIXED GLAZING
F/OBS	OBSCURE FIXED GLAZING
AW	AWNING WINDOW
AW/OBS	OBSCURE AWNING WINDOW

**NOTE:**  
DG : ALL HABITABLE ROOM WINDOWS LABLED "DG" TO BE DOUBLE GLAZED

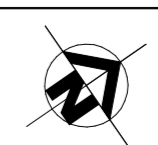


## PROPOSED WEST ELEVATION

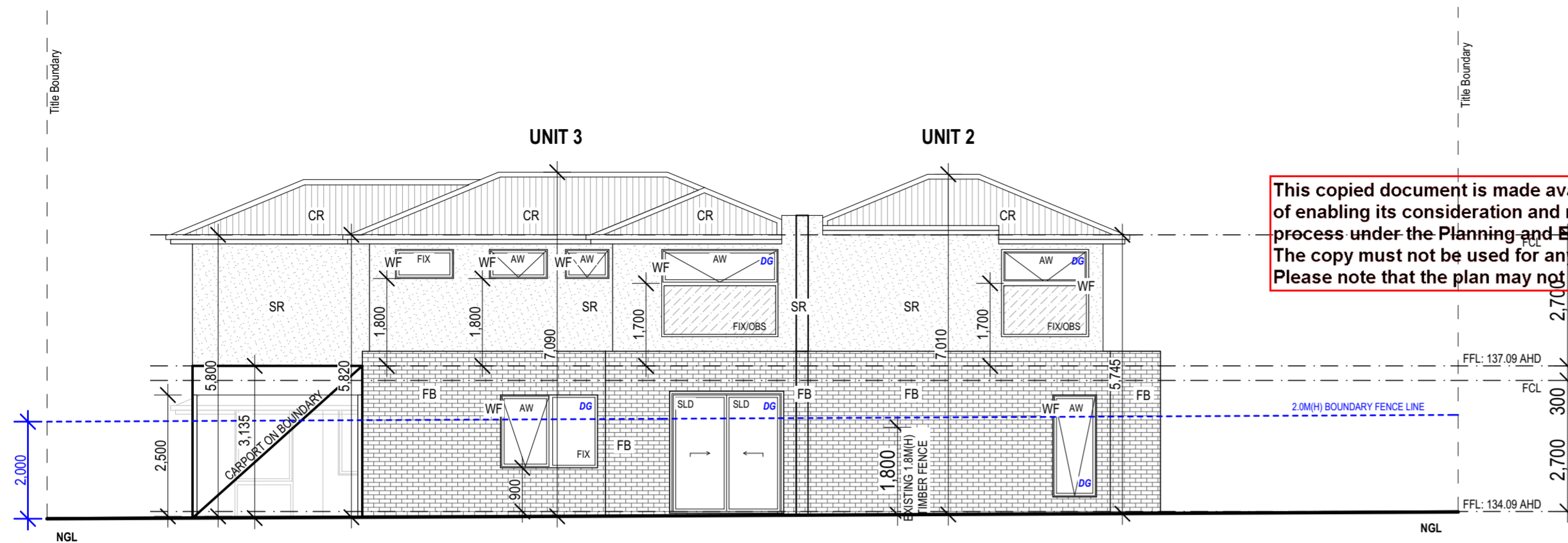
SCALE: 1:100

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PROPOSED - PRO. ELEVATIONS			
DRAWN BY: A.A. D.F.	PROJECT NO.:	REVISION NO.:	
CAD REF:	SCALE: 1:100 @ A2	REVISION DATE:	DRAWING No: TP
DATE: 18.09.24	3/10/2024		8 of 15



# PROPOSED NORTH ELEVATION

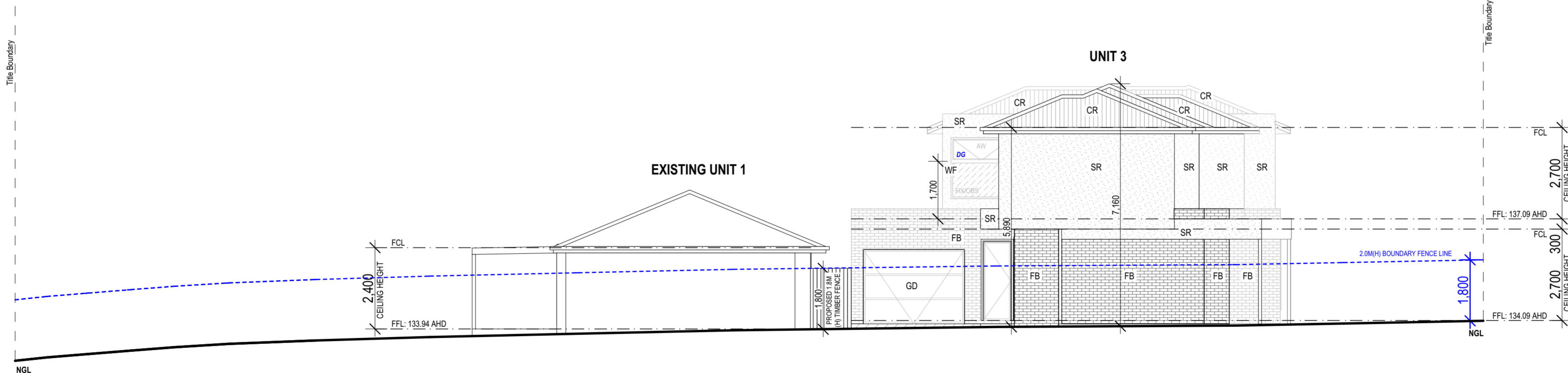
SCALE: 1:100

MATERIAL SCHEDULE	
	<b>SR</b> SMOOTH RENDER FINISH - LIGHT GREY COLOUR
	<b>FB</b> FACE BRICKWORK - SELKIRK MOONSHADOW - COLOUR
	<b>WF</b> ALUMINIUM FRAMED WINDOWS & DOORS - BLACK COLOUR
	<b>CR</b> COLOURBOND ROOF- GREY COLOUR

- NOTE:**
- PLEASE REFER TO MATERIAL SCHEDULE FOR EXACT MATERIAL FINISH.
  - ALL OBSCURE GLAZING WITH NOT MORE THAN 25 PER CENT TRANSPARENCY
  - EXTERNAL LIGHTING TO BE CONTROLLED BY MOTION DETECTOR

- LEGEND**
- SLD SLIDING PANEL
  - SLD/OBS OBSCURE SLIDING PANEL
  - FIX FIXED GLAZING
  - F/OBS OBSCURE FIXED GLAZING
  - AW AWNING WINDOW
  - AW/OBS OBSCURE AWNING WINDOW

**NOTE:**  
DG : ALL HABITABLE ROOM WINDOWS LABELED "DG" TO BE DOUBLE GLAZED

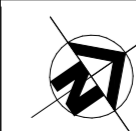


# PROPOSED EAST ELEVATION

SCALE: 1:100

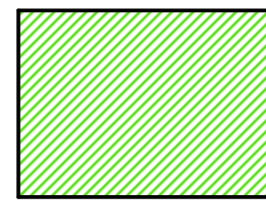
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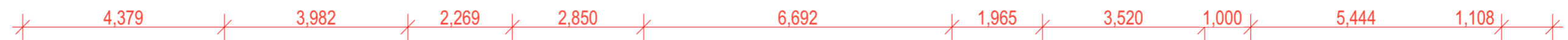
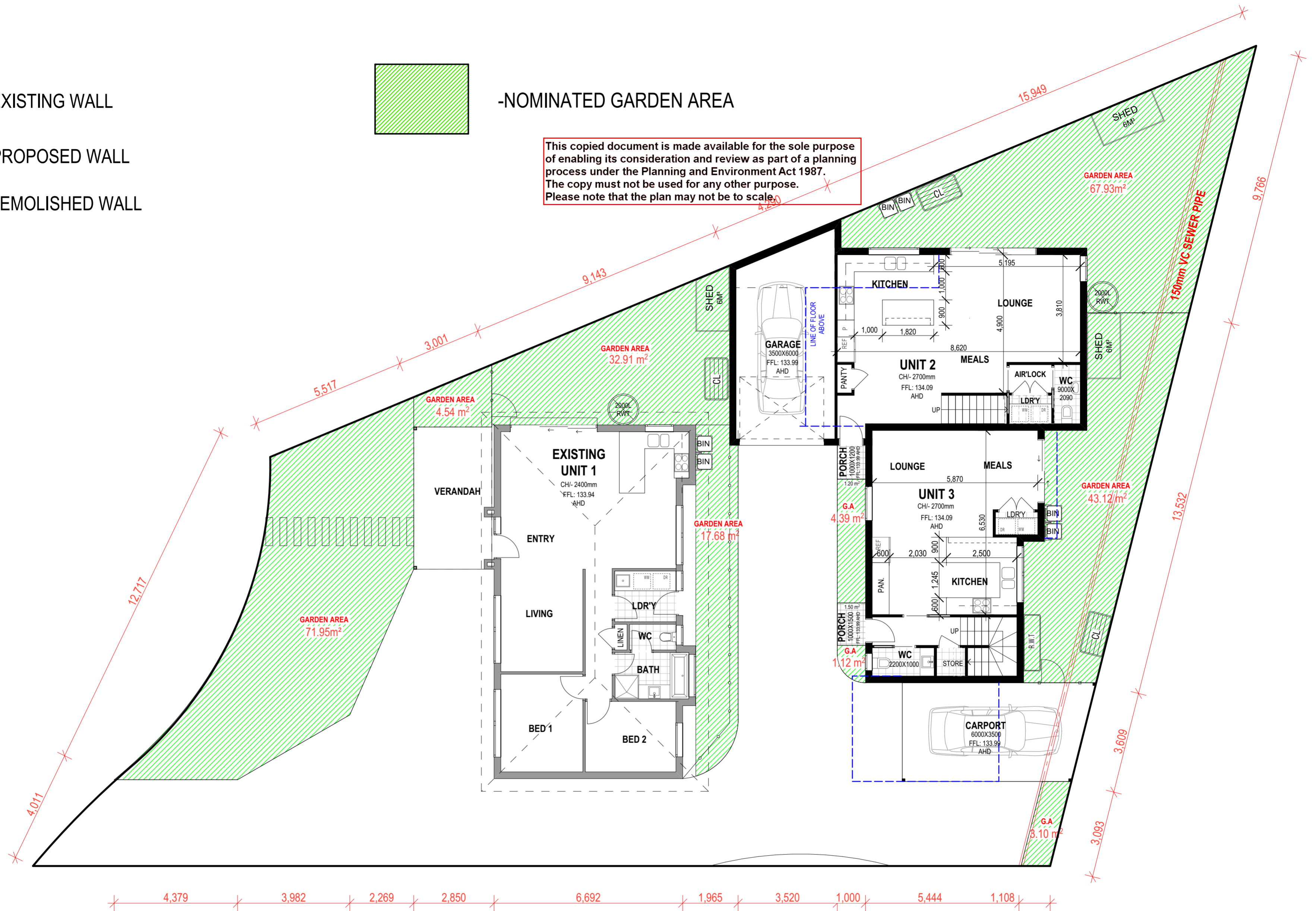
PROPOSED - PRO. ELEVATIONS			
DRAWN BY: A.A. D.F.	PROJECT NO.:	REVISION NO.:	
CAD REF.:	SCALE: 1:100 @ A2	REVISION DATE:	DRAWING No: TP
DATE: 18.09.24	3/10/2024		9 of 15

- EXISTING WALL
- PROPOSED WALL
- DEMOLISHED WALL



-NOMINATED GARDEN AREA

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# GARDEN AREA FLOOR PLAN

SCALE: 1:100

TOWN PLANNING ONLY

## AREA ANALYSIS

SITE AREA	697.03m <sup>2</sup>	100%
SITE COVERAGE	264.28m <sup>2</sup>	37.91%
NON-PERMEABLE SURFACES	82.63m <sup>2</sup>	11.85%
PERMEABLE SURFACES	350.47m <sup>2</sup>	50.28%
GARDEN AREA	246.74m <sup>2</sup>	35.39%

## EXISTING UNIT 1

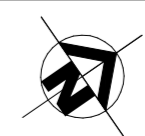
GROUND FLOOR	89.83m <sup>2</sup>
GARAGE	86.14m <sup>2</sup>
VERANDAH	14.38m <sup>2</sup>
<b>TOTAL</b>	<b>190.35m<sup>2</sup> 20.48sqr</b>

## UNIT 2

GROUND FLOOR	52.63m <sup>2</sup>
FIRST FLOOR	55.96m <sup>2</sup>
GARAGE	26.94m <sup>2</sup>
PORCH	1.20m <sup>2</sup>
<b>TOTAL</b>	<b>135.53m<sup>2</sup> 14.58sqr</b>

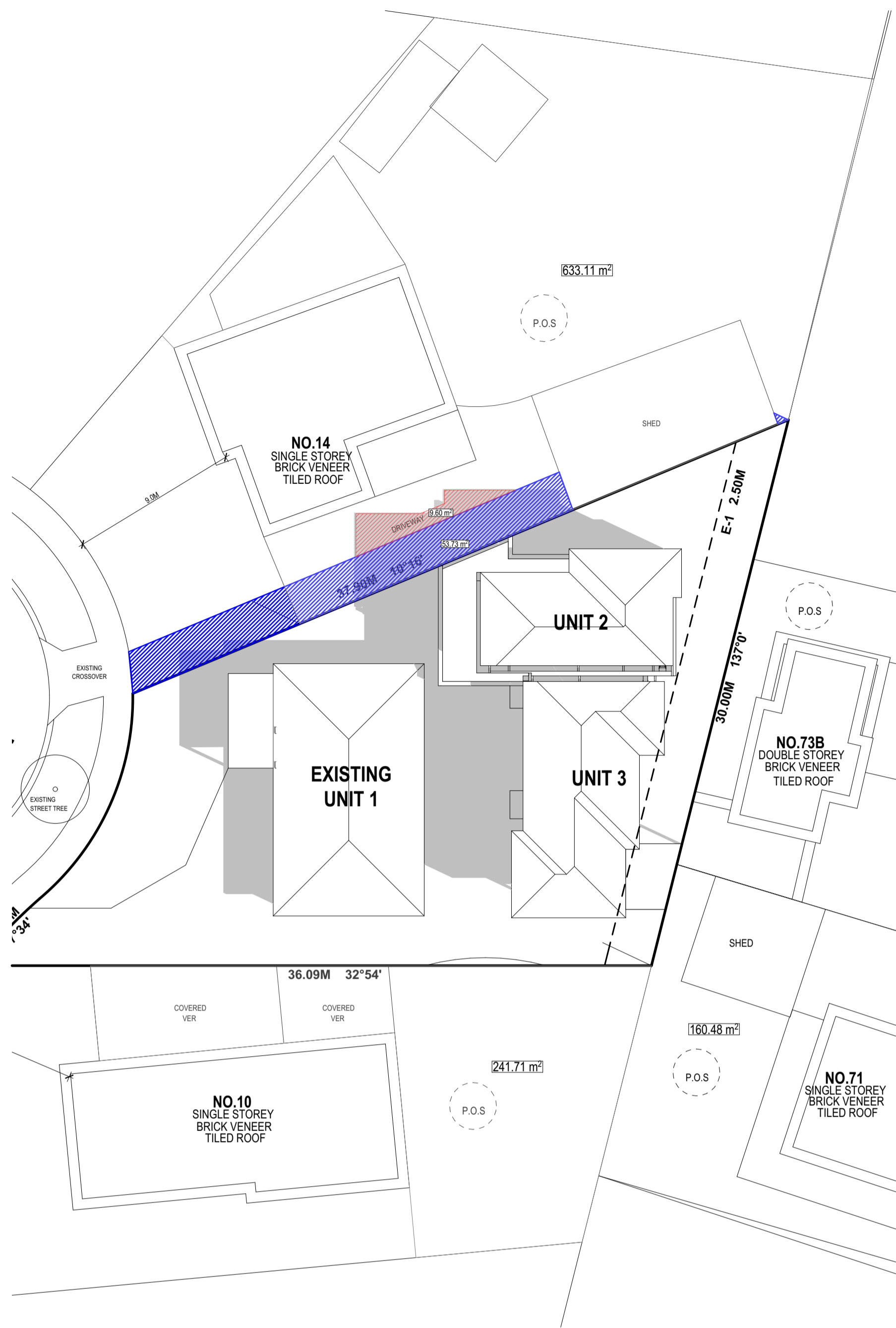
## UNIT 3

GROUND FLOOR	48.99m <sup>2</sup>
FIRST FLOOR	71.72m <sup>2</sup>
CARPORT	22.54m <sup>2</sup>
PORCH	1.50m <sup>2</sup>
<b>TOTAL</b>	<b>144.75m<sup>2</sup> 15.58sqr</b>

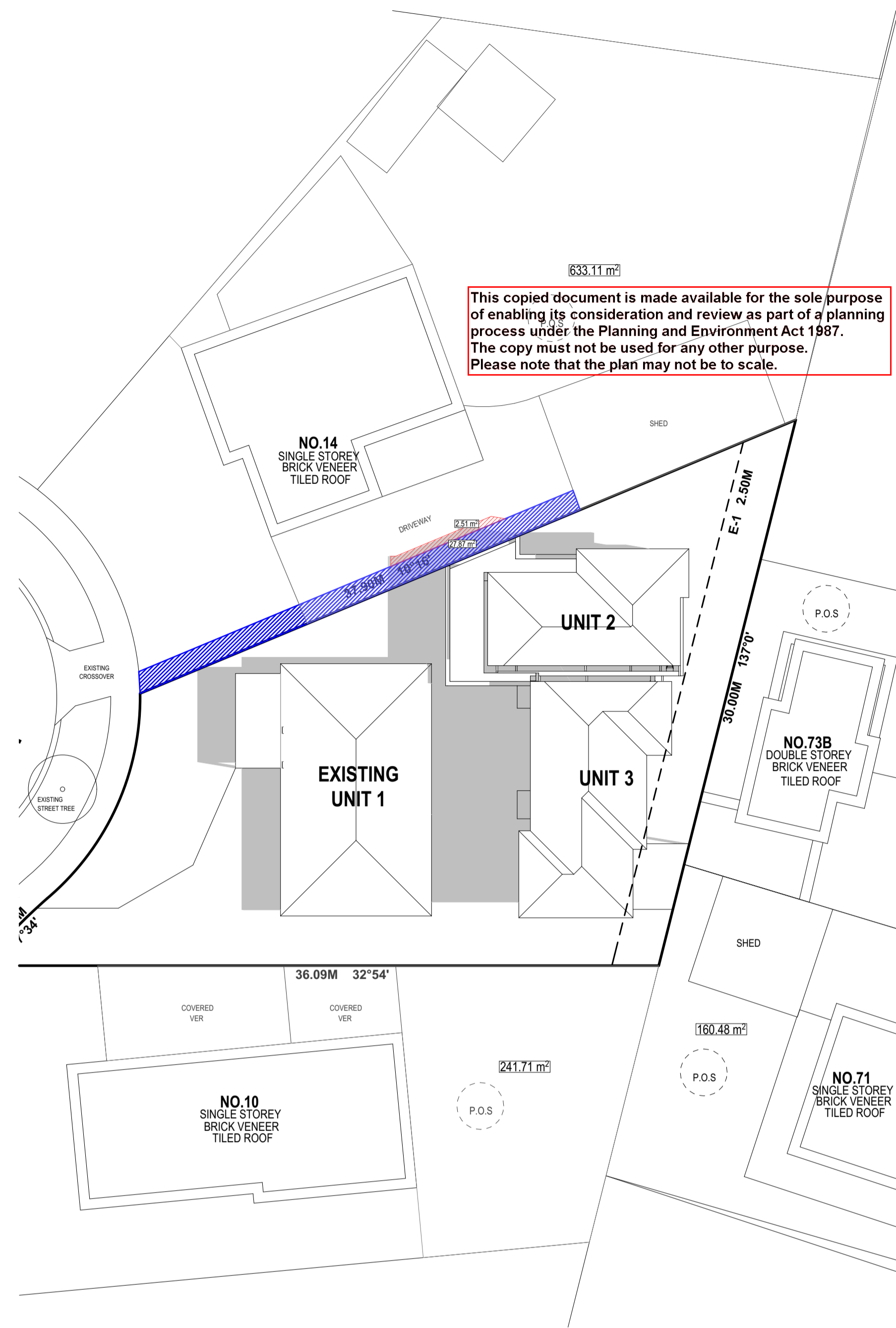


### PROPOSED - GARDEN AREA PLAN

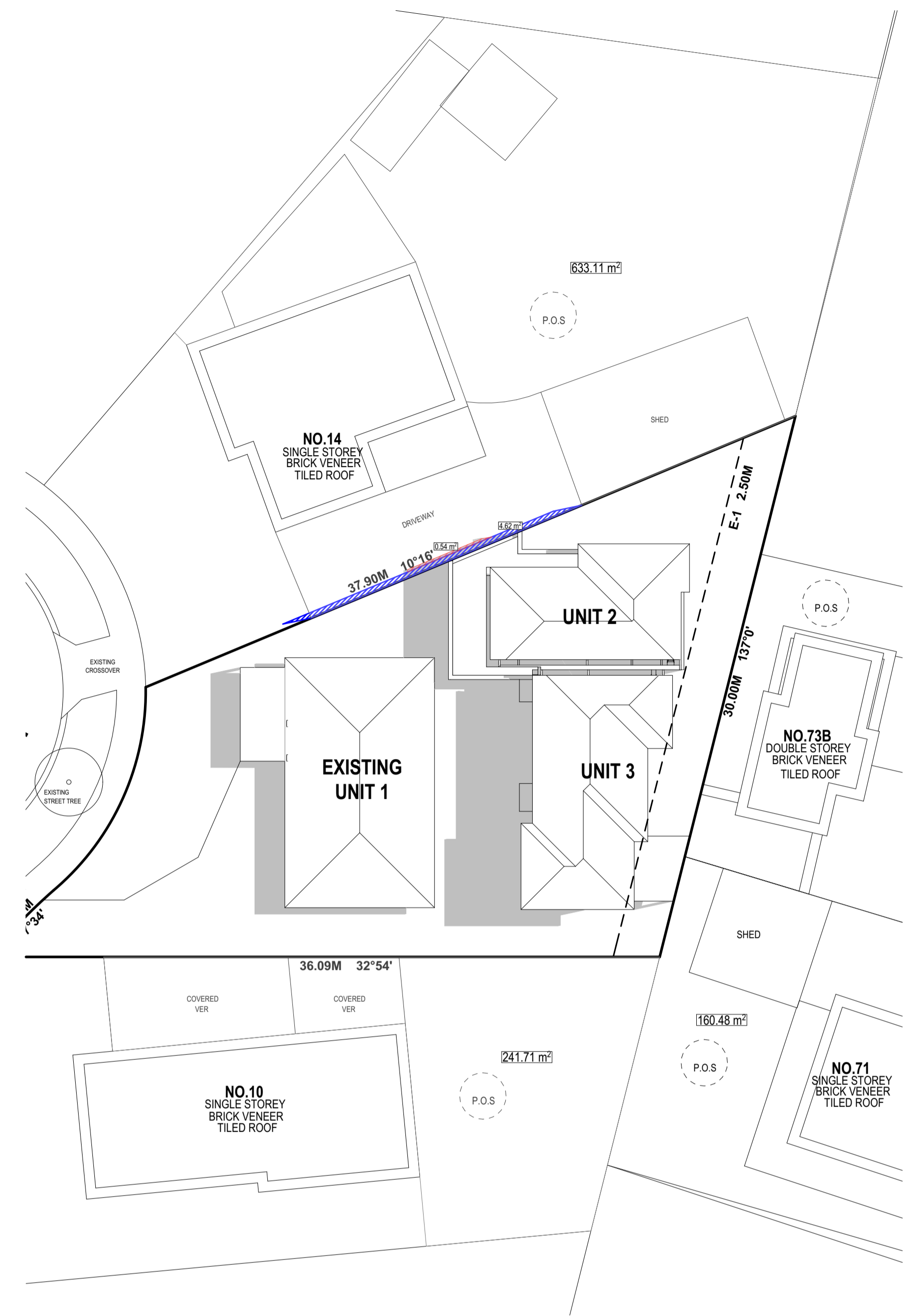
DRAWN BY: A.A.D.F.	PROJECT NO.:	REVISION NO.:
CAD REF.:	SCALE: 1:100 @ A2	REVISION DATE:
DATE: 18.09.24	3/10/2024	DRAWING No: TP
		10 of 15



**22nd SEPTEMBER 9AM SHADOW DIAGRAM**  
SCALE: 1:200



**22nd SEPTEMBER 10AM SHADOW DIAGRAM**  
SCALE: 1:200



**22nd SEPTEMBER 11AM SHADOW DIAGRAM**  
SCALE: 1:200

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**9AM PRIVATE OPEN SPACE SHADOW ANALYSIS**

NO. 14 SHANDEEN CT.	TOTAL S.P.O.S	EXIST. SHADOW	PRO. SHADOW	SPOS REMAINED UNSHADOWED
	633.11m <sup>2</sup> 100.00%	33.69m <sup>2</sup> 5.32 %	8.90m <sup>2</sup> 1.40 %	590.52m <sup>2</sup>

**9AM PRIVATE OPEN SPACE SHADOW ANALYSIS**

NO. 10 SHANDEEN CT.	TOTAL S.P.O.S	EXIST. SHADOW	PRO. SHADOW	SPOS REMAINED UNSHADOWED
	241.71m <sup>2</sup> 100.00%	00.00m <sup>2</sup> 0.00 %	00.00m <sup>2</sup> 0.00 %	341.71m <sup>2</sup>

**9AM PRIVATE OPEN SPACE SHADOW ANALYSIS**

NO. 71 SHANDEEN CT.	TOTAL S.P.O.S	EXIST. SHADOW	PRO. SHADOW	SPOS REMAINED UNSHADOWED
	160.48m <sup>2</sup> 100.00%	00.00m <sup>2</sup> 0.00 %	00.00m <sup>2</sup> 0.00 %	160.48m <sup>2</sup>

**10AM PRIVATE OPEN SPACE SHADOW ANALYSIS**

NO. 14 SHANDEEN CT.	TOTAL S.P.O.S	EXIST. SHADOW	PRO. SHADOW	SPOS REMAINED UNSHADOWED
	633.11m <sup>2</sup> 100.00%	17.40m <sup>2</sup> 2.74 %	2.07m <sup>2</sup> 0.32 %	613.64m <sup>2</sup>

**10AM PRIVATE OPEN SPACE SHADOW ANALYSIS**

NO. 10 SHANDEEN CT.	TOTAL S.P.O.S	EXIST. SHADOW	PRO. SHADOW	SPOS REMAINED UNSHADOWED
	241.71m <sup>2</sup> 100.00%	00.00m <sup>2</sup> 0.00 %	00.00m <sup>2</sup> 0.00 %	341.71m <sup>2</sup>

**10AM PRIVATE OPEN SPACE SHADOW ANALYSIS**

NO. 71 SHANDEEN CT.	TOTAL S.P.O.S	EXIST. SHADOW	PRO. SHADOW	SPOS REMAINED UNSHADOWED
	160.48m <sup>2</sup> 100.00%	00.00m <sup>2</sup> 0.00 %	00.00m <sup>2</sup> 0.00 %	160.48m <sup>2</sup>

**11AM PRIVATE OPEN SPACE SHADOW ANALYSIS**

NO. 14 SHANDEEN CT.	TOTAL S.P.O.S	EXIST. SHADOW	PRO. SHADOW	SPOS REMAINED UNSHADOWED
	633.11m <sup>2</sup> 100.00%	4.62m <sup>2</sup> 0.72 %	0.54m <sup>2</sup> 0.08 %	627.95m <sup>2</sup>

**11AM PRIVATE OPEN SPACE SHADOW ANALYSIS**

NO. 10 SHANDEEN CT.	TOTAL S.P.O.S	EXIST. SHADOW	PRO. SHADOW	SPOS REMAINED UNSHADOWED
	241.71m <sup>2</sup> 100.00%	4.13m <sup>2</sup> 1.70 %	00.00m <sup>2</sup> 0.00 %	237.58m <sup>2</sup>

**11AM PRIVATE OPEN SPACE SHADOW ANALYSIS**

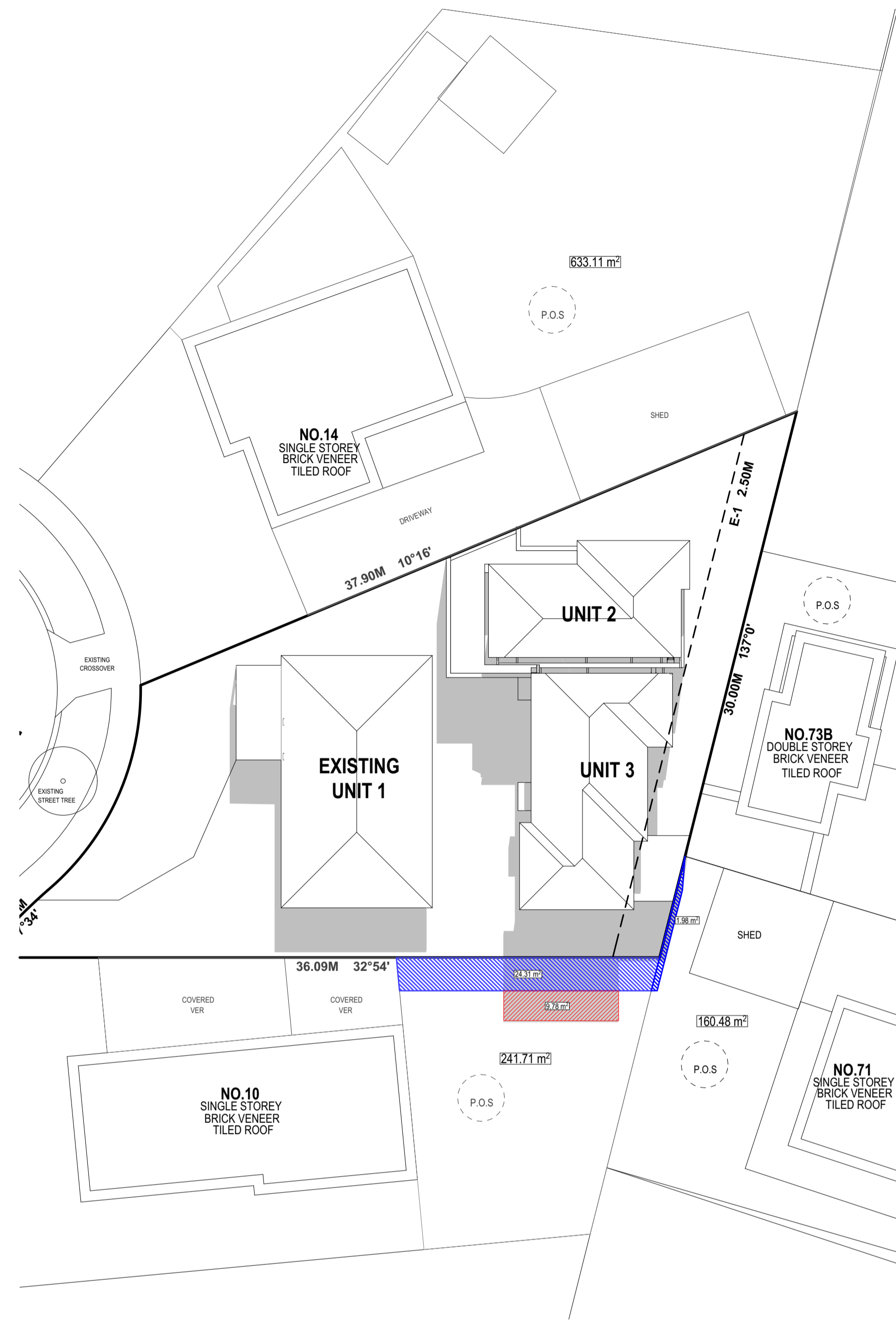
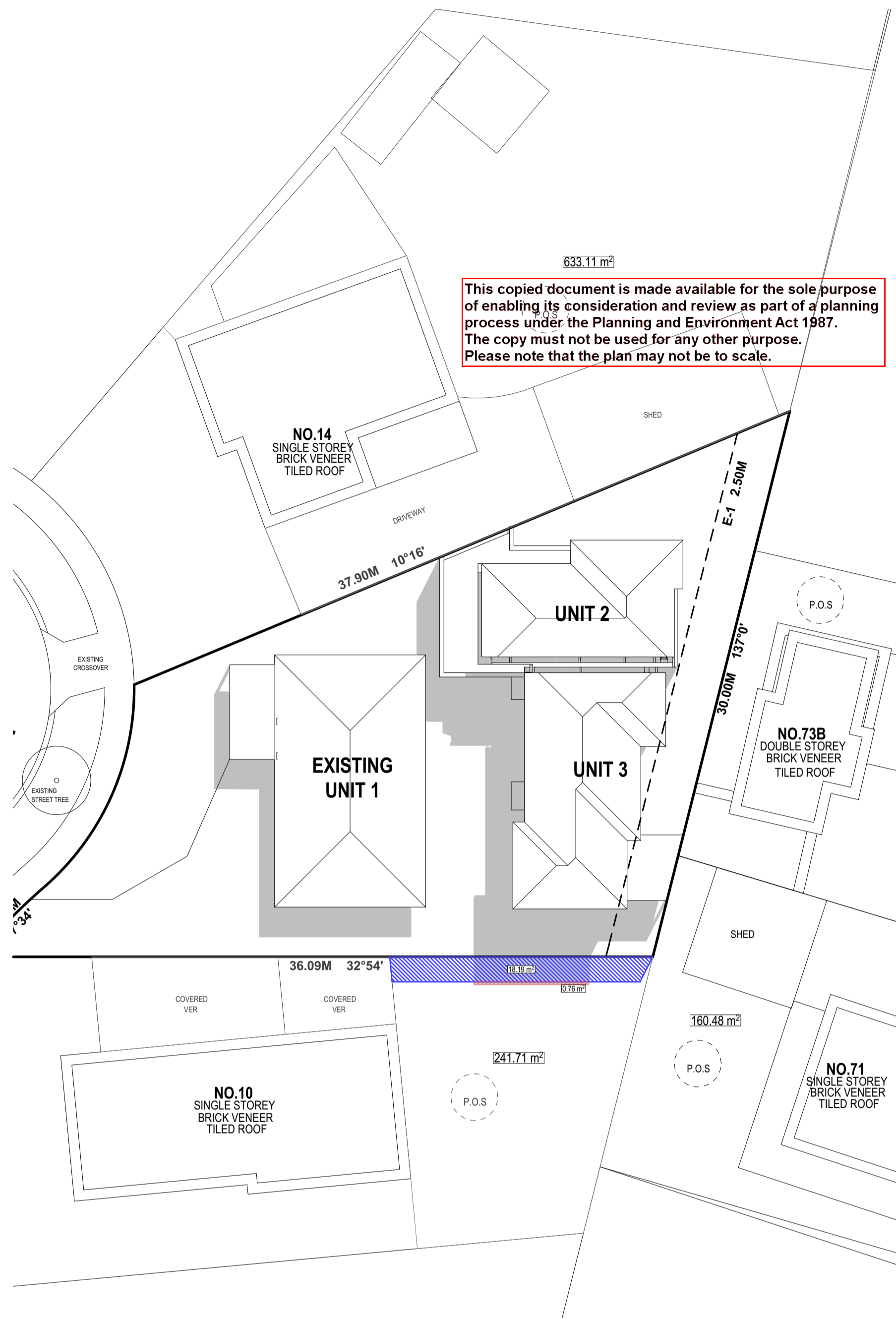
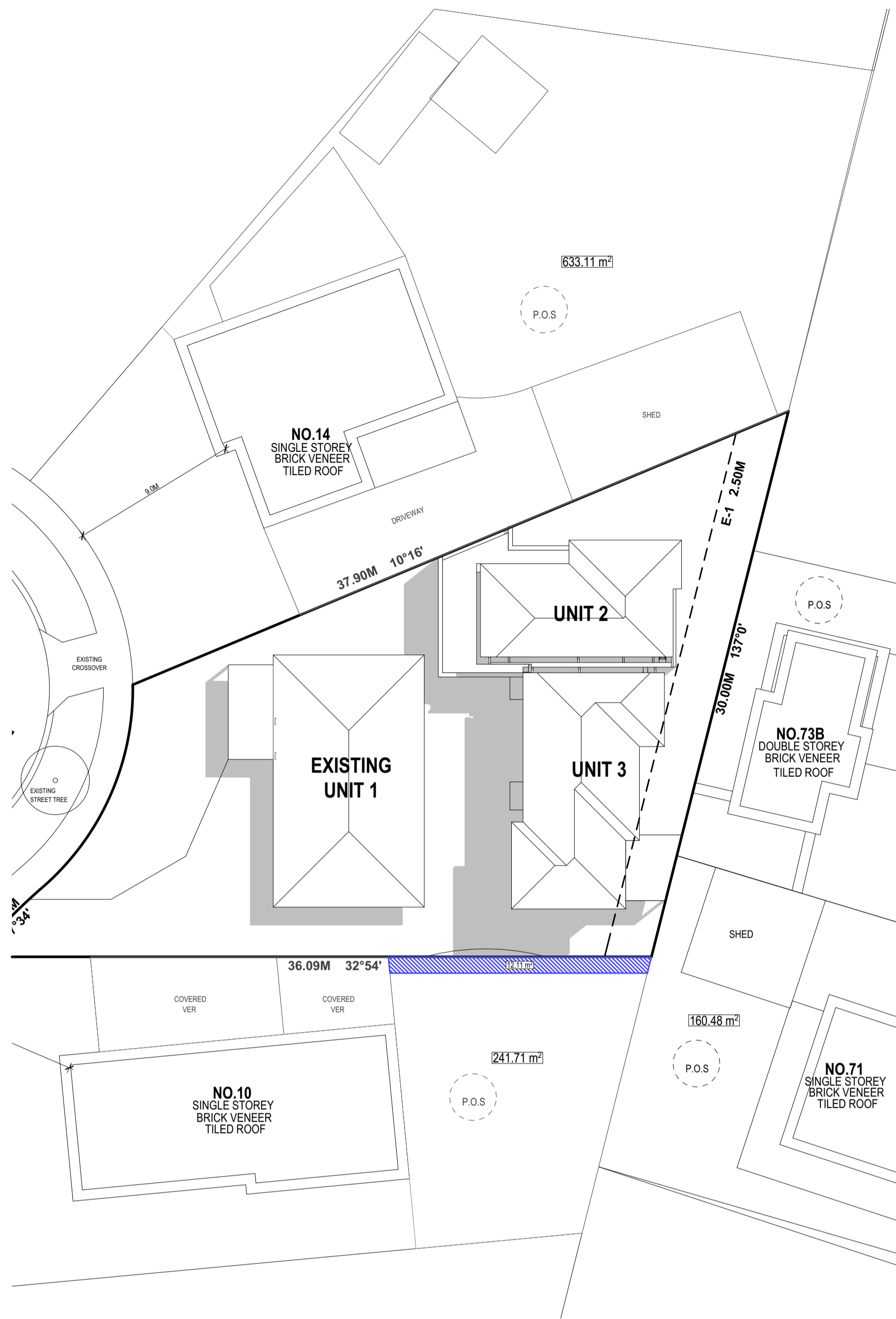
NO. 71 SHANDEEN CT.	TOTAL S.P.O.S	EXIST. SHADOW	PRO. SHADOW	SPOS REMAINED UNSHADOWED
	160.48m <sup>2</sup> 100.00%	00.00m <sup>2</sup> 0.00 %	00.00m <sup>2</sup> 0.00 %	160.48m <sup>2</sup>

**TOWN PLANNING ONLY**

**PROPOSED - SHADOW DIAGRAMS**

DRAWN BY: A.A.D.F.	PROJECT NO.:	REVISION NO.:
CAD REF:	SCALE: 1:200, 1:1 @	REVISION DATE:
DATE: 18.09.24	3/10/2024	DRAWING No: TP 11 of 15





**22nd SEPTEMBER 12PM SHADOW DIAGRAM**  
SCALE: 1:200

**22nd SEPTEMBER 1PM SHADOW DIAGRAM**  
SCALE: 1:200

**22nd SEPTEMBER 2PM SHADOW DIAGRAM**  
SCALE: 1:200

**12PM PRIVATE OPEN SPACE SHADOW ANALYSIS**

NO. 14 SHANDEEN CT.	TOTAL S.P.O.S	EXIST. SHADOW	PRO. SHADOW	SPOS REMAINED UNSHADOWED
	633.11m <sup>2</sup> 100.00%	00.00m <sup>2</sup> 0.00 %	00.00m <sup>2</sup> 0.00 %	633.11m <sup>2</sup>

**12PM PRIVATE OPEN SPACE SHADOW ANALYSIS**

NO. 10 SHANDEEN CT.	TOTAL S.P.O.S	EXIST. SHADOW	PRO. SHADOW	SPOS REMAINED UNSHADOWED
	241.71m <sup>2</sup> 100.00%	11.73m <sup>2</sup> 4.85 %	00.00m <sup>2</sup> 0.00 %	229.98m <sup>2</sup>

**12PM PRIVATE OPEN SPACE SHADOW ANALYSIS**

NO. 71 SHANDEEN CT.	TOTAL S.P.O.S	EXIST. SHADOW	PRO. SHADOW	SPOS REMAINED UNSHADOWED
	160.48m <sup>2</sup> 100.00%	00.00m <sup>2</sup> 0.00 %	00.00m <sup>2</sup> 0.00 %	160.48m <sup>2</sup>

**1PM PRIVATE OPEN SPACE SHADOW ANALYSIS**

NO. 14 SHANDEEN CT.	TOTAL S.P.O.S	EXIST. SHADOW	PRO. SHADOW	SPOS REMAINED UNSHADOWED
	633.11m <sup>2</sup> 100.00%	00.00m <sup>2</sup> 0.00 %	00.00m <sup>2</sup> 0.00 %	633.11m <sup>2</sup>

**1PM PRIVATE OPEN SPACE SHADOW ANALYSIS**

NO. 10 SHANDEEN CT.	TOTAL S.P.O.S	EXIST. SHADOW	PRO. SHADOW	SPOS REMAINED UNSHADOWED
	241.71m <sup>2</sup> 100.00%	18.19m <sup>2</sup> 7.52 %	0.58m <sup>2</sup> 0.23 %	222.94m <sup>2</sup>

**1PM PRIVATE OPEN SPACE SHADOW ANALYSIS**

NO. 71 SHANDEEN CT.	TOTAL S.P.O.S	EXIST. SHADOW	PRO. SHADOW	SPOS REMAINED UNSHADOWED
	160.48m <sup>2</sup> 100.00%	00.00m <sup>2</sup> 0.00 %	00.00m <sup>2</sup> 0.00 %	160.48m <sup>2</sup>

**2PM PRIVATE OPEN SPACE SHADOW ANALYSIS**

NO. 14 SHANDEEN CT.	TOTAL S.P.O.S	EXIST. SHADOW	PRO. SHADOW	SPOS REMAINED UNSHADOWED
	633.11m <sup>2</sup> 100.00%	00.00m <sup>2</sup> 0.00 %	00.00m <sup>2</sup> 0.00 %	633.11m <sup>2</sup>

**2PM PRIVATE OPEN SPACE SHADOW ANALYSIS**

NO. 10 SHANDEEN CT.	TOTAL S.P.O.S	EXIST. SHADOW	PRO. SHADOW	SPOS REMAINED UNSHADOWED
	241.71m <sup>2</sup> 100.00%	11.73m <sup>2</sup> 4.85 %	7.76m <sup>2</sup> 3.21 %	222.22m <sup>2</sup>

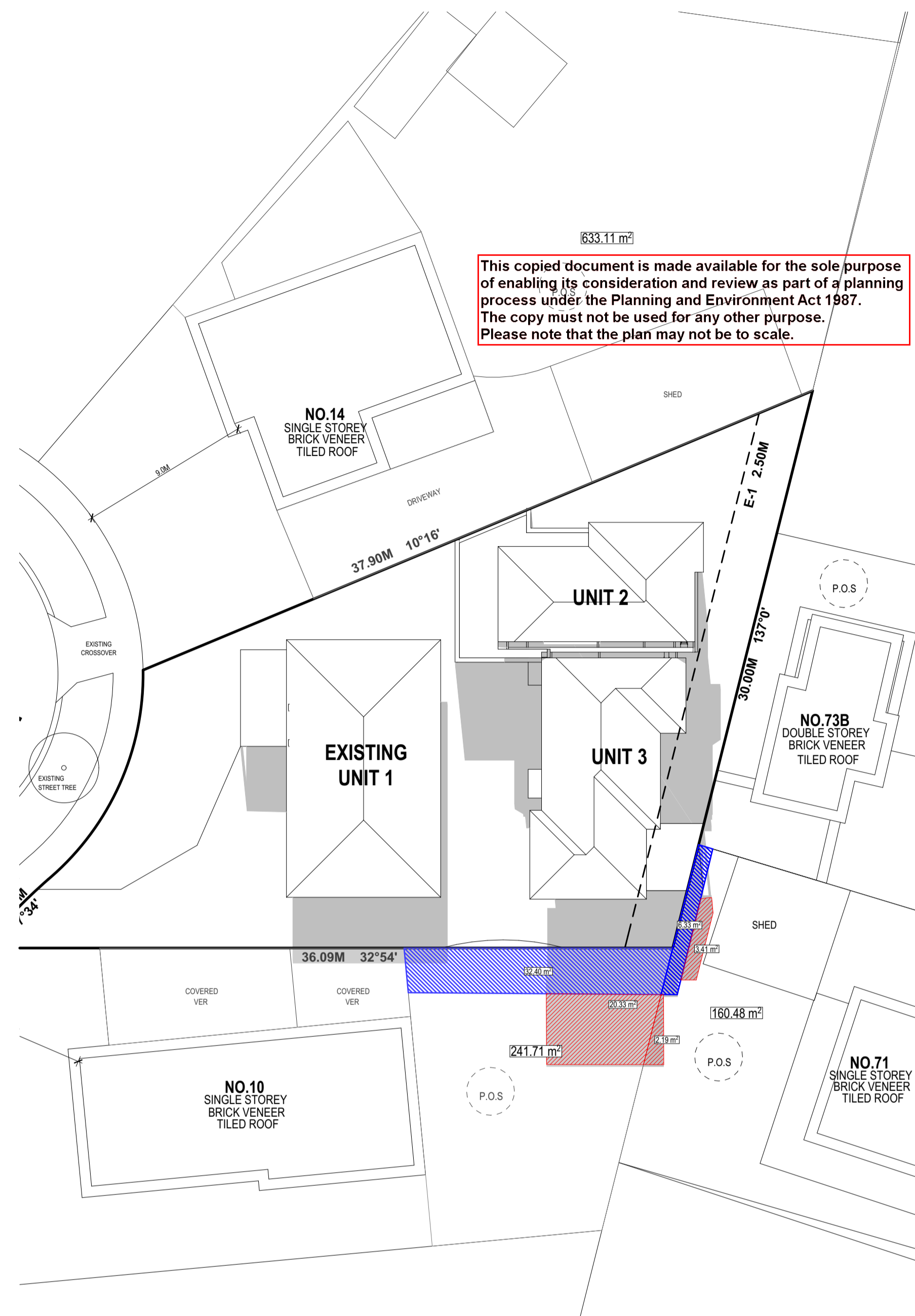
**2PM PRIVATE OPEN SPACE SHADOW ANALYSIS**

NO. 71 SHANDEEN CT.	TOTAL S.P.O.S	EXIST. SHADOW	PRO. SHADOW	SPOS REMAINED UNSHADOWED
	160.48m <sup>2</sup> 100.00%	1.98m <sup>2</sup> 1.23 %	00.00m <sup>2</sup> 0.00 %	158.50m <sup>2</sup>

**TOWN PLANNING ONLY**

**PROPOSED - SHADOW DIAGRAMS (1)**

DRAWN BY: A.A.D.F.	PROJECT NO.:	REVISION NO.:
CAD REF:	SCALE: 1:200 @ A1	REVISION DATE:
DATE: 18.09.24	3/10/2024	DRAWING No: TP 12 of 15



### 22nd SEPTEMBER 3PM SHADOW DIAGRAM

SCALE: 1:200

#### 3PM PRIVATE OPEN SPACE SHADOW ANALYSIS

NO. 14 SHANDEEN CT.	TOTAL S.P.O.S	633.11m <sup>2</sup>	100.00%	SPOS REMAINED
	EXIST. SHADOW	00.00m <sup>2</sup>	0.00 %	UNSHADOWED
	PRO. SHADOW	00.00m <sup>2</sup>	0.00 %	633.11m <sup>2</sup>

#### 3PM PRIVATE OPEN SPACE SHADOW ANALYSIS

NO. 10 SHANDEEN CT.	TOTAL S.P.O.S	241.71m <sup>2</sup>	100.00%	SPOS REMAINED
	EXIST. SHADOW	32.40m <sup>2</sup>	13.40 %	UNSHADOWED
	PRO. SHADOW	15.63m <sup>2</sup>	6.46 %	193.68m <sup>2</sup>

#### 3PM PRIVATE OPEN SPACE SHADOW ANALYSIS

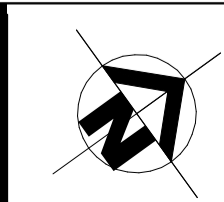
NO. 71 SHANDEEN CT.	TOTAL S.P.O.S	160.48m <sup>2</sup>	100.00%	SPOS REMAINED
	EXIST. SHADOW	5.51m <sup>2</sup>	3.43 %	UNSHADOWED
	PRO. SHADOW	3.41m <sup>2</sup>	2.13 %	151.56m <sup>2</sup>

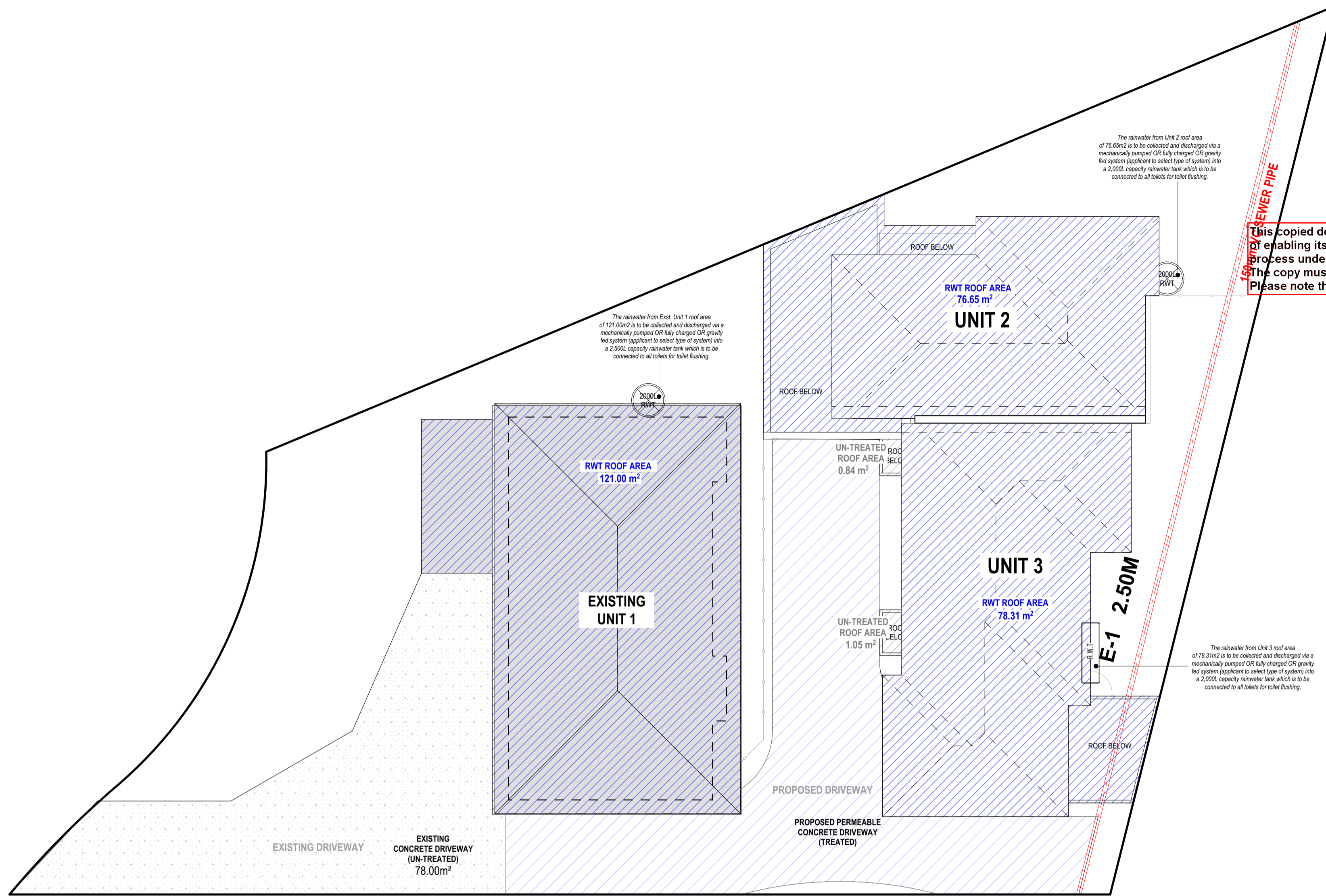
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**PROPOSED - SHADOW DIAGRAMS (2)**

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CAD REF:	SCALE: 1:200 @ A1	REVISION DATE:
DATE: 18.09.24	3/10/2024	DRAWING No: TP 13 of 15





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<b>NATHERS STAR RATING:</b>	
<b>7.0 STARS</b>	
<b>HEATING &amp; COOLING SYSTEMS:</b>	
HEATING SYSTEMS: EFFICIENCY RATING:	REVERSE CYCLE SPACE 6-STAR
COOLING SYSTEMS: EFFICIENCY RATING:	REFRIGERATIVE SPACE 6-STAR
<b>HOT WATER SYSTEMS:</b>	
HOT WATER SYSTEMS: SOLAR CONTRIBUTION: EFFICIENCY RATING:	ELECTRIC INSTANTANEOUS 0% 6-STAR
<b>WATER FITTINGS/FIXTURES:</b>	
SHOWERHEADS: BATH TUB STYLE: KITCHEN TAPS: BATHROOM TAPS: WATER CLOSET (WC):	4-STAR WELS (>4.5 <=6.0) MEDIUM 5-STAR WELS 5-STAR WELS 4-STAR WELS
<b>INTERNAL LIGHTING:</b>	
THE PROPOSED DEVELOPMENT TO INCLUDE AN INTERNAL LIGHTING LAYOUT WITH MAXIMUM ILLUMINATION POWER DENSITY OF 4W / M²	
<b>ADJUSTABLE SHADING:</b>	
ADJUSTABLE EXTERNAL SHADING DEVICES ('DROP DOWN AWNINGS') TO BE PROVIDED TO ALL EAST / WEST FACING HABITABLE ROOM WINDOWS	
<b>DOUBLE GLAZING:</b>	
DOUBLE GLAZING TO BE PROVIDED TO ALL WINDOWS LOCATED WITHIN A HABITABLE ROOM	
<b>BICYCLE PARKING:</b>	
<input type="checkbox"/> EACH GARAGE TO BE PROVIDED WITH A WALL MOUNTED BIKE RACK - <input type="checkbox"/> EACH GARAGE TO BE PROVIDED WITH ELECTRIC VEHICLE CHARGER POINTS	
<b>NO GAS CONNECTION:</b>	
NO GAS CONNECTION TO ALL PROPOSED DWELLINGS	

<b>WSUD LEGEND/TREATMENT METHOD</b>	
	-NOMINATED ROOF AREA USED FOR ABOVE GROUND RAIN GARDEN
	-NOMINATED ROOF AREA USED FOR RAIN WATER TANKS
	-NOMINATED ROOF AREA TO BE UNUSED
	-MIN. 2000L RAIN WATER TANK TO TREAT NOMINATED ROOF AREA
	-MIN. 500(W)x900(H)mm ABOVE GROUND RAIN GARDEN BED TO TREAT NOMINATED ROOF AREA
	-NOMINATED NON-PERMEABLE CONCRETE DRIVEWAY
	-NOMINATED PERMEABLE PAVING
	-NOMINATED GRASS AREA

## PROPOSED WSUD ROOF CATCHMENT PLAN

SCALE: 1:100

**WATER SENSITIVE URBAN DESIGN NOTES:**

ALL DRAINAGE TO BE DESIGNED AND CERTIFIED BY AUTHORIZED DRAINAGE ENGINEER

EACH RAINWATER TANK IS TO BE CONNECTED TO ALL TOILETS IN EACH DWELLING

GRAVITY FED OR FULLY CHARGED SYSTEM IS NECESSARY TO ACHIEVE THE MINIMUM ROOF CATCHMENT AREA IN ACCORDANCE WITH STORM REQUIREMENTS.

THE OVERFLOW SYSTEMS FOR ALL RAINWATER TANKS MUST BE GRAVITY FED TO THE LEGAL POINT OF DISCHARGE AND NOT SERVICED BY OVERFLOW PUMPS

THE TANKS MUST BE USED ONLY FOR REUSE WITHIN THE DWELLINGS, AND ARE COMPLETELY INDEPENDENT OF ANY DETENTION REQUIREMENTS (THROUGH THE LEGAL POINT OF DISCHARGE PROCESS)

IN NO CASE WILL RAINWATER PIPES BE CHARGED UNDER THE SLAB

GRAVITY FED SYSTEM TO BE USED WHEN HARVESTING STORMWATER FROM ROOF TO RAINGARDENS.

RAINGARDENS TO BE BUILT MINIMUM 300MM FROM ADJOINING FOOTINGS

BUILD THE RAINGARDEN CLOSE TO THE WATER SOURCE. THIS WILL HELP MINIMISE THE ADDITIONAL PLUMBING NEEDED TO BRING WATER TO THE RAINGARDEN.

RAINGARDEN MUST BE FULLY LINED AND HAVE OVERFLOW PLUMBED INTO THE STORMWATER SYSTEM.

FOR EXCAVATION AND CLEARANCE REFER TO BUILDING A RAINGARDEN INSTRUCTION SHEET. RAINGARDENS MUST BE BUILT TO MELBOURNE WATER REQUIREMENTS

MAINTENANCE OF WSUD TREATMENTS INCLUDING RAIN WATER TANKS, RAINGARDENS ETC ARE THE RESPONSIBILITY OF THE PROPERTY OWNER.

THE FINAL DESIGN OF THE STORMWATER SYSTEM WILL MEET COUNCIL DRAINAGE ENGINEERS' REQUIREMENTS. THE DESIGNED SYSTEM COMPLIES WITH MELBOURNE WATER STORM REQUIREMENTS THAT MEETS VICTORIAN BEST PRACTICE STORMWATER GUIDELINES

<b>MAINTENANCE GUIDELINES (EVERY 3-6 MONTHS)</b>	
RAINWATER TANKS:	TO BE INSPECTED, INLET TO BE CLEANED REGULARLY. IF SLUDGE IS PRESENT, TANKS MUST BE DRAINED BY PROFESSIONAL PLUMBER AND CLEANED
GUTTERS AND DOWNPIPES:	TO BE INSPECTED AND CLEANED REGULARLY.
FIRST FLUSH DEVICES:	IF APPLICABLE, TO BE INSPECTED AND CLEANED REGULARLY.
RAINGARDENS:	TO BE INSPECTED, INLET TO BE CLEANED REGULARLY. IF SLUDGE IS PRESENT, RAISED RAINGARDENS MUST BE DRAINED BY PROFESSIONAL PLUMBER AND CLEANED
PERMEABLE PAVING:	TO BE INSPECTED AND CLEANED REGULARLY TO ALLOW PAVERS TO REMAIN PERMEABLE AND MAINTAINED AT THE CORRECT LEVEL.

### AREA ANALYSIS

SITE AREA	697.03m <sup>2</sup>	100%
SITE COVERAGE	264.28m <sup>2</sup>	37.91%
NON-PERMEABLE SURFACES	82.63m <sup>2</sup>	11.85%
PERMEABLE SURFACES	350.47m <sup>2</sup>	50.28%
GARDEN AREA	246.74m <sup>2</sup>	35.39%

### EXISTING UNIT 1

GROUND FLOOR	89.83m <sup>2</sup>
GARAGE	86.14m <sup>2</sup>
VERANDAH	14.38m <sup>2</sup>
<b>TOTAL</b>	<b>190.35m<sup>2</sup> 20.48sq</b>

### UNIT 2

GROUND FLOOR	52.63m <sup>2</sup>
FIRST FLOOR	55.96m <sup>2</sup>
GARAGE	26.94m <sup>2</sup>
PORCH	1.20m <sup>2</sup>
<b>TOTAL</b>	<b>135.53m<sup>2</sup> 14.58sq</b>

### UNIT 3

GROUND FLOOR	48.99m <sup>2</sup>
FIRST FLOOR	71.72m <sup>2</sup>
CARPOR	22.54m <sup>2</sup>
PORCH	1.50m <sup>2</sup>
<b>TOTAL</b>	<b>144.75m<sup>2</sup> 15.58qr</b>



## STORM Rating Report

TransactionID: 0  
 Municipality: HUME  
 Rainfall Station: HUME  
 Address: 12 SHANDEEN COURT  
 MEADOW HEIGHTS VIC VIC  
 Assessor: CAPP  
 Development Type: Residential - Multiunit  
 Allotment Site (m2): 697.03  
 STORM Rating %: 102

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Unit 1 - Water Tank	121.00	Rainwater Tank	2,500.00	2	121.00	94.20
Unit 2 - Water Tank	76.65	Rainwater Tank	2,000.00	2	152.00	86.00
Unit 3 - Water Tank	78.31	Rainwater Tank	2,000.00	2	125.80	96.30
Unit 2 - Un-Treated	0.85	None	0.00	0	0.00	0.00
Unit 3 - Un-Treated	1.05	None	0.00	0	0.00	0.00
Common Driveway	78.00	None	0.00	0	0.00	0.00

Date Generated: 09-Sep-2024

Program Version: 1.0.0

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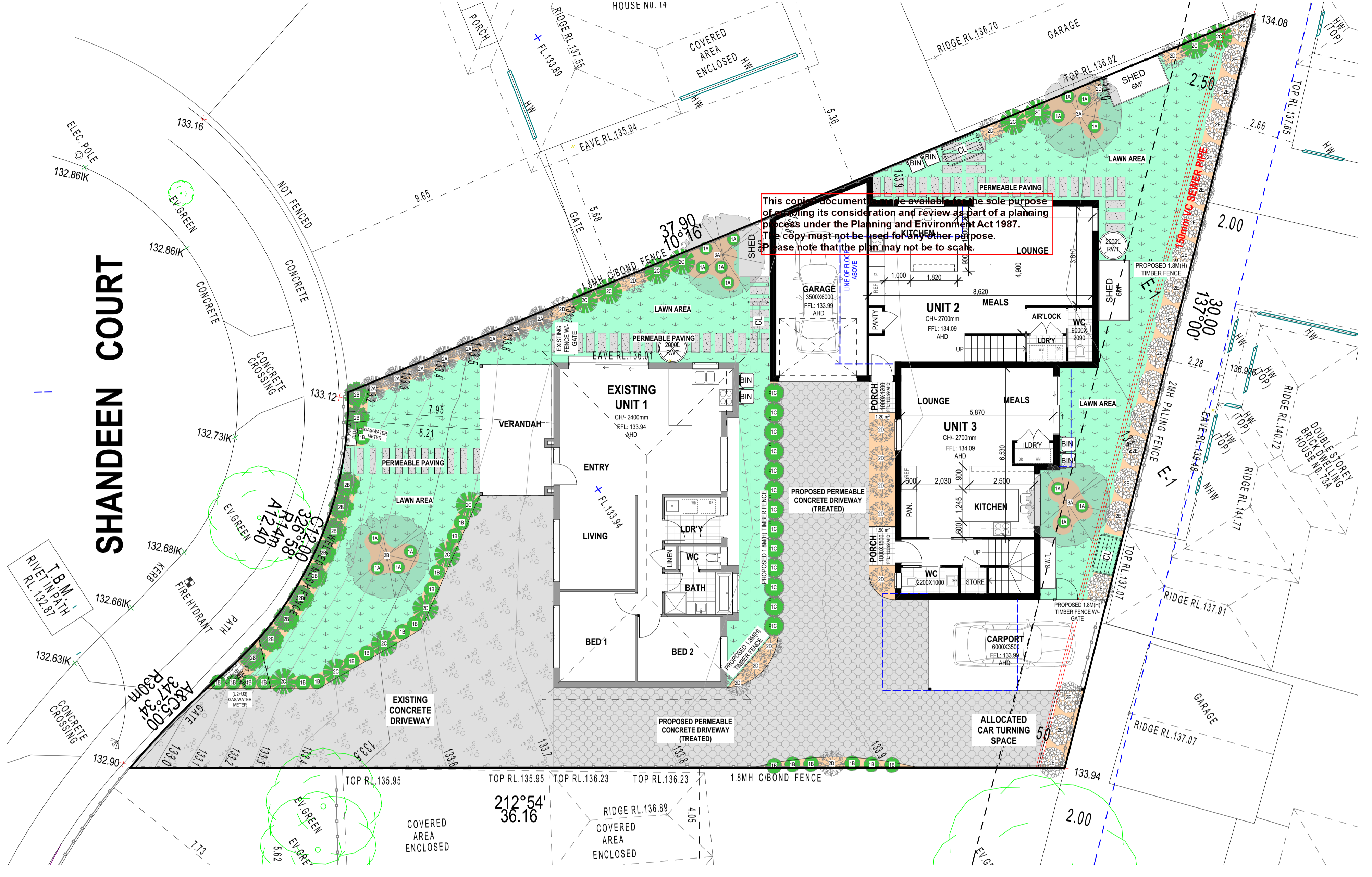
## PROPOSED - WSUD ROOF CATCHMENT PLAN

DRAWN BY: A.A.D.F.	PROJECT NO.:	REVISION NO.:
SCALE: 1:100, 1:120, 1:150	REVISION DATE:	DRAWING No: TP
DATE: 18.09.24	3/10/2024	14 of 15

SPECIFICATIONS

SUBGRADE PREPARATION
SITE TO BE PREPARED IN ACCORDANCE WITH BEST HORTICULTURAL PRACTICE AND UNDER APPROPRIATE CONDITIONS. DISTURBANCE TO NATIVE SOIL STRUCTURE IS TO BE MINIMISED. THE USE OF MACHINERY THAT MAY DAMAGE SOIL STRUCTURE OR PROFILE IS NOT ACCEPTABLE.

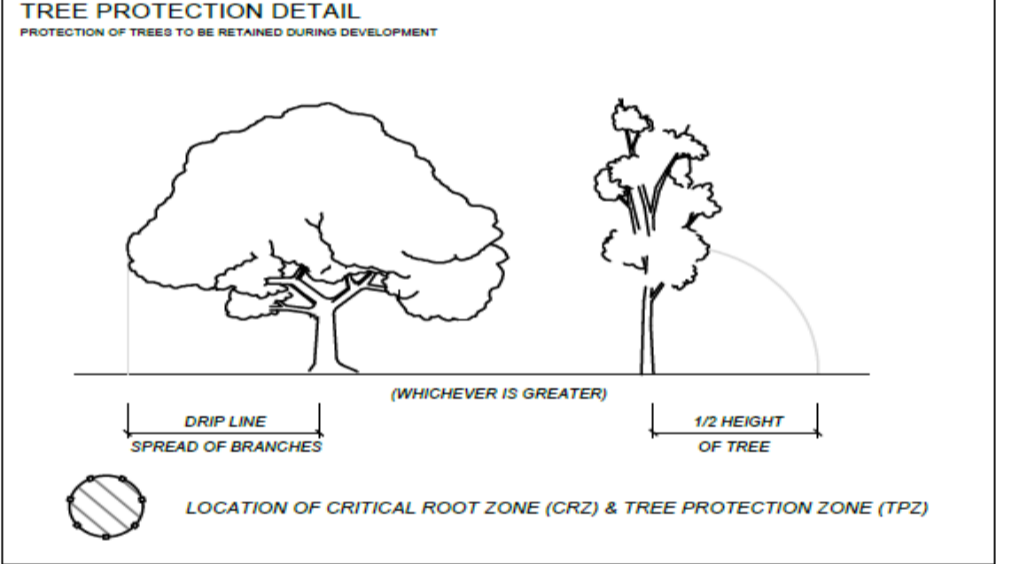
SHANDEEN COURT



LEGEND
PROPOSED GARDEN BED
PROPOSED LAWN
PROPOSED PERMEABLE PAVING
PROPOSED CONCRETE DRIVEWAY
PROPOSED PERMEABLE DRIVEWAY
PROPOSED EVERGREEN SHRUBS & GROUNDCOVER
PROPOSED EVERGREEN CANOPY TREE
VISIBILITY SPLAYS
PROPOSED BINS
PROPOSED SHED
PROPOSED CLOTHESLINE
PROPOSED RAIN WATER TANK

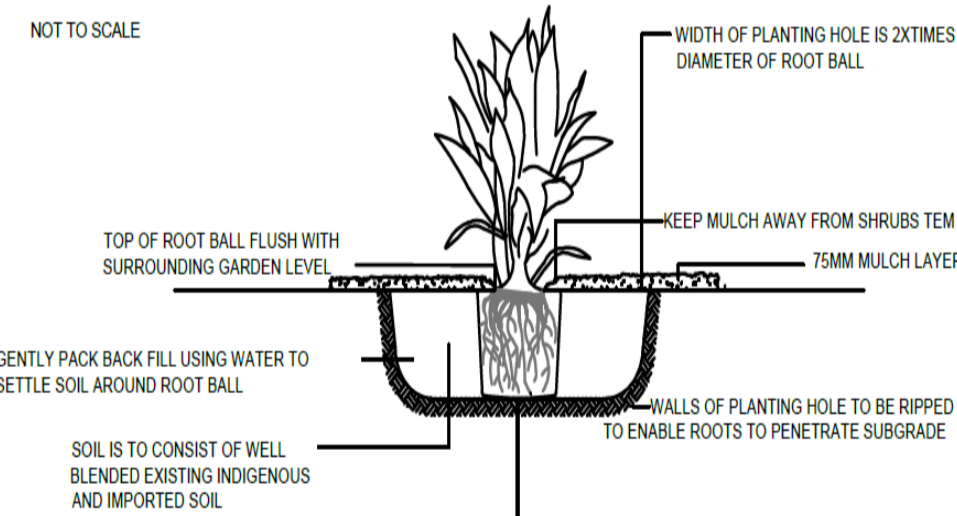
PROPOSED PLANT/TREE SCHEDULE

Table with columns: CODE, BOTANICAL NAME, COMMON NAME, HxW, SUPPLY SIZE, QTY. Includes categories for GROUNDCOVERS, SHRUBS, and TREES.



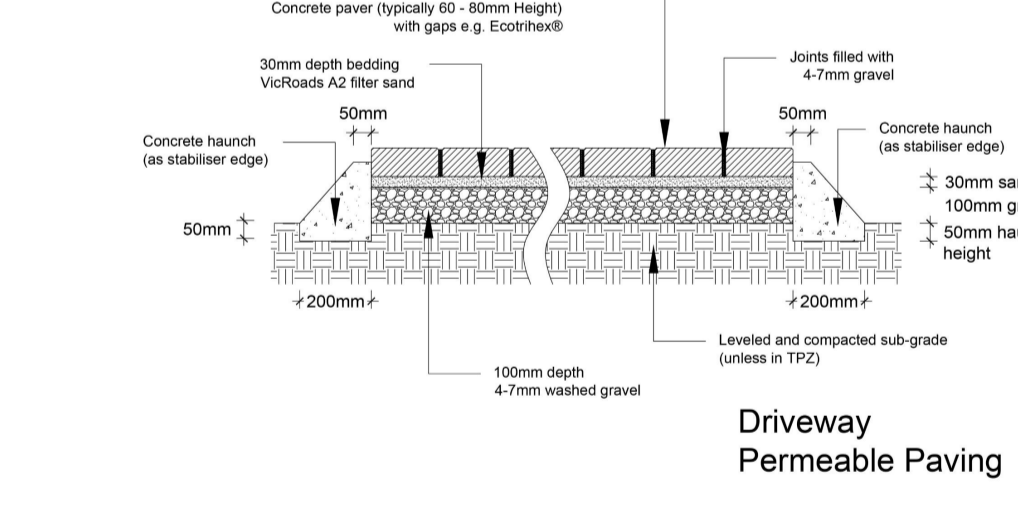
- NOTES:
1) Trees shall have a well developed taper and be self supporting.
2) Trees shall be of good health and vigor.
3) Ensure all labels, wires, twine and other binding materials are removed from planting material, including root balls prior to backfilling.

PLANTING DETAIL FOR SHRUBS

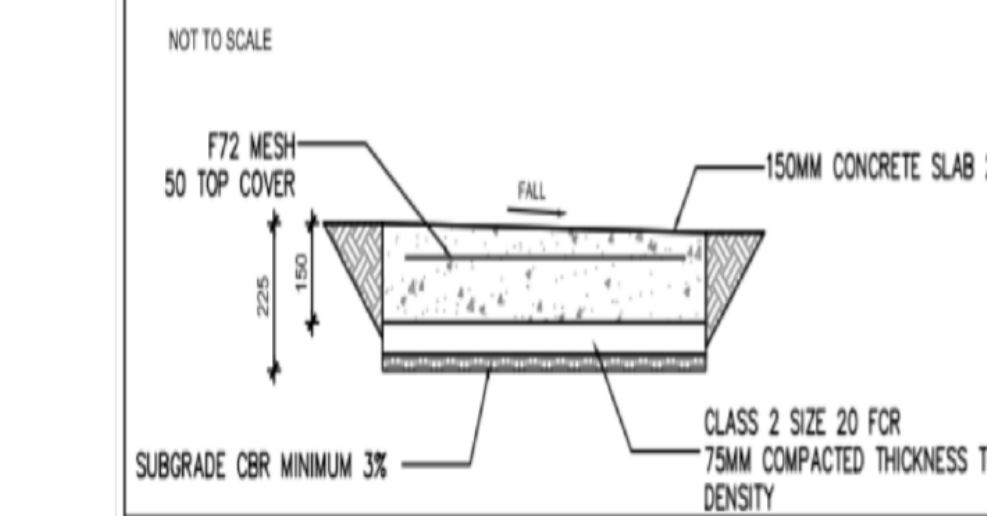


1 LAWN AREA Scale: 1:10 @A1

DRIVEWAY PERMEABLE PAVING

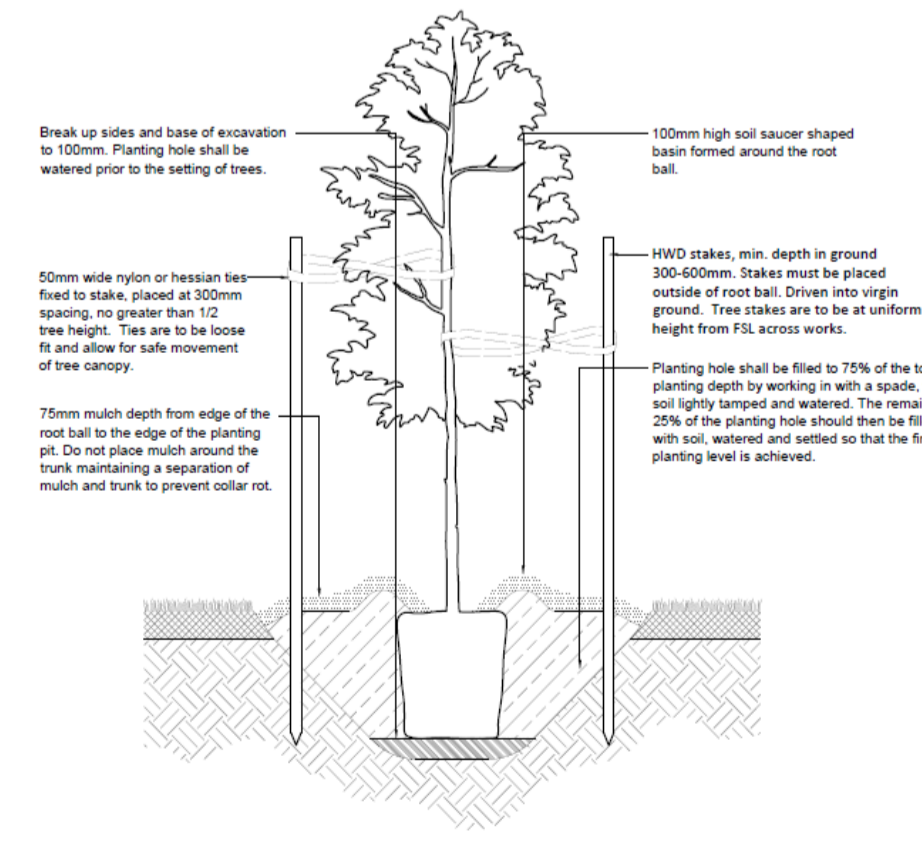


CONCRETE DRIVEWAY DETAIL

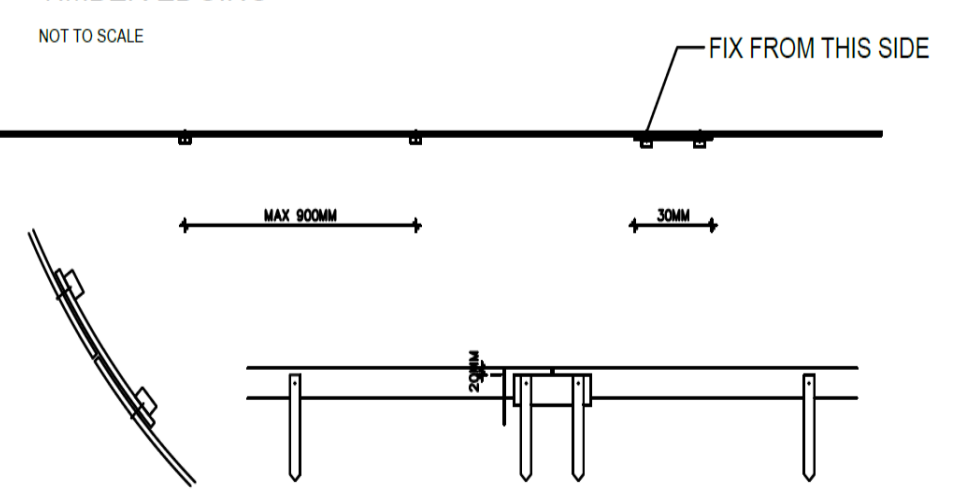


DRAINAGE

50mm wide nylon or hearsec line fixed to stakes, graded at 300mm spacing, no greater than 1% free height. Ties are to be loose fit and allow for safe movement of tree canopy.

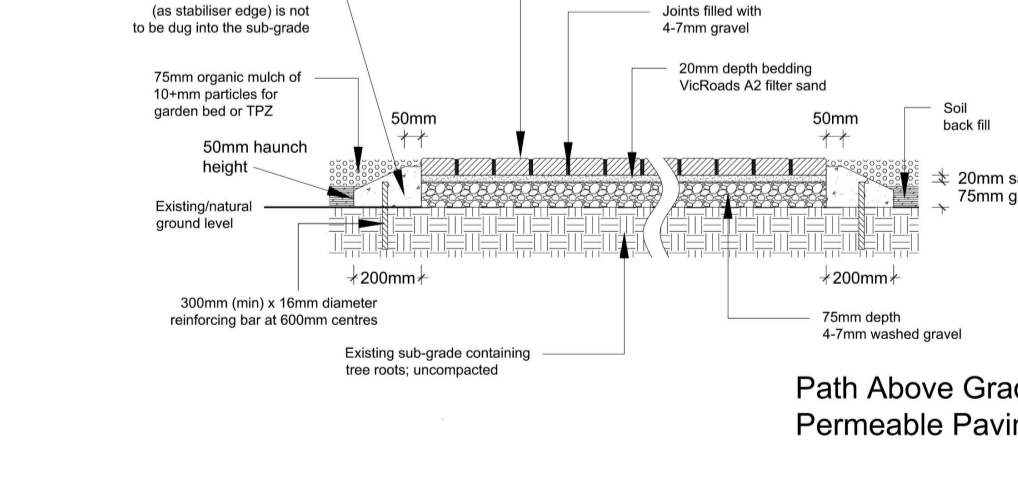


TIMBER EDGING

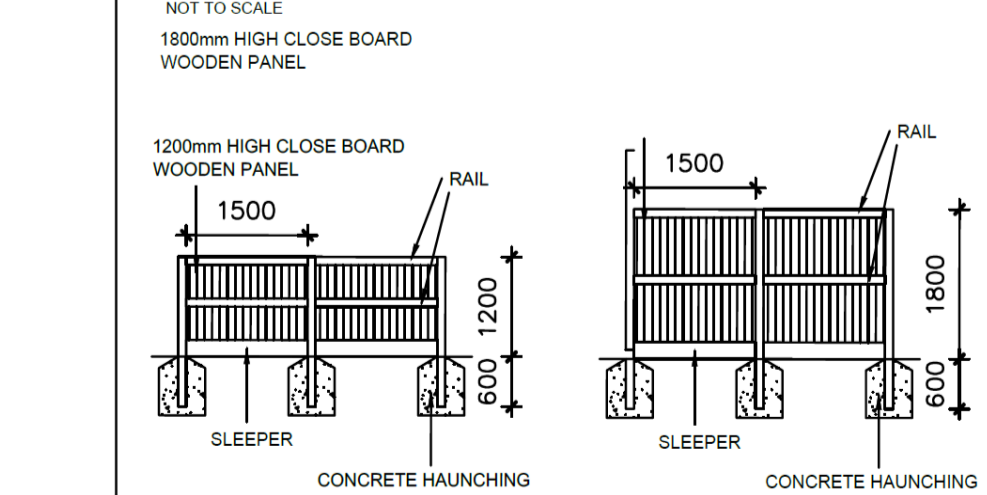


1 GARDEN BED WITH MULCH Scale: 1:10 @A1

PATH ABOVE GRADE PERMEABLE PAVING



TIMBER PALING FENCE



LANDSCAPE PLAN

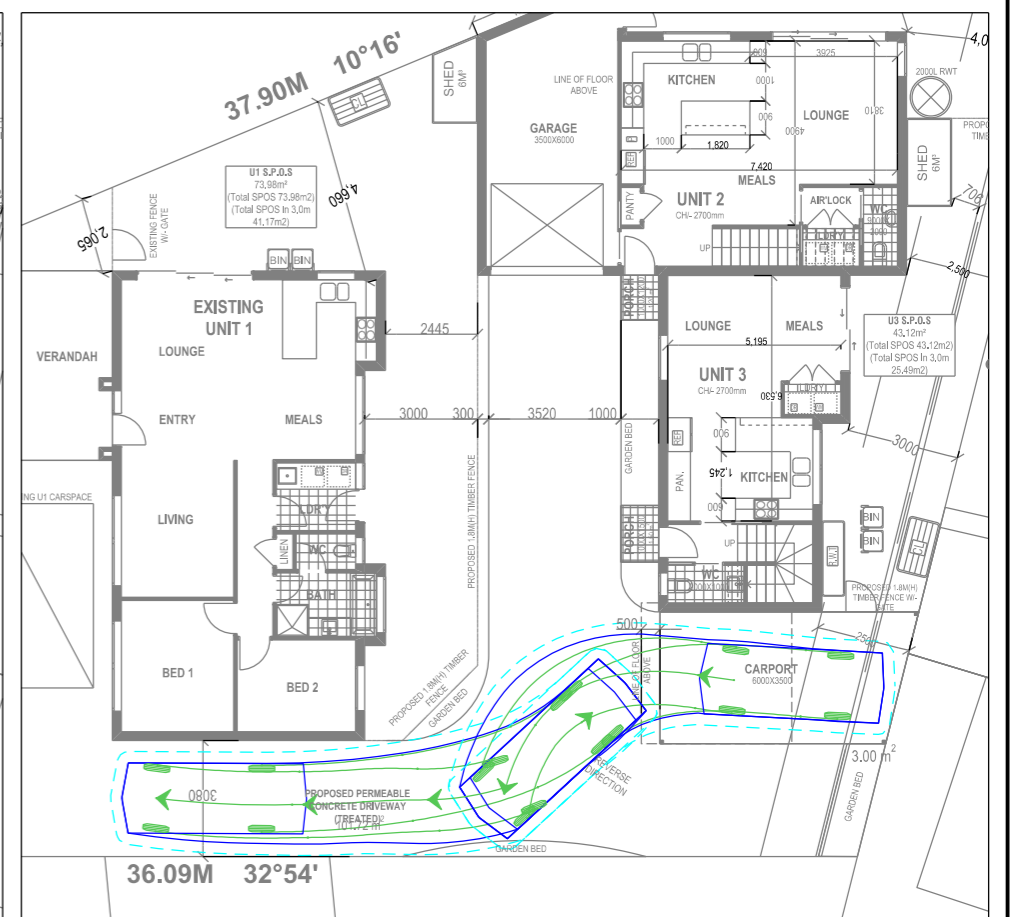
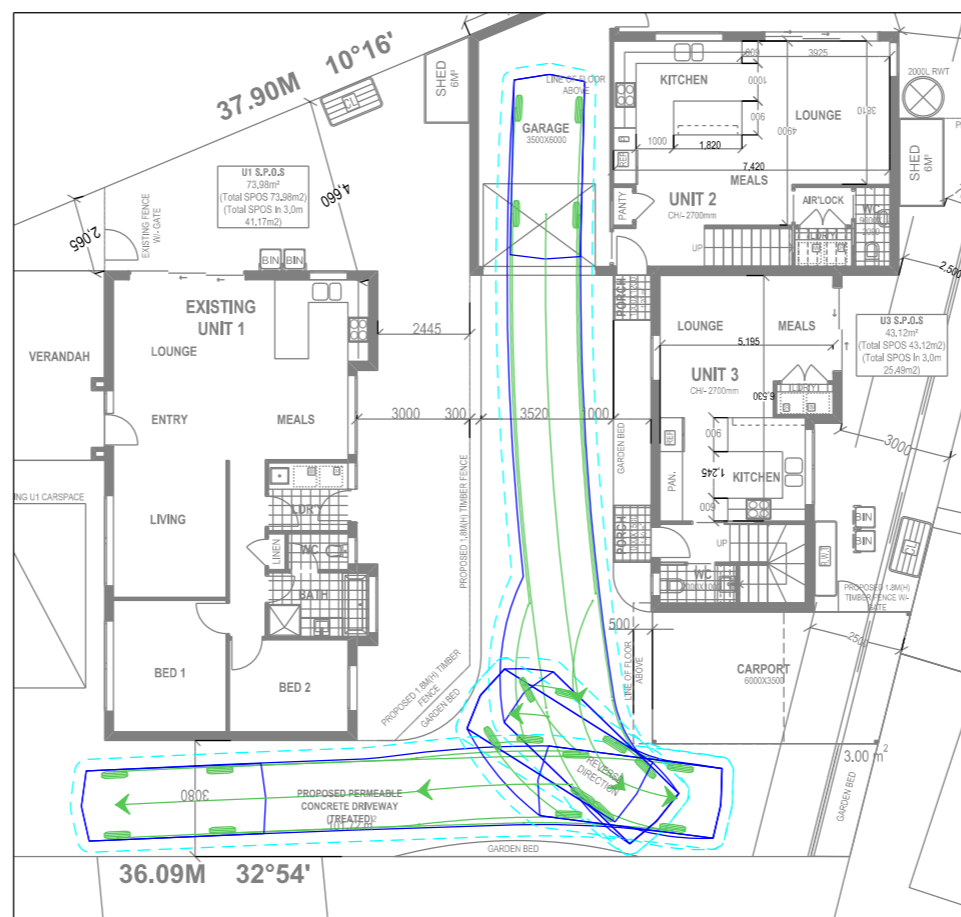
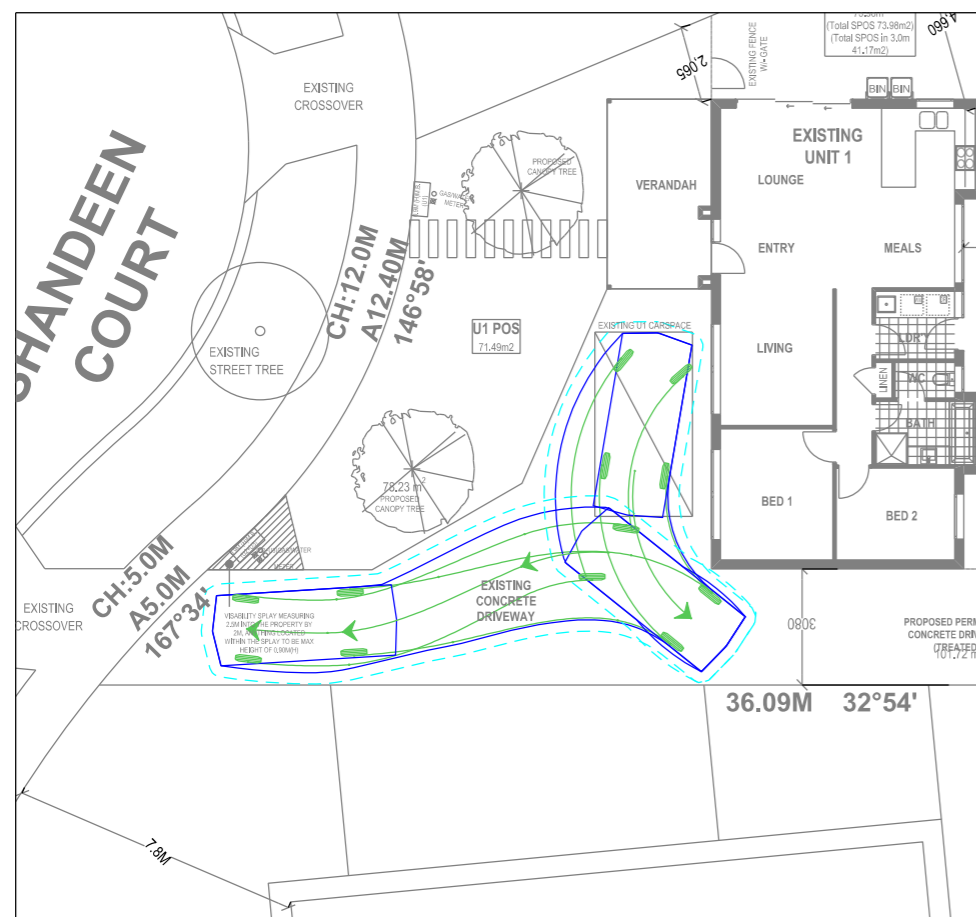
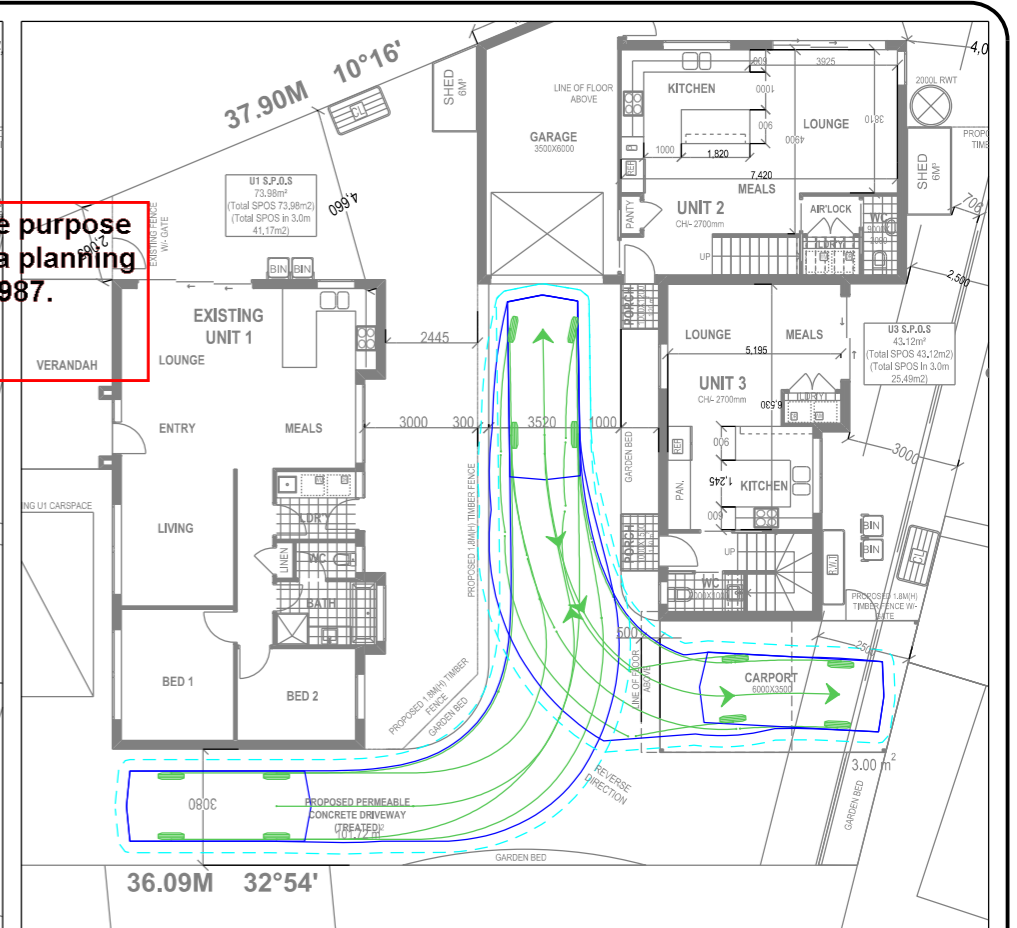
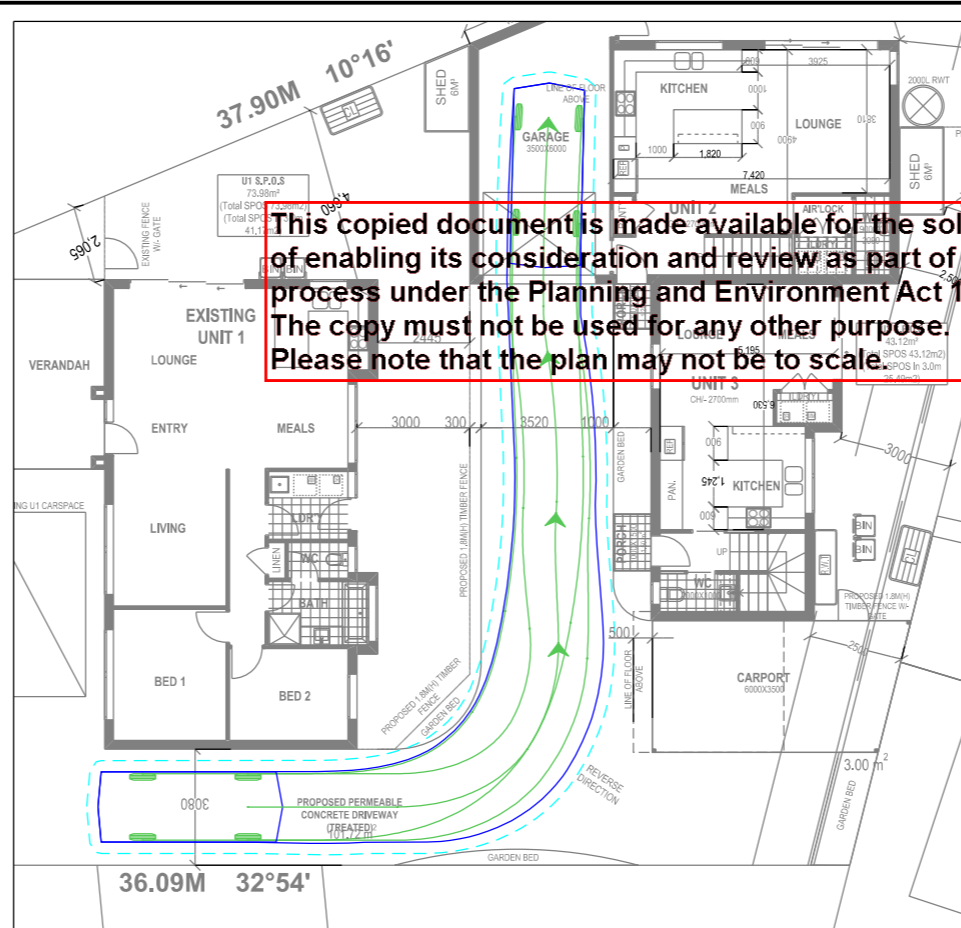
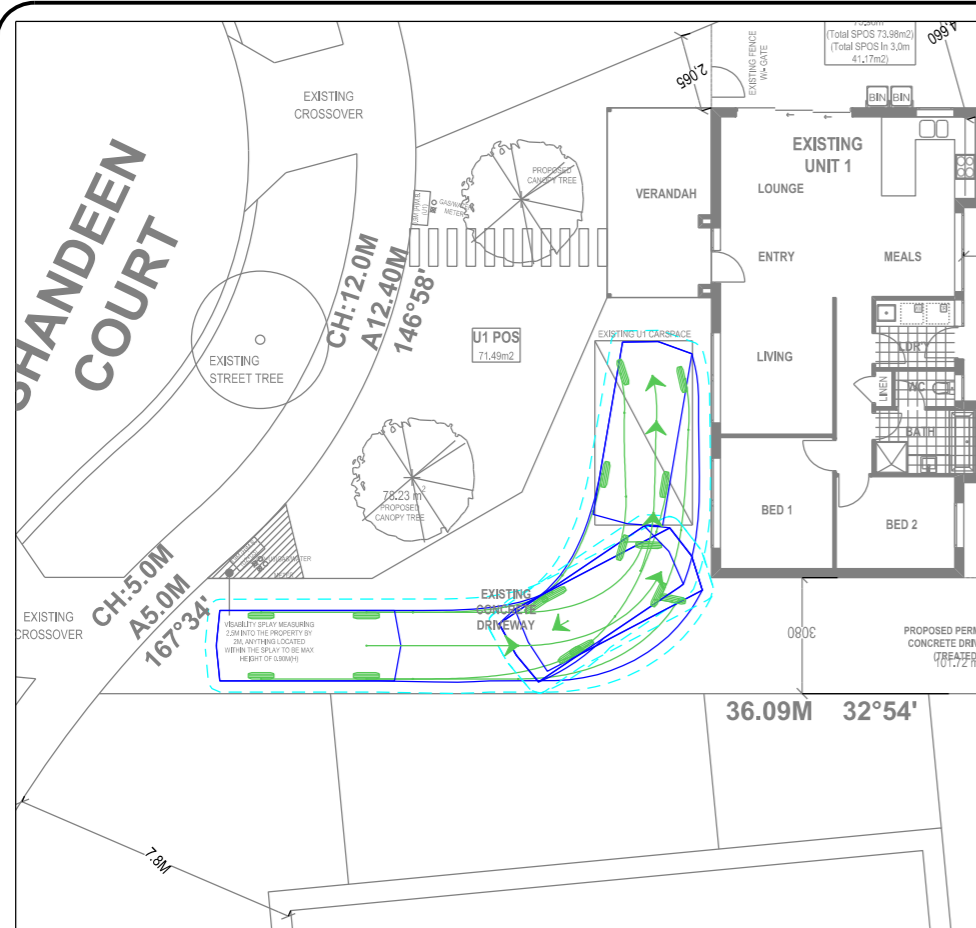
SCALE: 1:100

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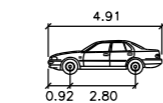
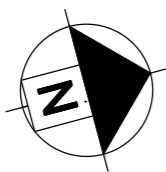
PROPOSED - LANDSCAPE PLAN

Table with columns: DRAWN BY, PROJECT NO., REVISION NO., SCALE, REVISION DATE, DRAWING No., DATE.



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NOT FOR CONSTRUCTION



B85  
 Width : 1.87  
 Track : 1.77  
 Lock to Lock Time : 6.0  
 Steering Angle : 34.1

**B85 ENTRY/EXIT**  
 12 Shandeem Court Meadow Heights  
 1:200 @ A3 12/09/24  
 DWG NO: 26523001

KEY	
	CENTRE LINE OF FRONT WHEELS
	WHEEL PATH
	VEHICLE BODY
	VEHICLE CLEARANCE LINE (300mm FROM VEHICLE BODY)



ose  
ning

*Sustainability Design Assessment Report*

*12 Shandeen court Meadow Heights*

*Proposed Dual Occupancy Development*



<i>Report Number</i>	TP_12SC
<i>Date</i>	02 October
<i>Consultant</i>	[Redacted]
<i>Contact</i>	
<i>Architect</i>	

*Introduction* .....3

*Project Information* ...4

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*BESS Assessment* .....7

*Schedule of ESD Commitments* .....9

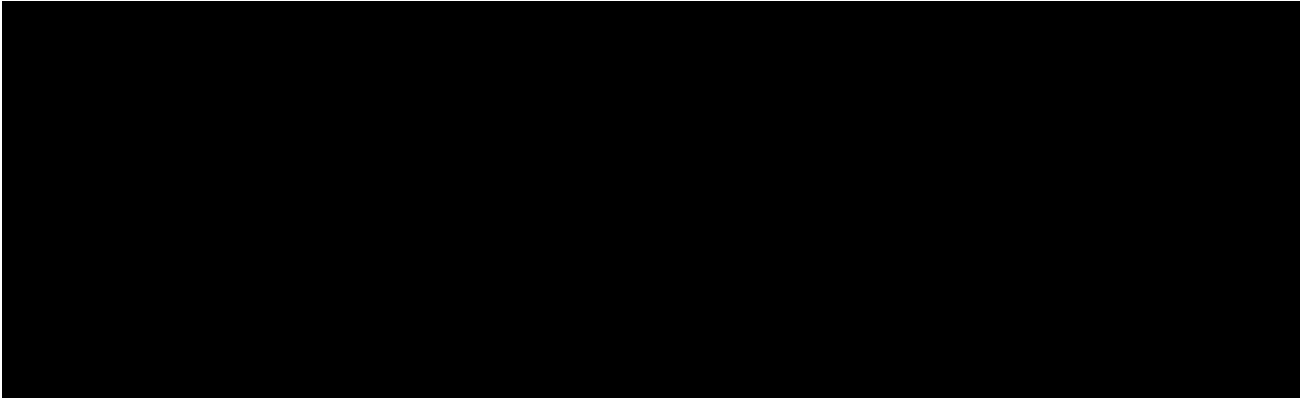
*Appendix A: STORM Assessment* .....10

*WSUD Treatment Summary* .....12

*Benefits of Stormwater Management Systems* .....15

*Appendix B: Construction Site Management Plan* .....16

*Appendix C: BESS Report* .....20



## Introduction

This report addresses the Sustainable Design Assessment (SDA) and Environmental Sustainability Assessment (ESA) process under the Planning and Environment Act 1987. This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The copy must not be used for any other purpose.

The Built Environment Sustainability Scorecard (BESS) and Melbourne Water's Stormwater Treatment Objective Relative Measure (STORM) Calculator were used to evaluate the development's environmental impact. This report aims to demonstrate that the proposed dual occupancy development at 12 Shandeen Court Meadow Heights meets best practices for environmental sustainability.

The SDAPP framework promotes thinking about the following ten important sustainable building categories:



### SDAPP - 10 Key Sustainable Building Categories



**1.0 Indoor Environment Quality:** to achieve a healthy indoor environment quality for the wellbeing of building occupants.



**2.0 Energy Efficiency:** to ensure the efficient use of energy, to reduce total operating greenhouse emissions and to reduce energy peak demand.



**3.0 Water Efficiency:** to ensure the efficient use of water, to reduce total operating potable water use and to encourage the appropriate use of alternative water sources.



**4.0 Stormwater Management:** to reduce the impact of stormwater run-off, to improve the water quality of stormwater run-off, to achieve best practice stormwater quality outcomes and to incorporate the use of water sensitive urban design, including rainwater re-use.



**5.0 Building Materials:** to minimise the environmental impacts of materials used by encouraging the use of materials with a favourable lifecycle assessment



**6.0 Transport:** to minimise car dependency and to ensure that the built environment is designed to promote the use of public transport, walking and cycling.



**7.0 Waste Management:** to ensure waste avoidance reuse and recycling during the construction and operation stages of development.



**8.0 Urban Ecology:** to protect and enhance biodiversity and to encourage the planting of indigenous vegetation.



**9.0 Innovation:** to encourage innovative technology, design and processes in all development, so as to positively influence the sustainability of buildings.



**10.0 Construction and Building Management:** to encourage a holistic and integrated design and construction process and ongoing high performance.

Council recommends the use of tools to assist in verifying that the sustainable design elements of the building project meet their requirements.



The council advises using instruments to help confirm that the building project's sustainable design components adhere to their specifications.

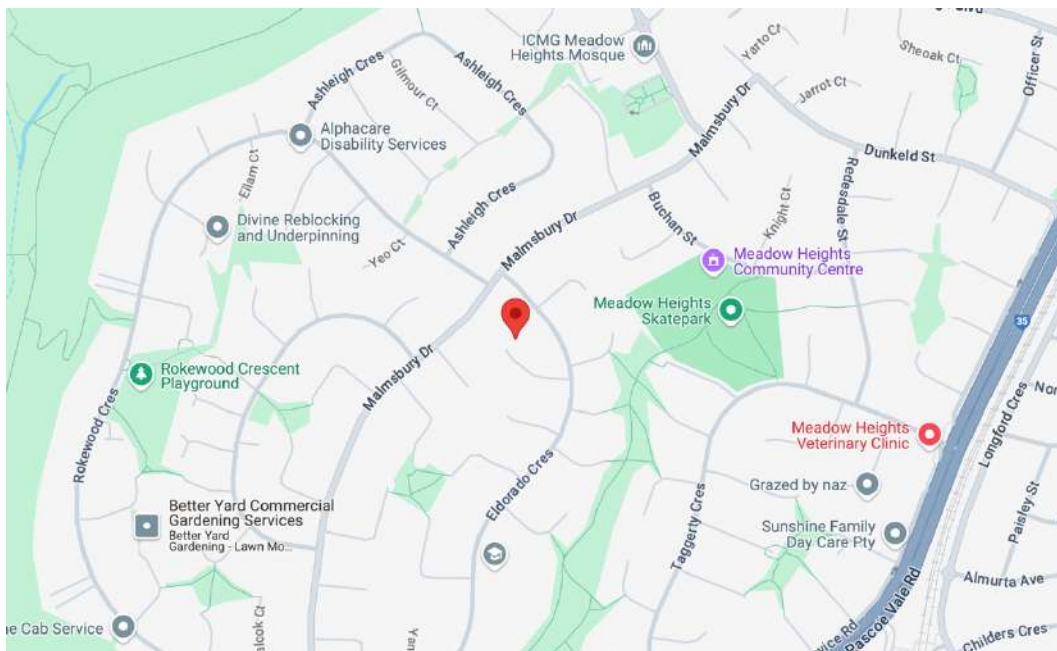
The proposed development is being considered and reviewed as part of a planning process under the Planning and Environment Act 1987, which also includes scores from the Building Energy Sustainability (BESS) Relative Measure (STORM) Calculator. **This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The copy must not be used for any other purpose. Please note that the plan may not be to scale.**

The matching BESS report, the Melbourne Water STORM report, and the planning drawings from Clovis Architectural should all be read in addition to this report.

### Project Information

Site Address	12 Shandeen Court, Meadow Heights VIC 3048
Site Area	697 m <sup>2</sup>
Project Description	Two double-storey townhouses with associated landscaping and sustainability features.
Council	Hume City Council

### Site Map Location



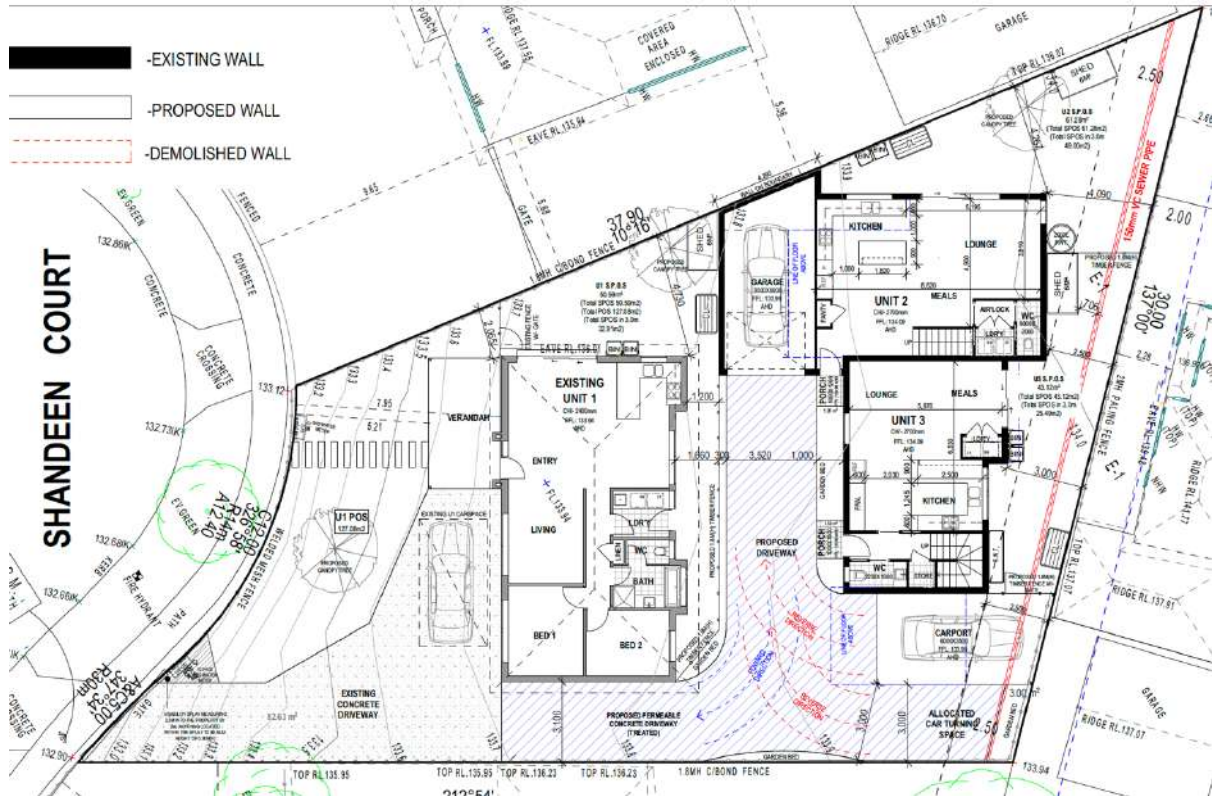
Source: Google Maps

### Site Current Image



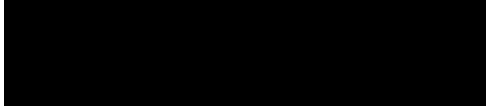
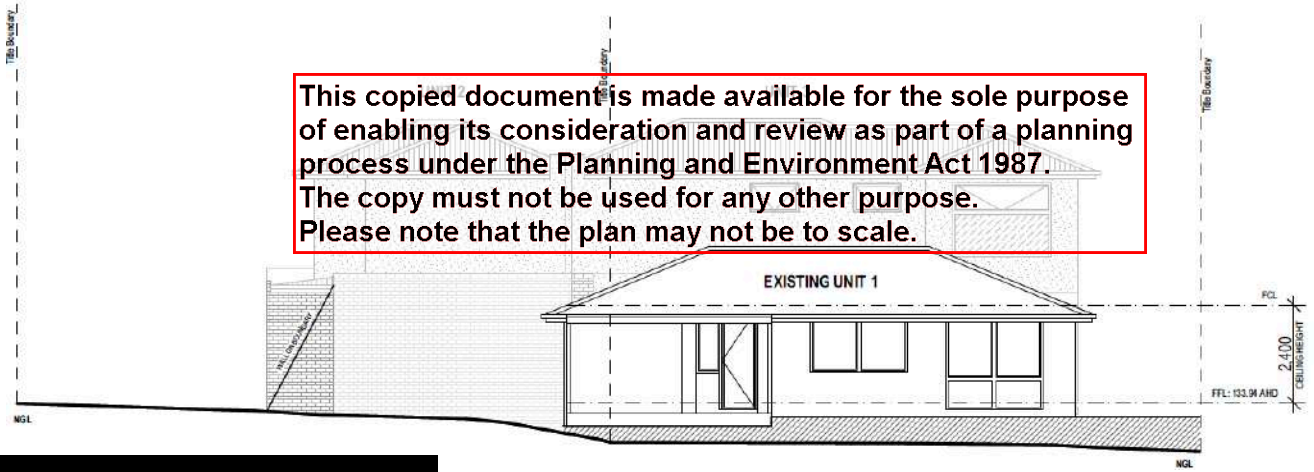
Source: Google Maps

*Proposed Images  
Site Plan*



*Robinhood Street View*

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## BESS Assessment

The following categories were assessed using the Built Environment Sustainability Scorecard (BESS) tool.

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Management	Water	Energy
Stormwater	Indoor Environment Quality (IEQ)	Transport
Waste	Urban Ecology	Innovation

The Built Environment Sustainability Scorecard (BESS) tool was used to assess various sustainability categories.

A minimum score of 50% is required to pass the Energy, Water, Stormwater, and IEQ categories. A total score of fifty percent indicates "Best Practice," and over seventy percent indicates "Excellence."

## Project Score:

Overall successful BESS score of 58%. This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987.

Below is a summary of the BESS Assessment.

BESS, 12 Shandeen Ct, Meadow Heights

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## BESS Report

Built Environment Sustainability Scorecard



This BESS report outlines the sustainable design commitments of the proposed development at 12 Shandeen Ct Meadow Heights Victoria 3048. The BESS report and accompanying documents and evidence are submitted in response to the requirement for a Sustainable Design Assessment or Sustainability Management Plan at Hume City Council.

Note that where a Sustainability Management Plan is required, the BESS report must be accompanied by a report that further demonstrates the development's potential to achieve the relevant environmental performance outcomes and documents the means by which the performance outcomes can be achieved.

### Your BESS Score

0% 10% 20% 30% 40% 50% 60% 70% 80% 90% 100%

# 58%

### Project details

Address: 12 Shandeen Ct Meadow Heights Victoria 3048  
 Project no: 73300608-R1  
 BESS Version: BESS-8

---

Site type: Multi dwelling (dual occupancy, townhouse, villa unit etc)  
 Account: [REDACTED]  
 Application no. [REDACTED]  
 Site area: 697.00 m<sup>2</sup>  
 Building floor area: 199.23 m<sup>2</sup>  
 Date: 09 September 2024  
 Software version: 2.0.0-B.557

### Performance by category

● Your development ● Maximum available

Category	Weight	Score	Pass
Management	5%	0%	✗
Water	9%	59%	✓
Energy	28%	52%	✓
Stormwater	14%	100%	✓
IEQ	17%	80%	✓
Transport	9%	100%	✗
Waste	6%	0%	✗
Urban Ecology	6%	50%	✗
Innovation	9%	0%	✗

Appendix B includes a copy of the published BESS report, which Council can also view via the BESS web portal.

## *Schedule of ESD Commitments*

### **Indoor Environment**

- Double glazing for all habitable areas.
- External shading for windows facing East, West, and North.
- Penable windows for cross-ventilation.
- North-facing living areas

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### **Energy Efficiency:**

- Each townhouse will achieve a 7-star NatHERS rating.
- High-efficiency heating, cooling, and lighting systems.

### **Water Efficiency:**

- Installation of rainwater tanks:
  - **Unit 2:** 2,000-liter rainwater tank
  - **Unit 3:** 2,000-liter rainwater tank
- Water-efficient fixtures and 4-star WELS ratings.
- Landscaping with water-efficient plants.

## Appendix A: STORM Assessment

The Melbourne Water STORM calculator was used to assess stormwater management, and the development achieved a 100% STORM rating, which is a very good result.

### Proposed Water Treatment Measures:

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The Melbourne Water STORM calculator was used to assess stormwater management, and the development achieved a 100% STORM rating.

Each townhouse will have a rainwater tank connected to roof areas for irrigation and toilet flushing.



## STORM Rating Report

TransactionID: 0  
 Municipality: HUME  
 Rainfall Station: HUME  
 Address: 12 SHANDEEN COURT

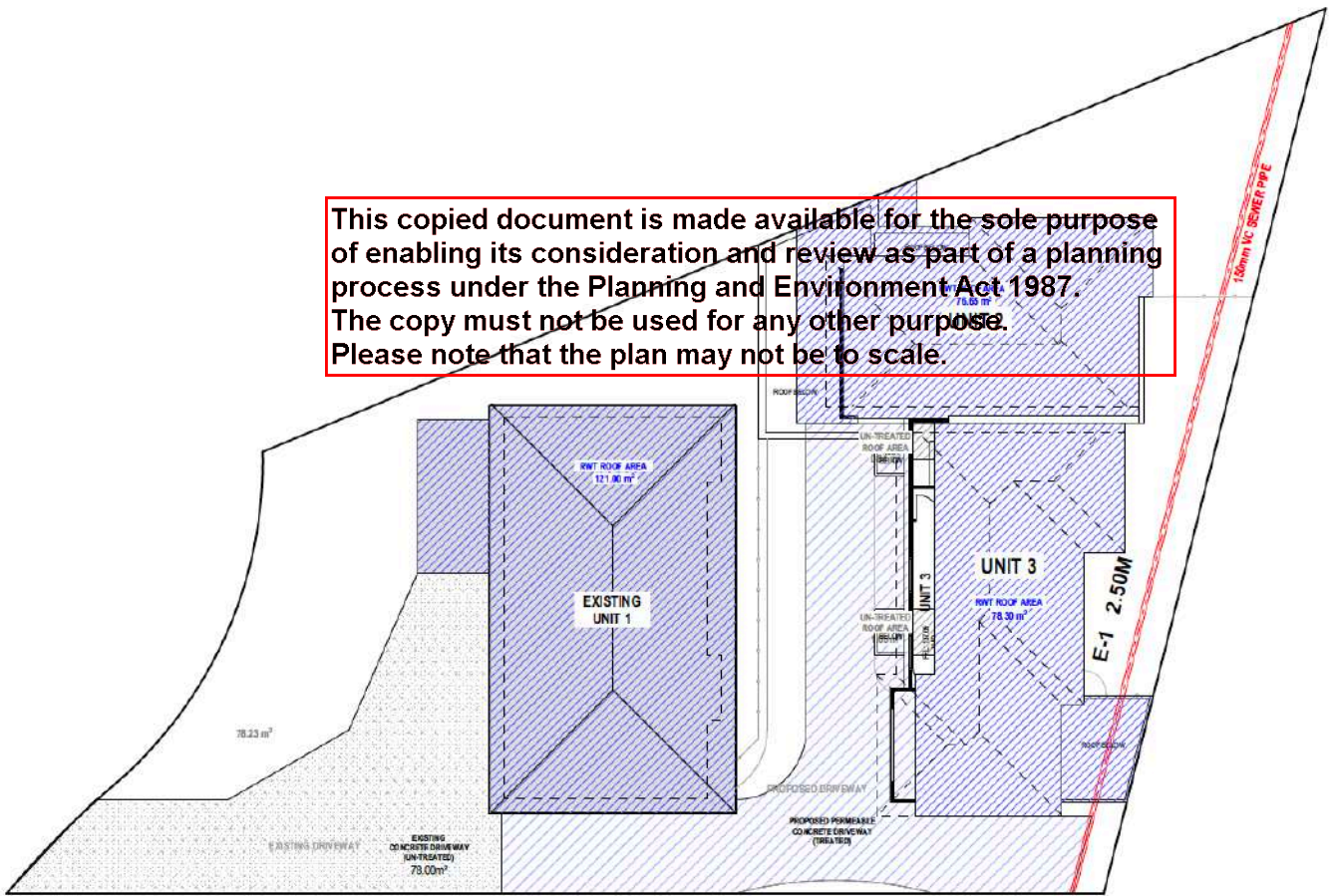
MEADOW HEIGHTS  
 VIC VIC

Assessor: CAPP  
 Development Type: Residential - Multiunit  
 Allotment Site (m2): 697.03  
 STORM Rating %: 102









Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Unit 1 - Water Tank	121.00	Rainwater Tank	2,500.00	2	121.00	94.20
Unit 2 - Water Tank	76.65	Rainwater Tank	2,000.00	2	152.00	86.00
Unit 3 - Water Tank	78.31	Rainwater Tank	2,000.00	2	125.80	96.30
Unit 2 - Un-Treated	0.85	None	0.00	0	0.00	0.00
Unit 3 - Un-Treated	1.05	None	0.00	0	0.00	0.00
Common Driveway	78.00	None	0.00	0	0.00	0.00

*A plan illustrating where the impervious surfaces will be treated and drained is shown in figure 1, below.*

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### WSUD LEGEND/TREATMENT METHOD

	-NOMINATED ROOF AREA USED FOR ABOVE GROUND RAIN GARDEN
	-NOMINATED ROOF AREA USED FOR RAIN WATER TANKS
	-NOMINATED ROOF AREA TO BE UNUSED
	-MIN. 2000L RAIN WATER TANK TO TREAT NOMINATED ROOF AREA
	-MIN. 500(W)X900(H)mm ABOVE GROUND RAIN GARDEN BED TO TREAT NOMINATED ROOF AREA
	-NOMINATED NON-PERMEABLE CONCRETE DRIVEWAY
	-NOMINATED PERMEABLE PAVING
	-NOMINATED GRASS AREA



## WSUD Treatment Summary for 12 Shandeen Court Meadow Heights:

WSUD Element	This copy of this document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The copy must not be used for any other purpose. Please note that the plan may not be to scale.		
Rainwater Tanks	Collects rainwater for use in garden irrigation and toilet flushing.	Unit 2 Unit 3	2,000 liters (each)
Permeable Paving	Allows stormwater to infiltrate through the surface and into the ground, reducing surface runoff.	Driveways and walkways	N/A
Water-Efficient Landscaping	Drought-tolerant plants to minimize the need for irrigation, using harvested rainwater for watering.	Garden areas	20 m <sup>2</sup> per unit

### WSUD Treatment Elements:

The stormwater management system at 12 Shandeen Court is designed to reduce the environmental impact of stormwater runoff by capturing, filtering, and reusing rainwater for various non-potable purposes, such as irrigation and toilet flushing. The following treatment elements have been incorporated into the design:

#### Rainwater Tanks

- **Unit 2:** 2,000-liter rainwater tank
- **Unit 3:** 2,000-liter rainwater tank
- These tanks will collect roof runoff and store it for reuse in garden irrigation and toilet flushing. This reduces the demand for potable water, ensuring sustainable water use on-site.

#### Rain tanks construction schedule

The rainwater tanks for Unit 2 (2,000 liters) and Unit 3 (2,000 liters) are designed to collect roof runoff, capturing stormwater for reuse in garden irrigation and toilet flushing. These tanks will be installed toward the end of the construction phase, after the roof and plumbing systems have been completed. A licensed plumber will ensure proper connections between the tanks and the relevant plumbing systems for efficient water reuse.

#### Rain Tank Maintenance

- **Monthly:** Inspect and clean inlet screens to remove any debris and prevent blockages.
- **Annually:** Check the tank and gutters for leaks or damage. Ensure that the plumbing connections and overflow systems are functioning properly.
- **Every 3-5 years:** Desludge the tanks to prevent sediment buildup, and service the pumps as needed to maintain optimal performance.

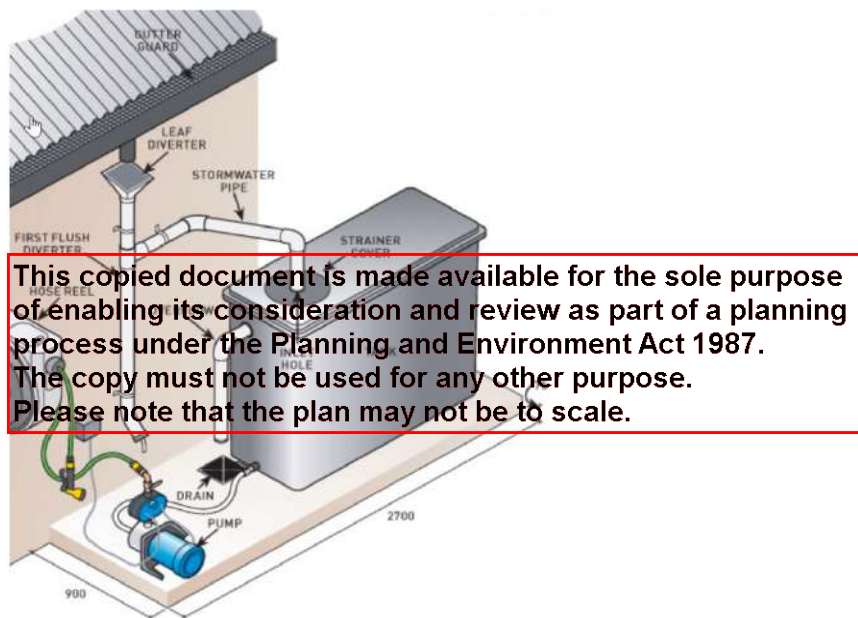


Figure 2 Typical Rain tank Installation

### Permeable Paving/Concrete

Permeable paving will be installed on the driveway areas, allowing stormwater to infiltrate through the surface and into the ground. This helps to reduce surface runoff and mitigates the impact on nearby stormwater systems.

### Design and Construction

Permeable paving will be installed on the driveway areas to allow stormwater to infiltrate into the ground, reducing surface runoff. The paving system includes a sub-base that supports water filtration while providing a stable surface for vehicles. Proper grading will ensure water flows into permeable areas for effective stormwater management.

### Permeable Paving/ Concrete Maintenance

- **Annually:** Sweep or vacuum the paving to remove any sediment or debris that may clog the surface and impede infiltration.
- **Ongoing:** Monitor for ponding after rainfall and repair any damaged sections to maintain permeability and prevent surface water accumulation.

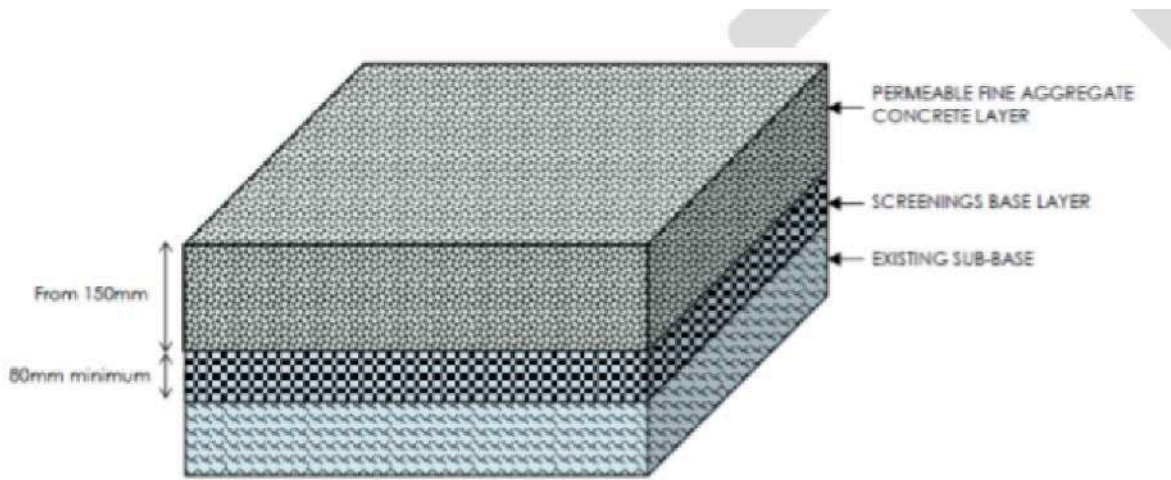


Figure 4 Typical Permeable concrete construction

## Water-Efficient Landscaping

Water-efficient plants and vegetation will be used across the development, reducing the need for frequent irrigation. The landscaping areas connected to the rainwater tanks total approximately 20 m<sup>2</sup> for

Design and Construction

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Water-efficient landscaping features drought-tolerant plants that require minimal irrigation. The landscaping areas are connected to the rainwater tanks, ensuring that stormwater is reused efficiently. The garden areas are strategically placed to enhance the aesthetic appeal and contribute to sustainable water use.

Maintenance:

- **Quarterly:** Inspect plant health and the efficiency of the irrigation system. Ensure the rainwater tanks are being utilized properly for watering the garden.
- **Annually:** Replace any damaged or non-drought-tolerant plants to maintain the water efficiency of the landscaping. Check for any water distribution issues to ensure optimal use of stored rainwater.

## WSUD Treatment Schedule and Maintenance

1. **Rainwater Tanks:**
  - **Monthly:** Inspect and clean inlet screens to remove debris.
  - **Annually:** Inspect and clean the rainwater tank and gutters. Ensure proper functioning of the overflow system and plumbing connections.
  - **Desludging:** Every 3 to 5 years to prevent sediment buildup.
2. **Permeable Paving:**
  - **Annually:** Sweep or vacuum the surface to remove debris that could clog the permeable layers. Monitor for any ponding after rainfall and repair any damaged areas to maintain permeability.
3. **Water-Efficient Landscaping:**
  - **Quarterly:** Inspect and maintain plant health, check irrigation systems, and ensure efficient use of stored rainwater.
  - **Annually:** Replace any damaged or drought-intolerant plants to maintain water efficiency.

## Benefits of the Stormwater Management Systems for 12 Shandeen Court Meadow Heights

The stormwater management systems implemented at 12 Shandeen Court Meadow Heights are designed to meet best practices in sustainability and environmental protection. These systems, including rainwater tanks, rain gardens, and permeable paving, provide significant benefits to both the environment and the community. Below are the key benefits of these stormwater management processes.

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**Reduced Stormwater Runoff**

- By utilizing rainwater tanks and permeable paving, stormwater runoff from the site is significantly reduced, helping to prevent local flooding and decreasing the load on municipal stormwater infrastructure.

**Improved Water Quality:**

- Stormwater is filtered through the rainwater tanks and permeable paving before being reused or infiltrated into the ground, removing pollutants and improving overall water quality.

**Groundwater Recharge:**

- The permeable paving allows water to infiltrate and recharge local groundwater systems, contributing to sustainable water management.

**Sustainable Water Use:**

- The rainwater tanks reduce the need for potable water for non-essential uses, such as garden irrigation, contributing to water conservation efforts.

## Appendix B: Construction Site Management Plan for 12 Shandeen Court Meadow Heights

This Construction Site Management Plan (CSMP) outlines the measures to be implemented during the construction of the dual occupancy development at 12 Shandeen Court Meadow Heights. The plan ensures that the construction activities comply with best practices, reduce environmental impact, and meet all regulatory requirements.

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### Key Objectives:

- Minimize pollution and manage waste effectively.
- Protect stormwater quality and prevent sediment runoff.
- Ensure safety and accessibility for the surrounding community.
- Preserve existing vegetation and protect local infrastructure.

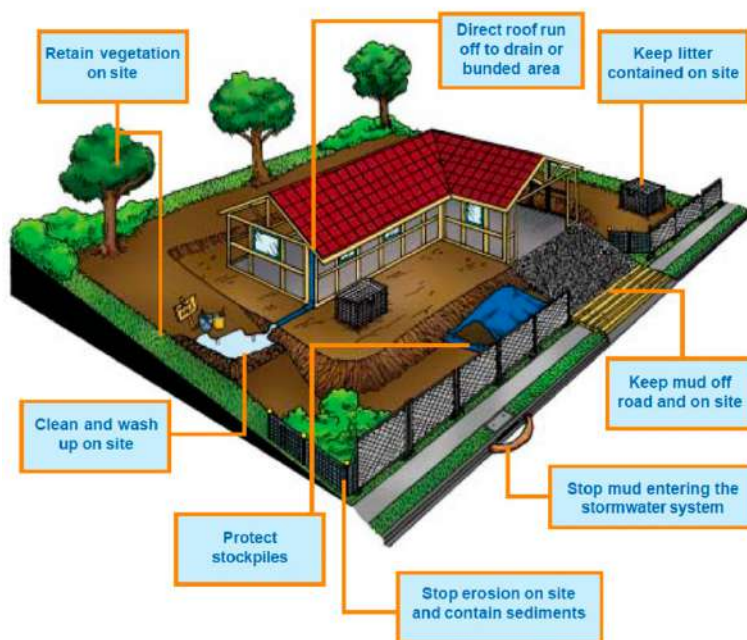


Figure 3 A diagram summary of the stormwater management techniques used on the construction site

### Site Setup and Access Control

#### Fencing:

Temporary fencing will be installed around the entire perimeter of the site to secure the area and prevent unauthorized access. Signage will be posted at access points indicating that only authorized personnel are allowed on-site.

#### Site Access:

The primary access point for construction vehicles will be from Shandeen Court. The driveway will be designated for entry and exit to minimize disruption to local traffic. A wheel wash station will be installed to prevent dirt and debris from being tracked onto public roads.

## Tree Protection Zones (TPZ):

Fencing will be placed around any trees indicated to be preserved in the landscape plan. No construction materials or debris will be stored within the TPZ to protect the root zones of these trees.

## Erosion and Sediment Control

### Sediment Fencing:

Sediment fencing will be installed around the site, especially near stormwater drains, to prevent soil and debris from being washed into the drainage system during rainfall. The fencing will be regularly inspected and maintained, particularly after rain events.

### Stockpiles and Dust Suppression:

Stockpiles of soil, sand, and other materials will be kept away from drainage areas. These will be covered when not in use to reduce dust generation and prevent erosion. During dry and windy conditions, exposed soil areas will be sprayed with water to suppress dust.

## Waste Management and Recycling

### Waste Separation:

Dedicated bins will be placed on-site to separate different types of waste (e.g., concrete, timber, general waste). Clear instructions will be provided to contractors to ensure proper recycling and disposal.

### Hazardous Waste:

Any hazardous materials discovered during construction, such as asbestos, will be handled and disposed of by licensed professionals in accordance with Victorian regulations.

### Waste Removal:

Regular waste collection will be scheduled to ensure the site remains clean and that no excessive waste accumulates. All waste will be taken to approved recycling or disposal facilities.

## Stormwater and Drainage Management

**Stormwater Protection:** Temporary measures such as filtration devices will be installed at stormwater outlets to prevent construction debris from entering the stormwater system. Regular inspections will be conducted to ensure these devices are functioning properly.

### Rainwater Tanks:

The installation of the rainwater tanks, which are part of the WSUD elements, will take place during the final stages of construction. These systems will manage stormwater on-site and reduce the impact on the local stormwater network

## Noise and Vibration Control

### Work Hours:

Construction activities will be allowed from 7 AM to 6 PM on weekdays and 8 AM to 4 PM on Saturdays. No work will be allowed on Sundays or public holidays without prior council approval.

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### Noise Reduction:

All machinery and equipment will be fitted with noise-reducing devices such as mufflers. High-noise activities, such as hammering and concrete cutting, will be scheduled for the middle of the day to minimize disruption to nearby residents.

### Vibration Control:

Activities that may generate significant vibrations, such as excavation, will be closely monitored. Adjacent properties will be surveyed prior to such activities to ensure that no damage occurs.

## Traffic and Parking Management

### Traffic Control:

A traffic management plan will be implemented to prevent disruption to local traffic. Warning signs and barriers will be placed at the site's entrance to alert drivers and pedestrians to construction activity.

### Parking for Workers:

Workers will be instructed to park off-site in designated areas to avoid clogging local roads. A plan for drop-off and delivery of materials will also be coordinated to prevent congestion around the site.

## Environmental and Safety Measures

### Spill Prevention:

All fuel, chemicals, and potentially hazardous materials will be stored in secure containers away from drainage areas. Spill kits will be available on-site, and staff will be trained in spill prevention and emergency response.

### Worker Safety:

All personnel will be provided with personal protective equipment (PPE), including hard hats, high-visibility clothing, and safety boots. Regular safety briefings will be conducted, and a first aid station will be set up on-site.

## Communication and Compliance

**Public Communication:**

Nearby residents will be notified of major construction activities, such as road closures or utility interruptions. A designated community liaison officer will be available to handle inquiries and complaints.

**Regulatory Compliance:**

All construction activities will comply with local, state, and federal regulations, including environmental and safety guidelines. Inspections by council officers or independent auditors will be conducted at regular intervals to ensure compliance with the CSMP.

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## *Appendix C: BESS Report*

# BESS Report

Built Environment Sustainability Scorecard

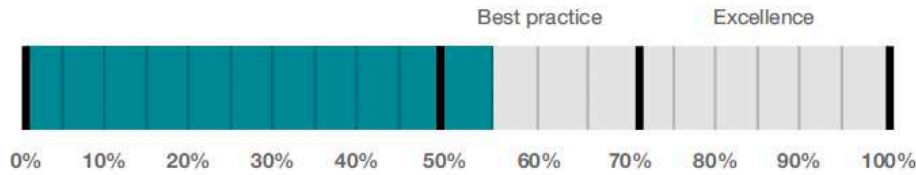


This BESS report outlines the sustainable design commitments of the proposed development at 12 Shandeen Ct Meadow Heights Victoria 3048. The BESS report and accompanying documents and evidence are submitted in response to the requirement for a Sustainable Design Assessment or Sustainability Management Plan at Hurst City Council.

Note that where a Sustainability Management Plan is required, the BESS report may be accompanied by a report that further demonstrates the development's potential to achieve the relevant environmental performance outcomes and documents the means by which the performance outcomes can be achieved.

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## Your BESS Score



# 58%

## Project details

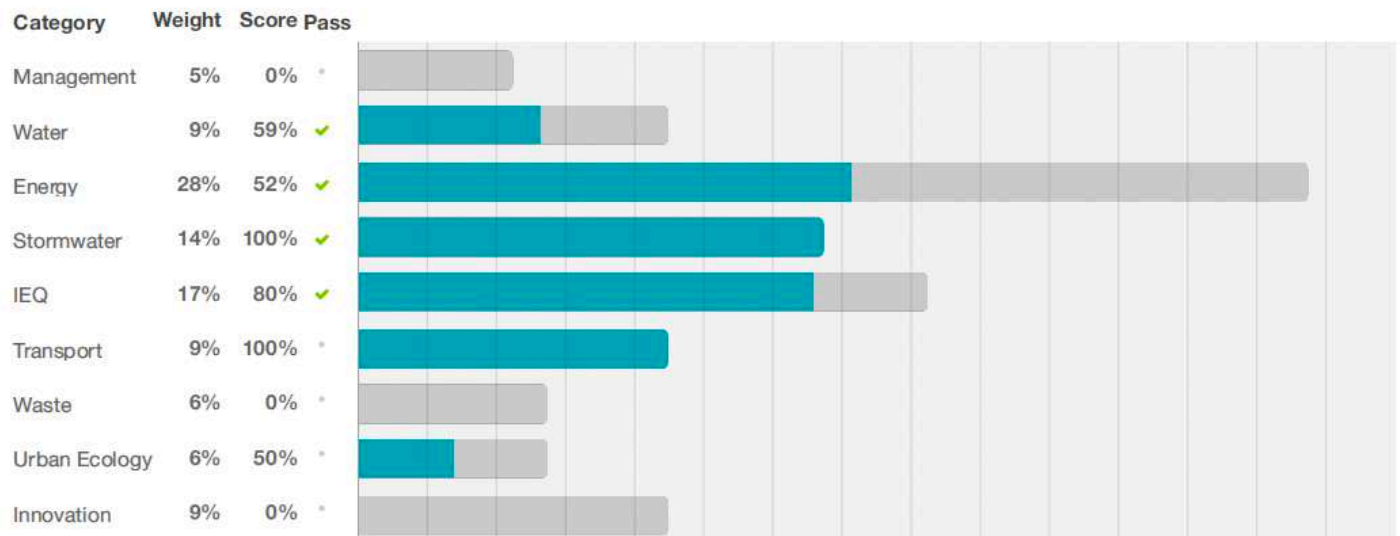
Address 12 Shandeen Ct Meadow Heights Victoria 3048  
 Project no 73300608-R1  
 BESS Version BESS-8

Site type Multi dwelling (dual occupancy, townhouse, villa unit etc)  
 Account [REDACTED]  
 Application no. [REDACTED]  
 Site area 697.00 m<sup>2</sup>  
 Building floor area 199.23 m<sup>2</sup>  
 Date 09 September 2024  
 Software version 2.0.0-B.557



## Performance by category

● Your development ● Maximum available



## Dwellings & Non Res Spaces

### Dwellings

Name	Quantity	Area	% of total area
<b>Townhouse</b>			
Townhouse 2	1	101 m <sup>2</sup>	50%
Townhouse 3	1	98 m <sup>2</sup>	49%
<b>Total</b>	<b>2</b>	<b>199 m<sup>2</sup></b>	<b>100%</b>

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### Supporting information

#### Floorplans & elevation notes

Credit	Requirement	Response	Status
Water 3.1	Annotation: Water efficient garden details		-
Energy 3.3	Annotation: External lighting controlled by motion sensors		-
Energy 3.4	Location of clothes line (if proposed)		-
Stormwater 1.1	Location of any stormwater management systems (rainwater tanks, raingardens, buffer strips)		-
IEQ 2.2	Annotation: Dwellings designed for 'natural cross flow ventilation' (If not all dwellings, include a list of compliant dwellings)		-
IEQ 3.1	Annotation: Glazing specification (U-value, SHGC)		-
IEQ 3.3	North-facing living areas		-
Transport 1.1	Location of residential bicycle parking spaces		-
Transport 2.1	Location of electric vehicle charging infrastructure		-
Urban Ecology 2.1	Location and size of vegetated areas		-
Urban Ecology 2.4	Location of taps and floor waste on balconies / courtyards		-

#### Supporting evidence

Credit	Requirement	Response	Status
Energy 3.5	Average lighting power density and lighting type(s) to be used		-
Stormwater 1.1	STORM report or MUSIC model		-
IEQ 2.2	A list of dwellings with natural cross flow ventilation		-
IEQ 3.1	Reference to floor plans or energy modelling showing the glazing specification (U-value and Solar Heat Gain Coefficient, SHGC)		-
IEQ 3.3	Reference to the floor plans showing living areas orientated to the north		-

### Credit summary

#### Management Overall contribution 4.5%

		0%
1.1 Pre-Application Meeting		0%
2.2 Thermal Performance Modelling - Multi-Dwelling Residential		0%
4.1 Building Users Guide		0%

**Water Overall contribution 9.0%**

		Minimum required 50%	59%	✔ Pass
1.1 Potable Water Use Reduction			51%	
3.1 Water Efficient Landscaping			100%	

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**Energy Overall contribution 27.5%**

		Minimum required 50%	52%	✔ Pass
1.2 Thermal Performance Rating - Residential			0%	✔ Achieved
2.1 Greenhouse Gas Emissions			0%	
2.6 Electrification			100%	
2.7 Energy consumption			100%	
3.3 External Lighting			100%	
3.4 Clothes Drying			100%	
3.5 Internal Lighting - Houses and Townhouses			100%	
4.4 Renewable Energy Systems - Other			N/A	✦ Scoped Out
No other (non-solar PV) renewable energy is in use.				
4.5 Solar PV - Houses and Townhouses			0%	⊘ Disabled
No solar PV renewable energy is in use.				

**Stormwater Overall contribution 13.5%**

		Minimum required 100%	100%	✔ Pass
1.1 Stormwater Treatment			100%	

**IEQ Overall contribution 16.5%**

		Minimum required 50%	80%	✔ Pass
2.2 Cross Flow Ventilation			100%	
3.1 Thermal comfort - Double Glazing			100%	
3.2 Thermal Comfort - External Shading			0%	
3.3 Thermal Comfort - Orientation			100%	

**Transport Overall contribution 9.0%**

			100%	
1.1 Bicycle Parking - Residential			100%	
1.2 Bicycle Parking - Residential Visitor			N/A	✦ Scoped Out
Not enough dwellings.				
2.1 Electric Vehicle Infrastructure			100%	

**Waste Overall contribution 5.5%**

		0%
1.1 - Construction Waste - Building Re-Use		0%
2.1 - Operational Waste - Food & Garden Waste		0%

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**Urban Ecology Overall contribution 6.5%**

		50%
2.1 Vegetation		75%
2.2 Green Roofs		0%
2.3 Green Walls and Facades		0%
2.4 Private Open Space - Balcony / Courtyard Ecology		100%
3.1 Food Production - Residential		0%

**Innovation Overall contribution 9.0%**

		0%
1.1 Innovation		0%

## Credit breakdown

### Management Overall contribution 0%

<b>1.1 Pre-Application Meeting</b>	<b>0%</b>
Score Contribution	This credit contributes 50% towards the category score.
Criteria	Has the project been supported by sustainability advice from schematic design to construction? AND Has the ESD Professional been involved in a pre-application meeting with Council?
Question	Criteria Achieved ?
Project	No
<b>2.2 Thermal Performance Modelling - Multi-Dwelling Residential</b>	<b>0%</b>
Score Contribution	This credit contributes 33.3% towards the category score.
Criteria	Have preliminary NatHERS ratings been undertaken for all thermally unique dwellings?
Question	Criteria Achieved ?
Townhouse	No
<b>4.1 Building Users Guide</b>	<b>0%</b>
Score Contribution	This credit contributes 16.7% towards the category score.
Criteria	Will a building users guide be produced and issued to occupants?
Question	Criteria Achieved ?
Project	No

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**Water** Overall contribution 5% Minimum required 50%

<b>Water Approach</b>	
What approach do you want to use for Water?:	Use the built in calculation tools
Do you have a reticulated third party water recycling system?:	No
Are you installing a swimming pool?:	No
Are you installing a rainwater tank?:	Yes
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<b>Fixtures, fittings &amp; connections profile</b>	
Showerhead: All	4 Star WELS (>= 4.5 but <= 6.0)
Bath: All	Medium Sized Contemporary Bath
Kitchen Taps: All	>= 5 Star WELS rating
Bathroom Taps: All	>= 5 Star WELS rating
Dishwashers: All	>= 4 Star WELS rating
WC: All	Default or unrated
Urinals: All	Scope out
Washing Machine Water Efficiency: All	Default or unrated
Which non-potable water source is the dwelling/space connected to?:	
Townhouse 2	Townhouse 2
Townhouse 3	Townhouse 3
Non-potable water source connected to Toilets: All	Yes
Non-potable water source connected to Laundry (washing machine): All	No
Non-potable water source connected to Hot Water System: All	No
<b>Rainwater tank profile</b>	
What is the total roof area connected to the rainwater tank?:	
Townhouse 2	76.7 m <sup>2</sup>
Townhouse 3	78.3 m <sup>2</sup>
Tank Size:	
Townhouse 2	2,000 Litres
Townhouse 3	2,000 Litres
Irrigation area connected to tank:	
Townhouse 2	20.0 m <sup>2</sup>
Townhouse 3	20.0 m <sup>2</sup>
Is connected irrigation area a water efficient garden?:	
Townhouse 2	Yes
Townhouse 3	Yes
Other external water demand connected to tank?:	
Townhouse 2	0.0 Litres/Day
Townhouse 3	0.0 Litres/Day

<b>1.1 Potable Water Use Reduction</b>		51%
Score Contribution	This credit contributes 83.3% towards the category score.	
Criteria	What is the reduction in total potable water use due to efficient fixtures, appliances, >25% potable water reduction. Reference	
Output	<div style="border: 2px solid red; padding: 5px;"> <p><b>This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The copy must not be used for any other purpose. Please note that the plan may not be to scale.</b></p> </div>	
Project	Proposed (excluding rainwater and recycled water use)	
Project	291 kL	
Output	Proposed (including rainwater and recycled water use)	
Project	228 kL	
Output	% Reduction in Potable Water Consumption	
Project	33 %	
Output	% of connected demand met by rainwater	
Project	95 %	
Output	How often does the tank overflow?	
Project	Often	
Output	Opportunity for additional rainwater connection	
Project	115 kL	
<b>3.1 Water Efficient Landscaping</b>		100%
Score Contribution	This credit contributes 16.7% towards the category score.	
Criteria	Will water efficient landscaping be installed?	
Question	Criteria Achieved ?	
Project	Yes	



**Energy** Overall contribution 15% Minimum required 50%

<b>Dwellings Energy Approach</b>	
What approach do you want to use for Dwellings?:	Use the built in calculation tools
Are you installing any solar photovoltaic (PV) system(s)?	No
Are you installing any other renewable energy system(s)?	No
Energy Supply:	All electric
<b>Dwelling Energy Profiles</b>	
Below the floor is: All	Ground or Carpark
Above the ceiling is: All	Outside
Exposed sides: All	3
NatHERS Annual Energy Loads - Heat: All	98.2 MJ/sqm
NatHERS Annual Energy Loads - Cool: All	22.8 MJ/sqm
NatHERS star rating: All	7.0
Type of Heating System: All	Reverse cycle space
Heating System Efficiency: All	6 Stars (2011 MEPS)
Type of Cooling System: All	Refrigerative space
Cooling System Efficiency: All	6 Stars (2019 MEPS)
Type of Hot Water System: All	Electric Instantaneous
% Contribution from solar hot water system: All	0 %
Clothes Line: All	Private outdoor clothesline
Clothes Dryer: All	Occupant to install
<b>1.2 Thermal Performance Rating - Residential</b>	0% <span style="color: green;">✔</span> Achieved
Score Contribution	This credit contributes 17.6% towards the category score.
Criteria	What is the average NatHERS rating?
Output	Average NATHERS Rating (Weighted)
Townhouse	7.0 Stars
<b>2.1 Greenhouse Gas Emissions</b>	0%
Score Contribution	This credit contributes 17.6% towards the category score.
Criteria	What is the % reduction in annual greenhouse gas emissions against the benchmark?
Output	Reference Building with Reference Services (BCA only)
Townhouse	4,988 kg CO2
Output	Proposed Building with Proposed Services (Actual Building)
Townhouse	5,497 kg CO2
Output	% Reduction in GHG Emissions
Townhouse	-11 %
<b>2.6 Electrification</b>	100%
Score Contribution	This credit contributes 17.6% towards the category score.
Criteria	Is the development all-electric?
Question	Criteria Achieved?
Project	Yes

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<b>2.7 Energy consumption</b>		100%
Score Contribution	This credit contributes 23.5% towards the category score.	
Criteria	What is the % reduction in annual energy consumption against the benchmark?	
Output	Reference Building with Reference Services (BCA only)	
Townhouse	23,280 MJ	
Output	Proposed Building with Proposed Services (Actual Building)	
Townhouse	23,280 MJ	
Output	% Reduction in total energy	
Townhouse	46 %	
<b>3.3 External Lighting</b>		100%
Score Contribution	This credit contributes 2.9% towards the category score.	
Criteria	Is the external lighting controlled by a motion detector?	
Question	Criteria Achieved ?	
Townhouse	Yes	
<b>3.4 Clothes Drying</b>		100%
Score Contribution	This credit contributes 5.9% towards the category score.	
Criteria	What is the % reduction in annual energy consumption (gas and electricity) from a combination of clothes lines and efficient driers against the benchmark?	
Output	Reference	
Townhouse	939 kWh	
Output	Proposed	
Townhouse	188 kWh	
Output	Improvement	
Townhouse	80 %	
<b>3.5 Internal Lighting - Houses and Townhouses</b>		100%
Score Contribution	This credit contributes 2.9% towards the category score.	
Criteria	Does the development achieve a maximum illumination power density of 4W/sqm or less?	
Question	Criteria Achieved?	
Townhouse	Yes	
<b>4.4 Renewable Energy Systems - Other</b>	N/A	✦ Scoped Out
This credit was scoped out	No other (non-solar PV) renewable energy is in use.	
<b>4.5 Solar PV - Houses and Townhouses</b>	0%	⊘ Disabled
This credit is disabled	No solar PV renewable energy is in use.	

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**Stormwater** Overall contribution 14% Minimum required 100%

Which stormwater modelling software are you using?:		Melbourne Water STORM tool
<b>1.1 Stormwater Treatment</b>		100%
Score Contribution	This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The copy must not be used for any other purpose. Please note that the plan may not be to scale.	
Criteria	Has best practice stormwater management been demonstrated?	
Question	STORM score achieved?	
Project	100	
Output	Min STORM Score	
Project	100	

**IEQ** Overall contribution 13% Minimum required 50%

<b>2.2 Cross Flow Ventilation</b>		100%
Score Contribution	This credit contributes 20% towards the category score.	
Criteria	Are all habitable rooms designed to achieve natural cross flow ventilation?	
Question	Criteria Achieved ?	
Townhouse	Yes	
<b>3.1 Thermal comfort - Double Glazing</b>		100%
Score Contribution	This credit contributes 40% towards the category score.	
Criteria	Is double glazing (or better) used to all habitable areas?	
Question	Criteria Achieved ?	
Townhouse	Yes	
<b>3.2 Thermal Comfort - External Shading</b>		0%
Score Contribution	This credit contributes 20% towards the category score.	
Criteria	Is appropriate external shading provided to east, west and north facing glazing?	
Question	Criteria Achieved ?	
Townhouse	No	
<b>3.3 Thermal Comfort - Orientation</b>		100%
Score Contribution	This credit contributes 20% towards the category score.	
Criteria	Are at least 50% of living areas orientated to the north?	
Question	Criteria Achieved ?	
Townhouse	Yes	

**Transport** Overall contribution 9%

<b>1.1 Bicycle Parking - Residential</b>		100%
Score Contribution	This credit contributes 50% towards the category score.	
Criteria	How many secure and undercover bicycle spaces are there for residents?	
Question	Bicycle Spaces Provided ?	
Townhouse	?	
Output	?	
Townhouse	2	
<b>1.2 Bicycle Parking - Residential Visitor</b>		N/A  Scoped Out
This credit was scoped out	Not enough dwellings.	
<b>2.1 Electric Vehicle Infrastructure</b>		100%
Score Contribution	This credit contributes 50% towards the category score.	
Criteria	Are facilities provided for the charging of electric vehicles?	
Question	Criteria Achieved ?	
Project	Yes	

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**Waste** Overall contribution 0%

<b>1.1 - Construction Waste - Building Re-Use</b>		0%
Score Contribution	This credit contributes 50% towards the category score.	
Criteria	If the development is on a site that has been previously developed, has at least 30% of the existing building been re-used?	
Question	Criteria Achieved ?	
Project	No	
<b>2.1 - Operational Waste - Food &amp; Garden Waste</b>		0%
Score Contribution	This credit contributes 50% towards the category score.	
Criteria	Are facilities provided for on-site management of food and garden waste?	
Question	Criteria Achieved ?	
Project	No	

**Urban Ecology** Overall contribution 3%

<b>2.1 Vegetation</b>	75%
Score Contribution	This credit contributes 50% towards the category score.
Criteria	How much of the site is covered with vegetation, expressed as a percentage of the total site area?
Question	Criteria Achieved ?
Project	20 %
<b>2.2 Green Roofs</b>	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Does the development incorporate a green roof?
Question	Criteria Achieved ?
Project	No
<b>2.3 Green Walls and Facades</b>	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Does the development incorporate a green wall or green façade?
Question	Criteria Achieved ?
Project	No
<b>2.4 Private Open Space - Balcony / Courtyard Ecology</b>	100%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	Is there a tap and floor waste on every balcony and courtyard (including any roof terraces)?
Question	Criteria Achieved ?
Townhouse	Yes
<b>3.1 Food Production - Residential</b>	0%
Score Contribution	This credit contributes 12.5% towards the category score.
Criteria	What area of space per resident is dedicated to food production?
Question	Food Production Area
Townhouse	-
Output	Min Food Production Area
Townhouse	2 m <sup>2</sup>

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**Innovation** Overall contribution 0%

<b>1.1 Innovation</b>	0%
Score Contribution	This credit contributes 100% towards the category score.
Criteria	What percentage of the Innovation points have been claimed (10 points maximum)?

**Disclaimer**

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# STORM Rating Report

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TransactionID: 0  
Municipality: HUME  
Rainfall Station: HUME  
Address: 12 SHANDEEN COURT

MEADOW HEIGHTS  
VIC VIC

Assessor: CAPP  
Development Type: Residential - Multiunit  
Allotment Site (m2): 697.03  
STORM Rating %: 102

Description	Impervious Area (m2)	Treatment Type	Treatment Area/Volume (m2 or L)	Occupants / Number Of Bedrooms	Treatment %	Tank Water Supply Reliability (%)
Unit 1 - Water Tank	121.00	Rainwater Tank	2,500.00	2	121.00	94.20
Unit 2 - Water Tank	76.65	Rainwater Tank	2,000.00	2	152.00	86.00
Unit 3 - Water Tank	78.31	Rainwater Tank	2,000.00	2	125.80	96.30
Unit 2 - Un-Treated	0.85	None	0.00	0	0.00	0.00
Unit 3 - Un-Treated	1.05	None	0.00	0	0.00	0.00
Common Driveway	78.00	None	0.00	0	0.00	0.00

# BESS Report

Built Environment Sustainability Scorecard

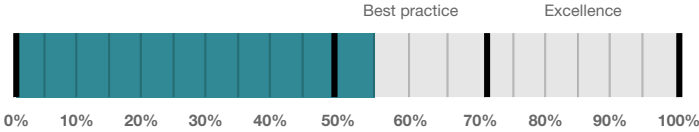


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This BESS report outlines the sustainable design commitments of the proposed development at 12 Shandeen Ct Meadow Heights Victoria 3048. The BESS report and accompanying Sustainable Design Commitments Report, the Sustainable Design Commitments Report or Sustainability Management Plan, as applicable, are to be submitted to the Council as part of the planning process.

Note that where a Sustainability Management Plan is required, the BESS report must be accompanied by a report that further demonstrates the development's potential to meet the performance targets, if the development is to be approved. The BESS report is a guide by which the performance outcomes can be achieved.

## Your BESS Score



# 58%

## Project details

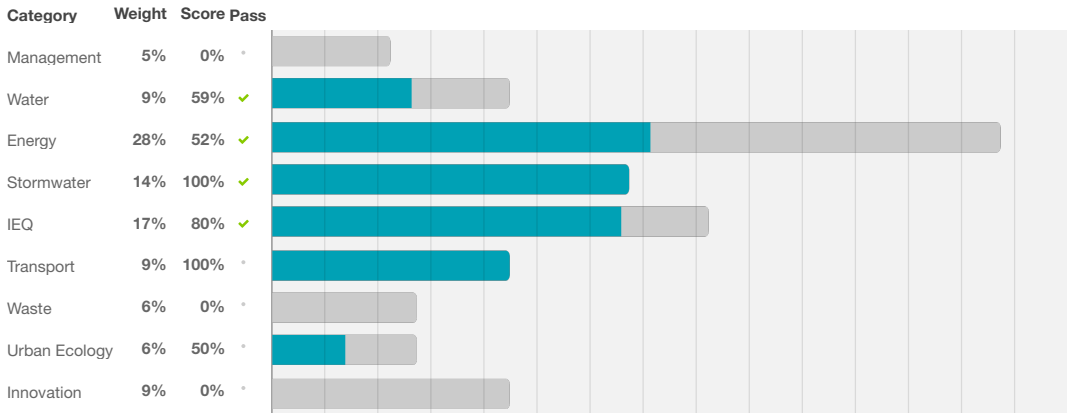
**Address** 12 Shandeen Ct Meadow Heights Victoria 3048  
**Project no** 73300608-R1  
**BESS Version** BESS-8

**Site type** [Redacted] townhouse, villa unit etc)  
**Account** [Redacted]  
**Application no.** [Redacted]  
**Site area** 697.00 m<sup>2</sup>  
**Building floor area** 199.23 m<sup>2</sup>  
**Date** 09 September 2024  
**Software version** 2.0.0-B.557



## Performance by category

● Your development ● Maximum available





## Dwellings & Non Res Spaces

### Dwellings

Name	Quantity	Area	% of total area
<b>Townhouse</b>			
Townhouse 2	1	109 m <sup>2</sup>	100%
Townhouse 3	1	109 m <sup>2</sup>	100%
<b>Total</b>			

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### Supporting information

#### Floorplans & elevation notes

Credit	Requirement	Response	Status
Water 3.1	Annotation: Water efficient garden details		-
Energy 3.3	Annotation: External lighting controlled by motion sensors		-
Energy 3.4	Location of clothes line (if proposed)		-
Stormwater 1.1	Location of any stormwater management systems (rainwater tanks, raingardens, buffer strips)		-
IEQ 2.2	Annotation: Dwellings designed for 'natural cross flow ventilation' (If not all dwellings, include a list of compliant dwellings)		-
IEQ 3.1	Annotation: Glazing specification (U-value, SHGC)		-
IEQ 3.3	North-facing living areas		-
Transport 1.1	Location of residential bicycle parking spaces		-
Transport 2.1	Location of electric vehicle charging infrastructure		-
Urban Ecology 2.1	Location and size of vegetated areas		-
Urban Ecology 2.4	Location of taps and floor waste on balconies / courtyards		-

#### Supporting evidence

Credit	Requirement	Response	Status
Energy 3.5	Average lighting power density and lighting type(s) to be used		-
Stormwater 1.1	STORM report or MUSIC model		-
IEQ 2.2	A list of dwellings with natural cross flow ventilation		-
IEQ 3.1	Reference to floor plans or energy modelling showing the glazing specification (U-value and Solar Heat Gain Coefficient, SHGC)		-
IEQ 3.3	Reference to the floor plans showing living areas orientated to the north		-

### Credit summary

Management Overall contribution 4.5%

		0%
1.1 Pre-Application Meeting		0%
2.2 Thermal Performance Modelling - Multi-Dwelling Residential		0%
4.1 Building Users Guide		0%

**Water Overall contribution 9.0%**

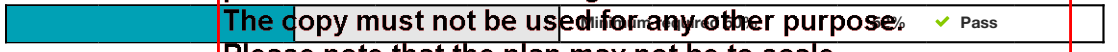


1.1 Potable Water Use Reduction 51%

3.1 Water Efficient Landscaping 0%

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**Energy Overall contribution 100%**



1.2 Thermal Performance Rating - Residential 0% ✓ Achieved

2.1 Greenhouse Gas Emissions 0%

2.6 Electrification 100%

2.7 Energy consumption 100%

3.3 External Lighting 100%

3.4 Clothes Drying 100%

3.5 Internal Lighting - Houses and Townhouses 100%

4.4 Renewable Energy Systems - Other N/A ✦ Scoped Out

No other (non-solar PV) renewable energy is in use.

4.5 Solar PV - Houses and Townhouses 0% ⚙ Disabled

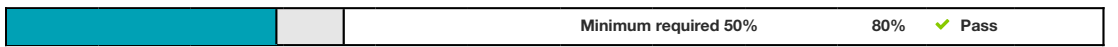
No solar PV renewable energy is in use.

**Stormwater Overall contribution 13.5%**



1.1 Stormwater Treatment 100%

**IEQ Overall contribution 16.5%**



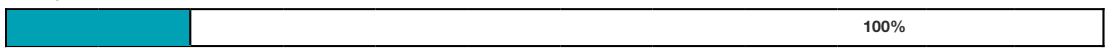
2.2 Cross Flow Ventilation 100%

3.1 Thermal comfort - Double Glazing 100%

3.2 Thermal Comfort - External Shading 0%

3.3 Thermal Comfort - Orientation 100%

**Transport Overall contribution 9.0%**



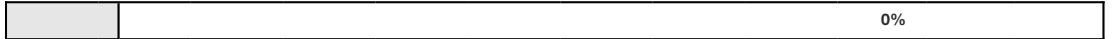
1.1 Bicycle Parking - Residential 100%

1.2 Bicycle Parking - Residential Visitor N/A ✦ Scoped Out

Not enough dwellings.

2.1 Electric Vehicle Infrastructure 100%

**Waste Overall contribution 5.5%**



1.1 - Construction Waste - Building Re-Use	0%
2.1 - Operational Waste	0%

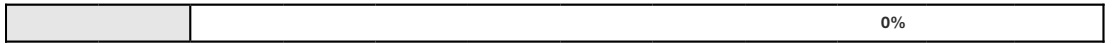
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**Urban Ecology Overall contribution 5%**



2.1 Vegetation	75%
2.2 Green Roofs	0%
2.3 Green Walls and Facades	0%
2.4 Private Open Space - Balcony / Courtyard Ecology	100%
3.1 Food Production - Residential	0%

**Innovation Overall contribution 9.0%**



1.1 Innovation	0%
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## Credit breakdown

### Management Overall contribution 0%

<b>1.1 Pre-Application</b>	<b>0%</b>
Score Contribution	This credit contributes 50% towards the category score.
Criteria	Has an ESD professional been engaged to provide sustainability advice from schematic design to construction? AND Has the ESD professional been involved in a pre-application meeting with Council?
Question	Criteria Achieved ?
Project	No
<b>2.2 Thermal Performance Modelling - Multi-Dwelling Residential</b>	<b>0%</b>
Score Contribution	This credit contributes 33.3% towards the category score.
Criteria	Have preliminary NatHERS ratings been undertaken for all thermally unique dwellings?
Question	Criteria Achieved ?
Townhouse	No
<b>4.1 Building Users Guide</b>	<b>0%</b>
Score Contribution	This credit contributes 16.7% towards the category score.
Criteria	Will a building users guide be produced and issued to occupants?
Question	Criteria Achieved ?
Project	No

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**Water** Overall contribution 5% Minimum required 50%

<b>Water Approach</b>	
What approach do you want to use for Water?:	Use the built in calculation tools
Do you have a reticulated water supply with a recycling system?:	
Are you installing a greywater system?:	
Are you installing a rainwater tank?:	
<b>Fixtures, fittings &amp; connections profile</b>	
Showerhead: All	4 Star WELS (>= 4.5 but <= 6.0)
Bath: All	Medium Sized Contemporary Bath
Kitchen Taps: All	>= 5 Star WELS rating
Bathroom Taps: All	>= 5 Star WELS rating
Dishwashers: All	>= 4 Star WELS rating
WC: All	Default or unrated
Urinals: All	Scope out
Washing Machine Water Efficiency: All	Default or unrated
Which non-potable water source is the dwelling/space connected to?:	
Townhouse 2	Townhouse 2
Townhouse 3	Townhouse 3
Non-potable water source connected to Toilets: All	Yes
Non-potable water source connected to Laundry (washing machine): All	No
Non-potable water source connected to Hot Water System: All	No
<b>Rainwater tank profile</b>	
What is the total roof area connected to the rainwater tank?:	
Townhouse 2	76.7 m²
Townhouse 3	78.3 m²
<b>Tank Size:</b>	
Townhouse 2	2,000 Litres
Townhouse 3	2,000 Litres
<b>Irrigation area connected to tank:</b>	
Townhouse 2	20.0 m²
Townhouse 3	20.0 m²
<b>Is connected irrigation area a water efficient garden?:</b>	
Townhouse 2	Yes
Townhouse 3	Yes
<b>Other external water demand connected to tank?:</b>	
Townhouse 2	0.0 Litres/Day
Townhouse 3	0.0 Litres/Day

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<b>1.1 Potable Water Use Reduction</b>		51%
Score Contribution	This credit contributes 83.3% towards the category score.	
Criteria	What is the reduction in total potable water use due to efficient fixtures, appliances, and fittings (excluding water used for irrigation, car washing, and other outdoor uses)?	
Output	50% reduction in total potable water use	
Project	Project	
Output	291 kL	
Project	291 kL	
Output	Proposed (including rainwater and recycled water use)	
Project	228 kL	
Output	% Reduction in Potable Water Consumption	
Project	33 %	
Output	% of connected demand met by rainwater	
Project	95 %	
Output	How often does the tank overflow?	
Project	Often	
Output	Opportunity for additional rainwater connection	
Project	115 kL	
<b>3.1 Water Efficient Landscaping</b>		100%
Score Contribution	This credit contributes 16.7% towards the category score.	
Criteria	Will water efficient landscaping be installed?	
Question	Criteria Achieved ?	
Project	Yes	

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**Energy** Overall contribution 15% Minimum required 50%

**Dwellings Energy Approach**

What approach do you want to use for Dwellings?: Use the built in calculation tools

Are you installing any solar panels on the roof?

Are you installing any solar panels in the carpark?

Energy Supply:

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**Dwelling Energy Profiles**

Below the floor is: All Ground or Carpark

Above the ceiling is: All Outside

Exposed sides: All 3

NatHERS Annual Energy Loads - Heat: All 98.2 MJ/sqm

NatHERS Annual Energy Loads - Cool: All 22.8 MJ/sqm

NatHERS star rating: All 7.0

Type of Heating System: All Reverse cycle space

Heating System Efficiency: All 6 Stars (2011 MEPS)

Type of Cooling System: All Refrigerative space

Cooling System Efficiency: All 6 Stars (2019 MEPS)

Type of Hot Water System: All Electric Instantaneous

% Contribution from solar hot water system: All 0 %

Clothes Line: All Private outdoor clothesline

Clothes Dryer: All Occupant to install

**1.2 Thermal Performance Rating - Residential** 0% ✔ Achieved

Score Contribution This credit contributes 17.6% towards the category score.

Criteria What is the average NatHERS rating?

Output Average NATHERS Rating (Weighted)

Townhouse 7.0 Stars

**2.1 Greenhouse Gas Emissions** 0%

Score Contribution This credit contributes 17.6% towards the category score.

Criteria What is the % reduction in annual greenhouse gas emissions against the benchmark?

Output Reference Building with Reference Services (BCA only)

Townhouse 4,988 kg CO2

Output Proposed Building with Proposed Services (Actual Building)

Townhouse 5,497 kg CO2

Output % Reduction in GHG Emissions

Townhouse -11 %



**2.6 Electrification** 100%

Score Contribution This credit contributes 17.6% towards the category score.

Criteria Is the development all-electric?

Question Criteria Achieved?

Project Yes

<b>2.7 Energy consumption</b>		100%
Score Contribution	This credit contributes 23.5% towards the category score.	
Criteria	What is the % reduction in annual energy consumption against the benchmark?	
Output	<div style="border: 2px solid red; padding: 5px;"> <p><b>This copied document is made available for the sole purpose of enabling its consideration and review as part of a planning process under the Planning and Environment Act 1987. The copy must not be used for any other purpose. Please note that the plan may not be to scale.</b></p> </div>	
Townhouse	Proposed	
Output	Townhouse	
Townhouse	22 %	
Output	Townhouse	
Townhouse	46 %	
<b>3.3 External Lighting</b>		100%
Score Contribution	This credit contributes 2.9% towards the category score.	
Criteria	Is the external lighting controlled by a motion detector?	
Question	Criteria Achieved ?	
Townhouse	Yes	
<b>3.4 Clothes Drying</b>		100%
Score Contribution	This credit contributes 5.9% towards the category score.	
Criteria	What is the % reduction in annual energy consumption (gas and electricity) from a combination of clothes lines and efficient driers against the benchmark?	
Output	Reference	
Townhouse	939 kWh	
Output	Proposed	
Townhouse	188 kWh	
Output	Improvement	
Townhouse	80 %	
<b>3.5 Internal Lighting - Houses and Townhouses</b>		100%
Score Contribution	This credit contributes 2.9% towards the category score.	
Criteria	Does the development achieve a maximum illumination power density of 4W/sqm or less?	
Question	Criteria Achieved?	
Townhouse	Yes	
<b>4.4 Renewable Energy Systems - Other</b>		N/A  Scoped Out
This credit was scoped out	No other (non-solar PV) renewable energy is in use.	
<b>4.5 Solar PV - Houses and Townhouses</b>		0%  Disabled
This credit is disabled	No solar PV renewable energy is in use.	



**Stormwater** Overall contribution 14% Minimum required 100%


Which stormwater modelling software are you using?:		Melbourne Water STORM tool
<b>1.1 Stormwater Treatment</b>		100%
Score Contribution	This credit contributes 100% towards the category score.	
Criteria	Has best practice stormwater management been demonstrated?	
Question	Criteria Achieved ?	
Project	Yes	
Output	Min STORM Score	
Project	100	

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**IEQ** Overall contribution 13% Minimum required 50%

<b>2.2 Cross Flow Ventilation</b>		100%
Score Contribution	This credit contributes 20% towards the category score.	
Criteria	Are all habitable rooms designed to achieve natural cross flow ventilation?	
Question	Criteria Achieved ?	
Townhouse	Yes	
<b>3.1 Thermal comfort - Double Glazing</b>		100%
Score Contribution	This credit contributes 40% towards the category score.	
Criteria	Is double glazing (or better) used to all habitable areas?	
Question	Criteria Achieved ?	
Townhouse	Yes	
<b>3.2 Thermal Comfort - External Shading</b>		0%
Score Contribution	This credit contributes 20% towards the category score.	
Criteria	Is appropriate external shading provided to east, west and north facing glazing?	
Question	Criteria Achieved ?	
Townhouse	No	
<b>3.3 Thermal Comfort - Orientation</b>		100%
Score Contribution	This credit contributes 20% towards the category score.	
Criteria	Are at least 50% of living areas orientated to the north?	
Question	Criteria Achieved ?	
Townhouse	Yes	

**Transport** Overall contribution 9%

<b>1.1 Bicycle Parking - Residential</b>		100%
Score Contribution	This credit contributes 50% towards the category score.	
Criteria	How many secure and undercover bicycle spaces are there for residents?	
Question	Bicycle Spaces Provided ?	
Townhouse	2	
Output	Min Bicycle Spaces Required	
Townhouse	2	
<b>1.2 Bicycle Parking - Residential Visitor</b>		N/A  Scoped Out
This credit was scoped out		Not enough dwellings.
<b>2.1 Electric Vehicle Infrastructure</b>		100%
Score Contribution	This credit contributes 50% towards the category score.	
Criteria	Are facilities provided for the charging of electric vehicles?	
Question	Criteria Achieved ?	
Project	Yes	

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**Waste** Overall contribution 0%

<b>1.1 - Construction Waste - Building Re-Use</b>		0%
Score Contribution	This credit contributes 50% towards the category score.	
Criteria	If the development is on a site that has been previously developed, has at least 30% of the existing building been re-used?	
Question	Criteria Achieved ?	
Project	No	
<b>2.1 - Operational Waste - Food &amp; Garden Waste</b>		0%
Score Contribution	This credit contributes 50% towards the category score.	
Criteria	Are facilities provided for on-site management of food and garden waste?	
Question	Criteria Achieved ?	
Project	No	

**Urban Ecology** Overall contribution 3%

<b>2.1 Vegetation</b>		75%
Score Contribution	This credit contributes 50% towards the category score.	
Criteria	How much of the site is covered with vegetation, expressed as a percentage of the total site area?	
Question	Percentage Achieved ?	
Project	30 %	
<b>2.2 Green Roofs</b>		0%
Score Contribution	This credit contributes 12.5% towards the category score.	
Criteria	Does the development incorporate a green roof?	
Question	Criteria Achieved ?	
Project	No	
<b>2.3 Green Walls and Facades</b>		0%
Score Contribution	This credit contributes 12.5% towards the category score.	
Criteria	Does the development incorporate a green wall or green façade?	
Question	Criteria Achieved ?	
Project	No	
<b>2.4 Private Open Space - Balcony / Courtyard Ecology</b>		100%
Score Contribution	This credit contributes 12.5% towards the category score.	
Criteria	Is there a tap and floor waste on every balcony and courtyard (including any roof terraces)?	
Question	Criteria Achieved ?	
Townhouse	Yes	
<b>3.1 Food Production - Residential</b>		0%
Score Contribution	This credit contributes 12.5% towards the category score.	
Criteria	What area of space per resident is dedicated to food production?	
Question	Food Production Area	
Townhouse	-	
Output	Min Food Production Area	
Townhouse	2 m²	

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**Innovation** Overall contribution 0%

<b>1.1 Innovation</b>		0%
Score Contribution	This credit contributes 100% towards the category score.	
Criteria	What percentage of the Innovation points have been claimed (10 points maximum)?	

**Disclaimer**

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